



Form-Based Coding Techniques for Small Towns and Rural Communities

February 21st, 2012

**Stefan Pellegrini, AICP, LEED AP
Principal**



Summary of Learning Objectives

1. Strategies for Unincorporated Rural Communities
 - Draw from Beaufort County, SC Multijurisdictional FBC currently underway
 - Rural Place Types Foundation
 - The Rural end of the Transect
2. Strategies for Small Incorporated Communities
 - Draw from Kingsburg, CA Form-Based Code
 - Focus on Downtown Centrality & Revitalization
 - The “Urban” end of the Transect
 - Ensuring Responsible Growth Patterns

Beaufort County, SC
Strategies for Rural Communities

Key Issues

Considerable Growth in 1990s and 2000s

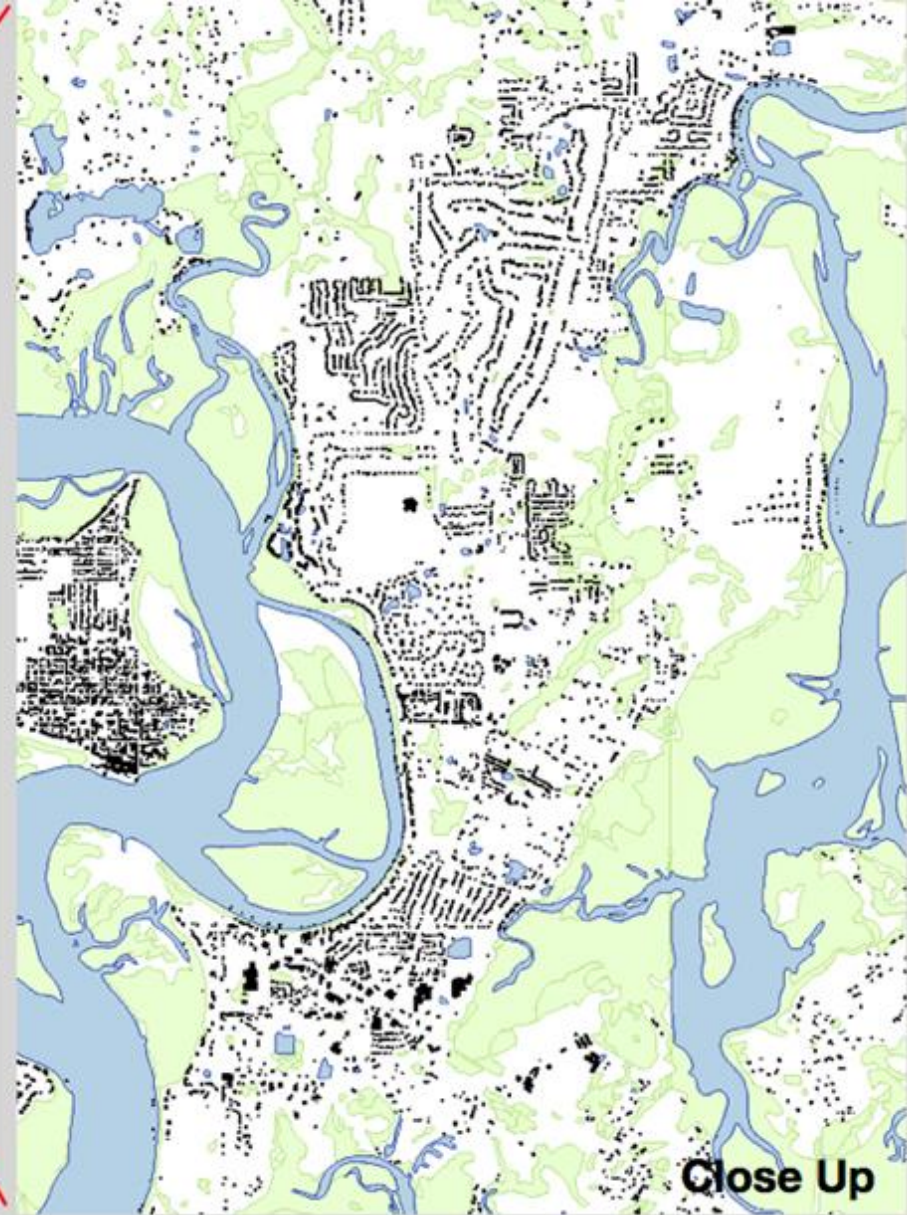
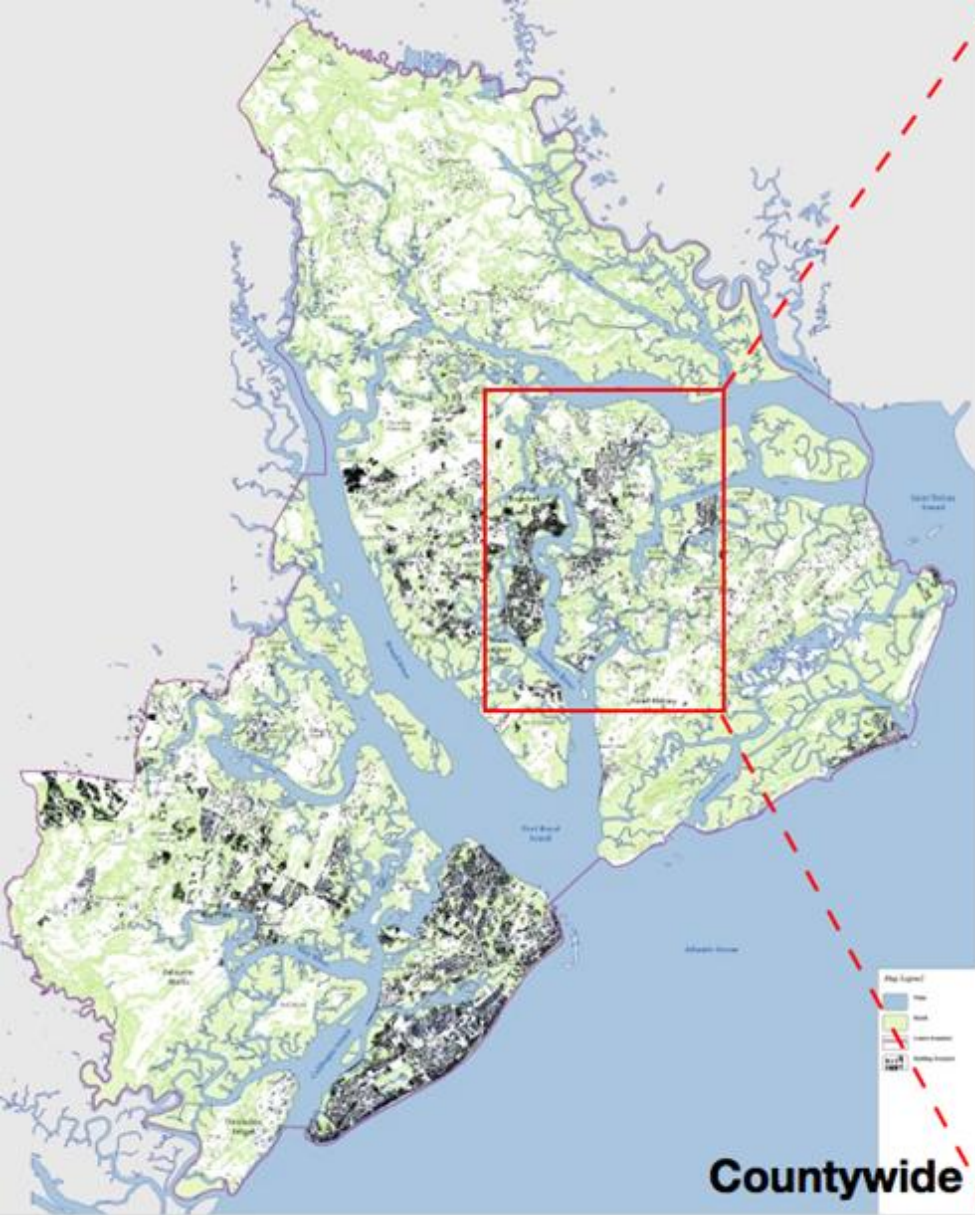
- Loss of Traditional Rural Character
- Failure to Support and Create Places

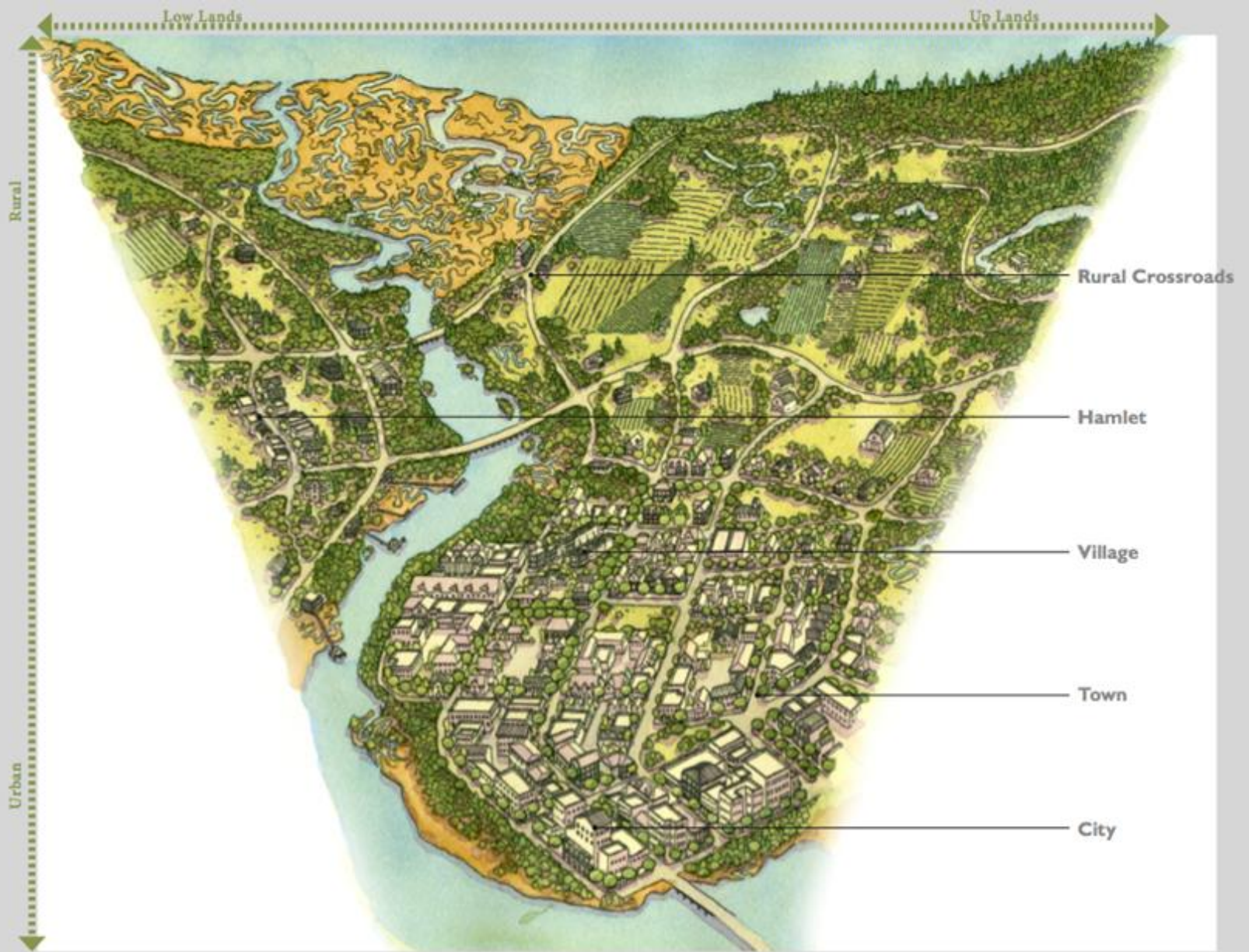
Poor Fit for Existing Zoning

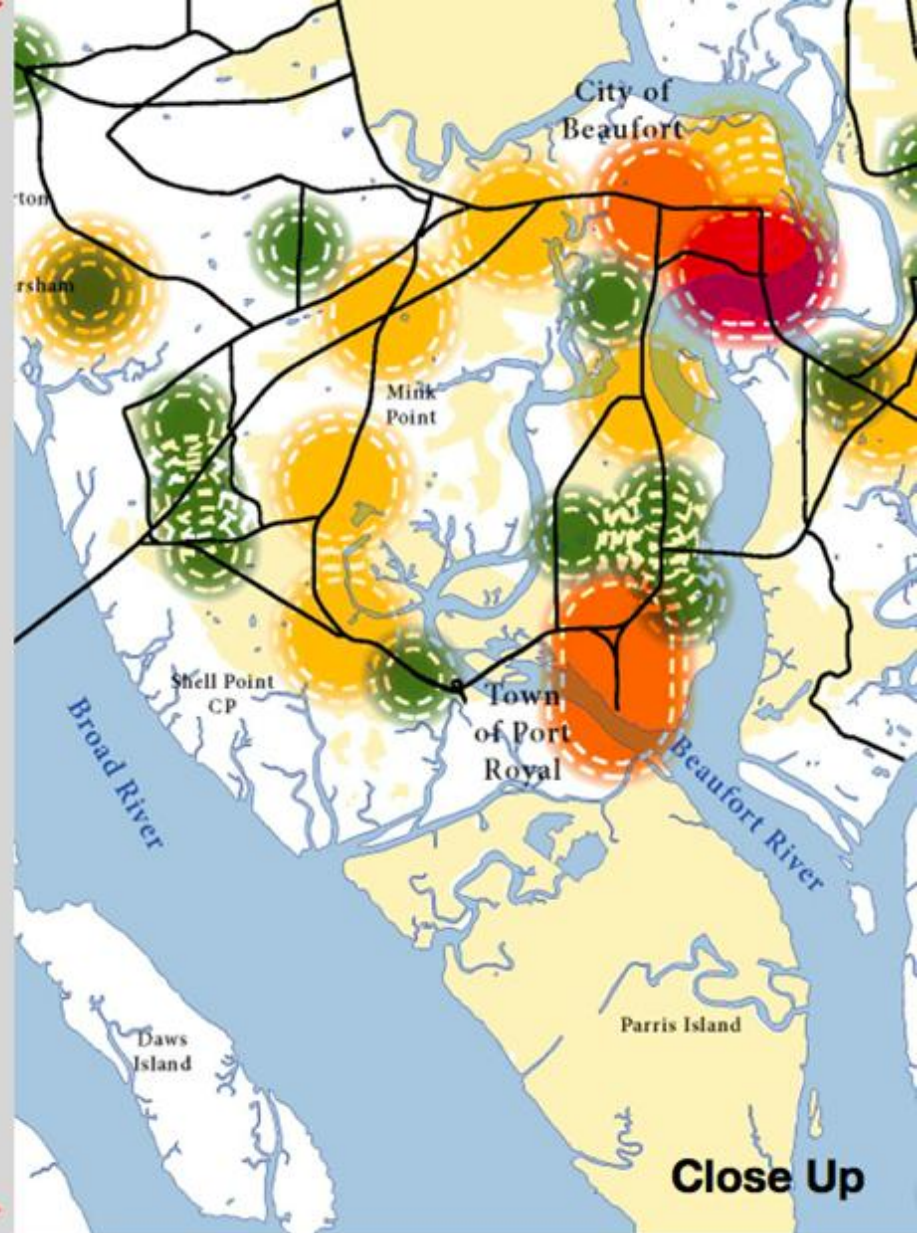
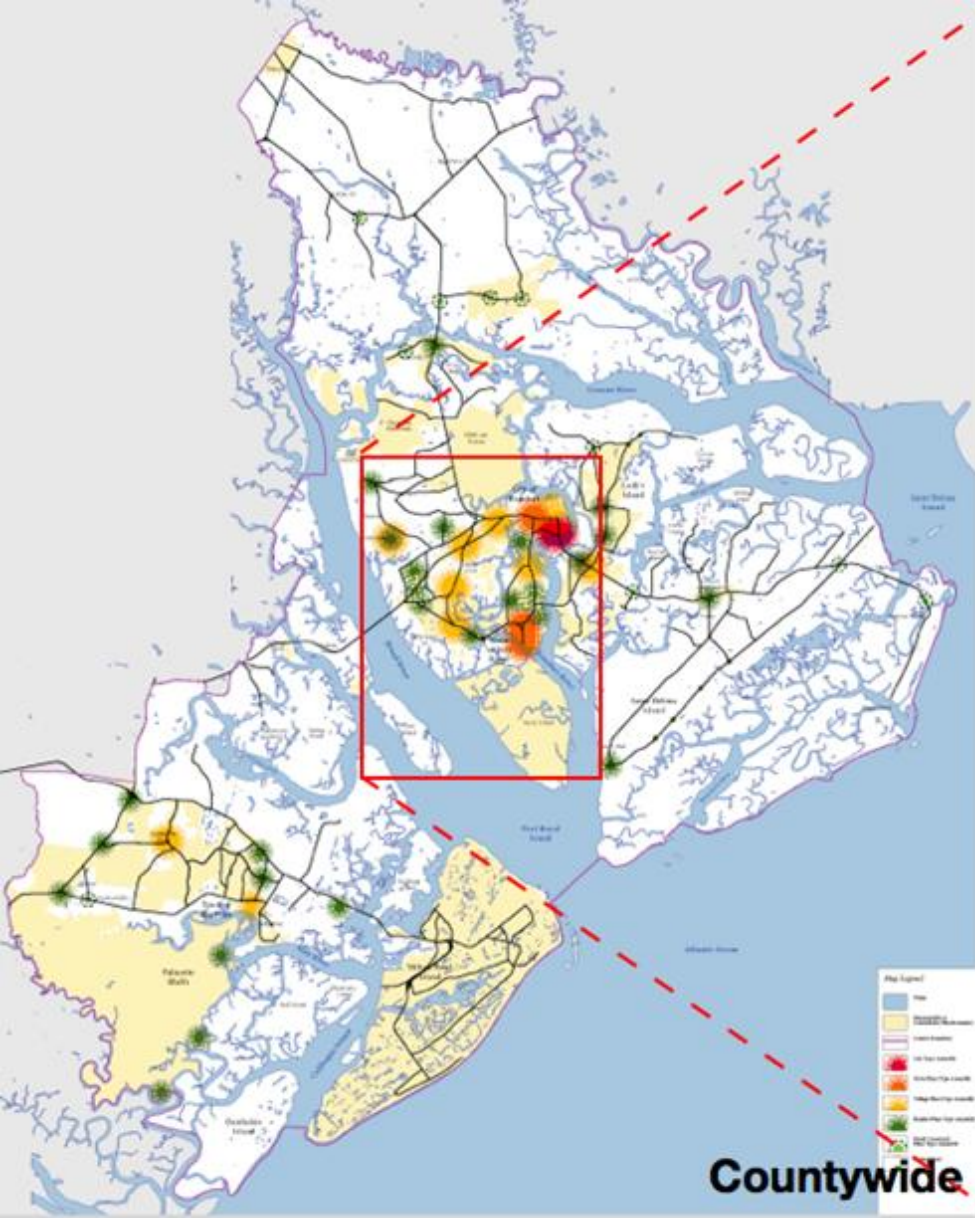
- Performance-Based Framework tended to treat the Rural Area as Homogenous
- Conventional Development had not been reflective of historic community character & patterns
- Recognition of “Community Preservation” areas needing protection
- Need to empower and revitalize local communities

Key Strategies

- **Place Types as a Framework to Guide FBC Application**
- **Multijurisdictional Transect**
- **Holistic Development Standards**
- **Process Streamlining**







Rural

Urban

Rural Crossroads

Hamlet

Village

Town

City

Illustration



Beaufort County

T1 T2 T3 T4 T5 T6



T1 T2 T3 T4 T5 T6



T1 T2 T3 T4 T5 T6



T1 T2 T3 T4 T5 T6



T1 T2 T3 T4 T5 T6



Town of Port Royal








City of Beaufort



Beaufort County Multi-Jurisdictional FBC

The Beaufort County Transect

T1	T2	T3	T4	T5
<p>T1 Rural Pasture</p>  <p>Intent</p> <p>To preserve the rural landscape and provide a high quality of life for residents. This zone is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities.</p>	<p>T2 Rural</p>  <p>Intent</p> <p>To preserve the rural landscape and provide a high quality of life for residents. This zone is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities.</p>	<p>T3 Edge</p>  <p>Intent</p> <p>To provide a high quality of life for residents. This zone is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities.</p>	<p>T4 Rural Estate</p>  <p>Intent</p> <p>To provide a high quality of life for residents. This zone is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities.</p>	<p>T5 Main Street</p>  <p>Intent</p> <p>To provide a high quality of life for residents. This zone is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities. It is intended to be used for agriculture and related activities.</p>
<p>Design Form</p> <p>Traditional, one-story, detached, low-rise, with a low-pitched roof.</p>	<p>Design Form</p> <p>Traditional, one-story, detached, low-rise, with a low-pitched roof.</p>	<p>Design Form</p> <p>Traditional, one-story, detached, low-rise, with a low-pitched roof.</p>	<p>Design Form</p> <p>Traditional, one-story, detached, low-rise, with a low-pitched roof.</p>	<p>Design Form</p> <p>Traditional, one-story, detached, low-rise, with a low-pitched roof.</p>
<p>Building Height</p> <p>1.5 stories max.</p>	<p>Building Height</p> <p>1.5 stories max.</p>	<p>Building Height</p> <p>1.5 stories max.</p>	<p>Building Height</p> <p>1.5 stories max.</p>	<p>Building Height</p> <p>1.5 stories max.</p>
<p>General Use</p> <p>Rural Pasture and Agriculture.</p>	<p>General Use</p> <p>Rural Pasture and Agriculture.</p>	<p>General Use</p> <p>Rural Pasture and Agriculture.</p>	<p>General Use</p> <p>Rural Pasture and Agriculture.</p>	<p>General Use</p> <p>Rural Pasture and Agriculture.</p>
<p>Parking Characteristics</p> <p>Minimal parking requirements.</p>	<p>Parking</p> <p>Minimal parking requirements.</p>	<p>Parking</p> <p>Minimal parking requirements.</p>	<p>Parking</p> <p>Minimal parking requirements.</p>	<p>Parking</p> <p>Minimal parking requirements.</p>
<p>Roadway Characteristics</p> <p>Two-lane rural road, with open drainage and minimal planting strip.</p>	<p>Roadway Characteristics</p> <p>Two-lane rural road, with open drainage and minimal planting strip.</p>	<p>Roadway Characteristics</p> <p>Two-lane rural road, with open drainage and minimal planting strip.</p>	<p>Roadway Characteristics</p> <p>Two-lane rural road, with open drainage and minimal planting strip.</p>	<p>Roadway Characteristics</p> <p>Two-lane rural road, with open drainage and minimal planting strip.</p>

Rural Areas

The Beaufort County Transect

T1	T2	T3	T4	T5
 <p>T1 Rural Pasture Rural</p> <p>To preserve the rural character of Beaufort County. This zone applies to areas that consist of open land with low or open agricultural uses. Areas that contain agricultural uses may be located within this zone.</p> <p>The T1 Rural Pasture implements the same general objectives as the following zones:</p>	 <p>T2 Rural Rural</p> <p>To preserve the rural character of Beaufort County. This zone applies to areas that consist of open land with low or open agricultural uses. Areas that contain agricultural uses may be located within this zone.</p> <p>The T2 Rural zone implements the same general objectives as the following zones:</p>	 <p>T3 Edge Zone Edge</p> <p>To preserve the rural character of Beaufort County. This zone applies to areas that consist of open land with low or open agricultural uses. Areas that contain agricultural uses may be located within this zone.</p> <p>The T3 Edge zone implements the same general objectives as the following zones:</p>	 <p>T4 Residential Residential</p> <p>To provide a medium-density residential environment with a mix of uses, including residential, commercial, and public uses. This zone is intended to be used for medium-density residential uses, including single-family detached homes, townhomes, and small multi-family units.</p> <p>The T4 Residential zone implements the same general objectives as the following zones:</p>	 <p>T5 Urban Core Urban</p> <p>To provide a high-density urban environment with a mix of uses, including residential, commercial, and public uses. This zone is intended to be used for high-density urban uses, including multi-story residential buildings, offices, and retail uses.</p> <p>The T5 Urban Core zone implements the same general objectives as the following zones:</p>
<p>Design Form: Single-story, detached, low-rise, with a low-pitched roof.</p> <p>Building Height: 1 to 1.5 stories.</p> <p>General Use: Single-family detached homes, and other low-density residential uses.</p> <p>Parking Characteristics: Informal parking lots, no on-street parking.</p> <p>Roadway Characteristics: Narrow roadways, with open drainage ditches and minimal planting strips.</p>	<p>Design Form: Single-story, detached, low-rise, with a low-pitched roof.</p> <p>Building Height: 1 to 1.5 stories.</p> <p>General Use: Single-family detached homes, and other low-density residential uses.</p> <p>Parking Characteristics: Informal parking lots, no on-street parking.</p> <p>Roadway Characteristics: Narrow roadways, with open drainage ditches and minimal planting strips.</p>	<p>Design Form: Single-story, detached, low-rise, with a low-pitched roof.</p> <p>Building Height: 1 to 1.5 stories.</p> <p>General Use: Single-family detached homes, and other low-density residential uses.</p> <p>Parking Characteristics: Informal parking lots, no on-street parking.</p> <p>Roadway Characteristics: Narrow roadways, with open drainage ditches and minimal planting strips.</p>	<p>Design Form: Two-story, detached, low-rise, with a low-pitched roof.</p> <p>Building Height: 1.5 to 2 stories.</p> <p>General Use: Single-family detached homes, townhomes, and small multi-family units.</p> <p>Parking Characteristics: Informal parking lots, no on-street parking.</p> <p>Roadway Characteristics: Narrow roadways, with open drainage ditches and minimal planting strips.</p>	<p>Design Form: Multi-story, detached, low-rise, with a low-pitched roof.</p> <p>Building Height: 2 to 3 stories.</p> <p>General Use: Multi-story residential buildings, offices, and retail uses.</p> <p>Parking Characteristics: Informal parking lots, no on-street parking.</p> <p>Roadway Characteristics: Wide roadways, with open drainage ditches and minimal planting strips.</p>

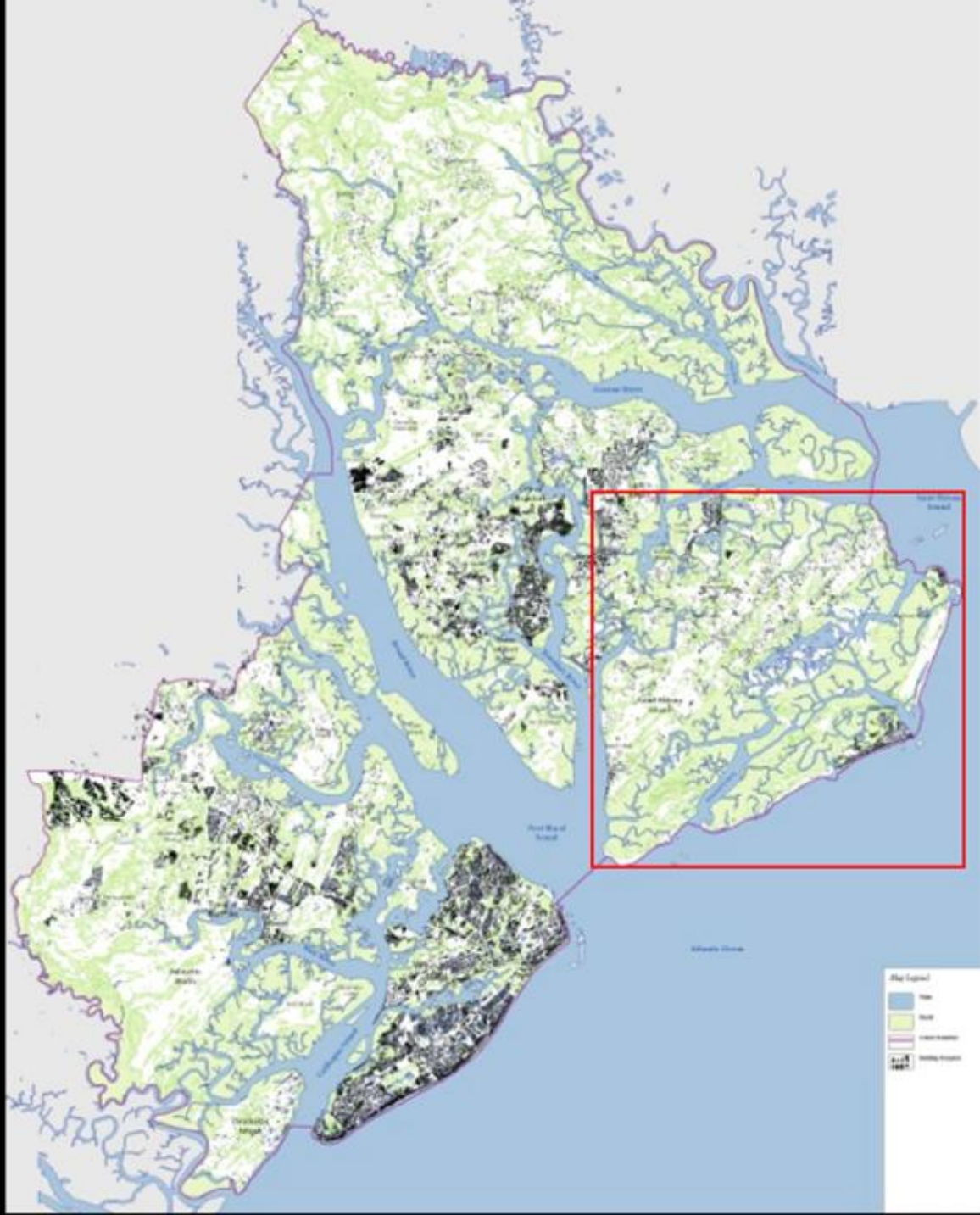
Town Centers

The Beaufort County Transect

T1	T2	T3	T4	T5	T6
 <p>T1 Rural Pasture Rural</p> <p>To preserve at least two-thirds wooded habitats, open space, and rural agricultural uses. This form typically features residential development with large lots and open space. Aerial view may be provided which illustrates the form.</p> <p>The T1 Rural Pasture implements the same general character of the existing form.</p>	 <p>T2 Rural Rural</p> <p>To preserve the rural character of Beaufort County. This form applies to areas that consist of generally well-kept lands in open or lightly wooded areas, agricultural uses, large lots, and open space. This form includes large lots, open space, and rural agricultural uses. Aerial view may be provided which illustrates the form.</p> <p>The T2 Rural form implements the same general character of the existing form.</p>	 <p>T3 Edge Edge</p> <p>To preserve the rural character of Beaufort County. This form applies to areas that consist of generally well-kept lands in open or lightly wooded areas, agricultural uses, large lots, and open space. This form includes large lots, open space, and rural agricultural uses. Aerial view may be provided which illustrates the form.</p> <p>The T3 Edge form implements the same general character of the existing form.</p>	 <p>T4 Rural Estate Rural Estate</p> <p>To preserve the rural character of Beaufort County. This form applies to areas that consist of generally well-kept lands in open or lightly wooded areas, agricultural uses, large lots, and open space. This form includes large lots, open space, and rural agricultural uses. Aerial view may be provided which illustrates the form.</p> <p>The T4 Rural Estate form implements the same general character of the existing form.</p>	 <p>T5 Main Street Main Street</p> <p>To preserve the rural character of Beaufort County. This form applies to areas that consist of generally well-kept lands in open or lightly wooded areas, agricultural uses, large lots, and open space. This form includes large lots, open space, and rural agricultural uses. Aerial view may be provided which illustrates the form.</p> <p>The T5 Main Street form implements the same general character of the existing form.</p>	 <p>T6 Urban Core Urban Core</p> <p>To preserve the rural character of Beaufort County. This form applies to areas that consist of generally well-kept lands in open or lightly wooded areas, agricultural uses, large lots, and open space. This form includes large lots, open space, and rural agricultural uses. Aerial view may be provided which illustrates the form.</p> <p>The T6 Urban Core form implements the same general character of the existing form.</p>
<p>General Form Residential, semi-detached, with driveway apron, detached, detached, low-rise form, detached form, detached form, detached form, detached form.</p> <p>Building Height 1.5 stories max.</p> <p>General Use Residential, with some Open Space and some Farm Use.</p> <p>Parking Characteristics Low Parking Requirements Individual Parking Lots, No On-Street Parking.</p> <p>Boundary Characteristics Rural, open lots, with open space, wooded areas, and open space.</p>	<p>General Form Detached, detached, detached, low-rise form, detached form, detached form, detached form, detached form.</p> <p>Building Height 1.5 stories max.</p> <p>General Use Rural, Residential, with Agricultural, with some Open Space and some Farm Use.</p> <p>Parking Characteristics Medium Parking Requirements Individual Parking Lots, No On-Street Parking.</p> <p>Boundary Characteristics Rural, open lots, with open space, wooded areas, and open space.</p>	<p>General Form Detached, detached, detached, low-rise form, detached form, detached form, detached form, detached form.</p> <p>Building Height 1.5 stories max.</p> <p>General Use Rural, Residential, with Agricultural, with some Open Space and some Farm Use.</p> <p>Parking Characteristics Medium Parking Requirements Individual Parking Lots, No On-Street Parking.</p> <p>Boundary Characteristics Rural, open lots, with open space, wooded areas, and open space.</p>	<p>General Form Detached, detached, detached, low-rise form, detached form, detached form, detached form, detached form.</p> <p>Building Height 1.5 stories max.</p> <p>General Use Rural, Residential, with some Open Space and some Farm Use.</p> <p>Parking Characteristics Low to Moderate Parking Requirements Individual Parking Lots, No On-Street Parking.</p> <p>Boundary Characteristics Rural, open lots, with open space, wooded areas, and open space.</p>	<p>General Form Detached, detached, detached, low-rise form, detached form, detached form, detached form, detached form.</p> <p>Building Height 1.5 stories max.</p> <p>General Use Main Street, with Residential, Retail, Commercial, and some Open Space and some Farm Use.</p> <p>Parking Characteristics Medium Parking Requirements Individual Parking Lots, No On-Street Parking.</p> <p>Boundary Characteristics Rural, open lots, with open space, wooded areas, and open space.</p>	<p>General Form Detached, detached, detached, low-rise form, detached form, detached form, detached form, detached form.</p> <p>Building Height 1.5 stories max.</p> <p>General Use Main Street, with Residential, Retail, Commercial, and some Open Space and some Farm Use.</p> <p>Parking Characteristics Low to Moderate Parking Requirements Individual Parking Lots, No On-Street Parking.</p> <p>Boundary Characteristics Rural, open lots, with open space, wooded areas, and open space.</p>

City Centers

Northern Beaufort County
St. Helena Island





STOP



Goog

32°21'09.43" N 80°35'07.95" W elev 10 ft

011 1994







CLAYTON

RESTAURANT

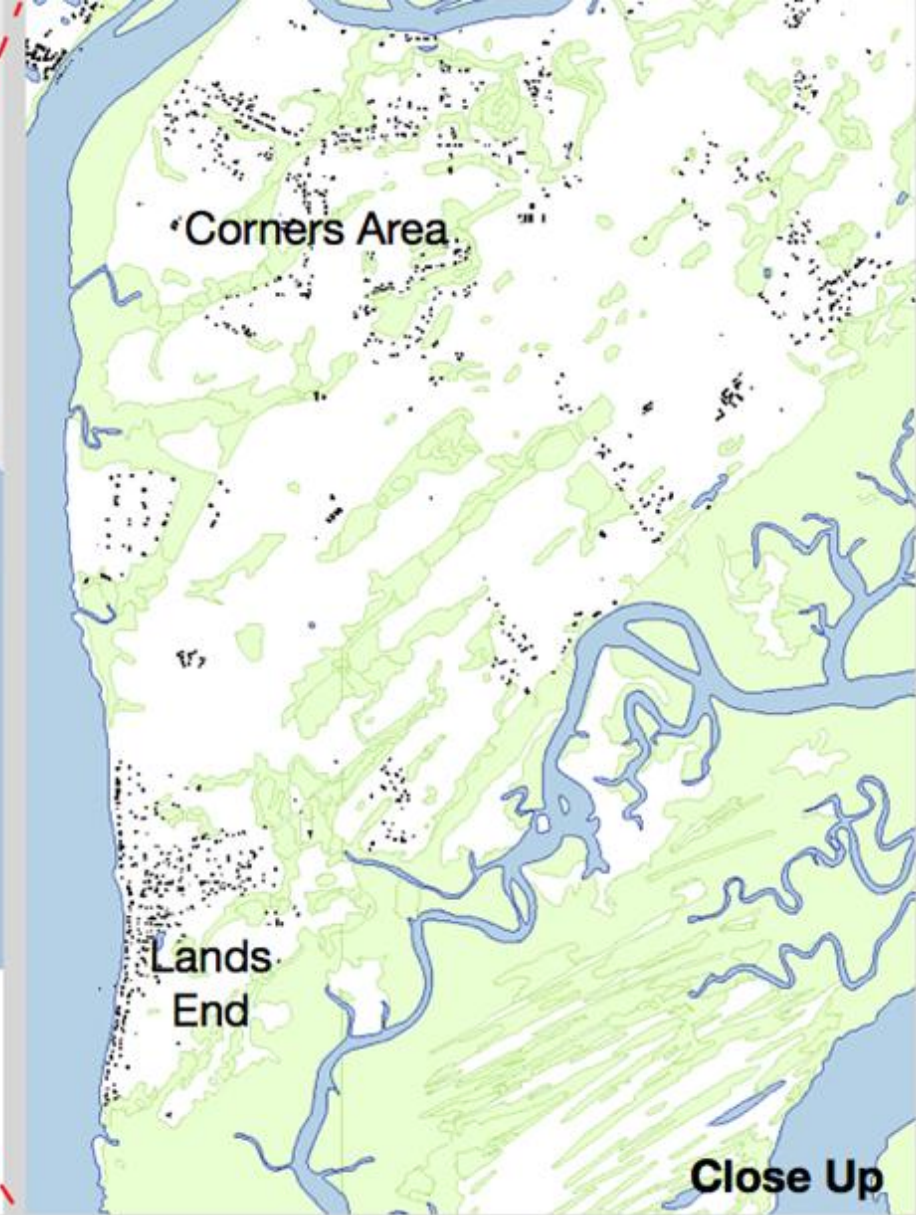
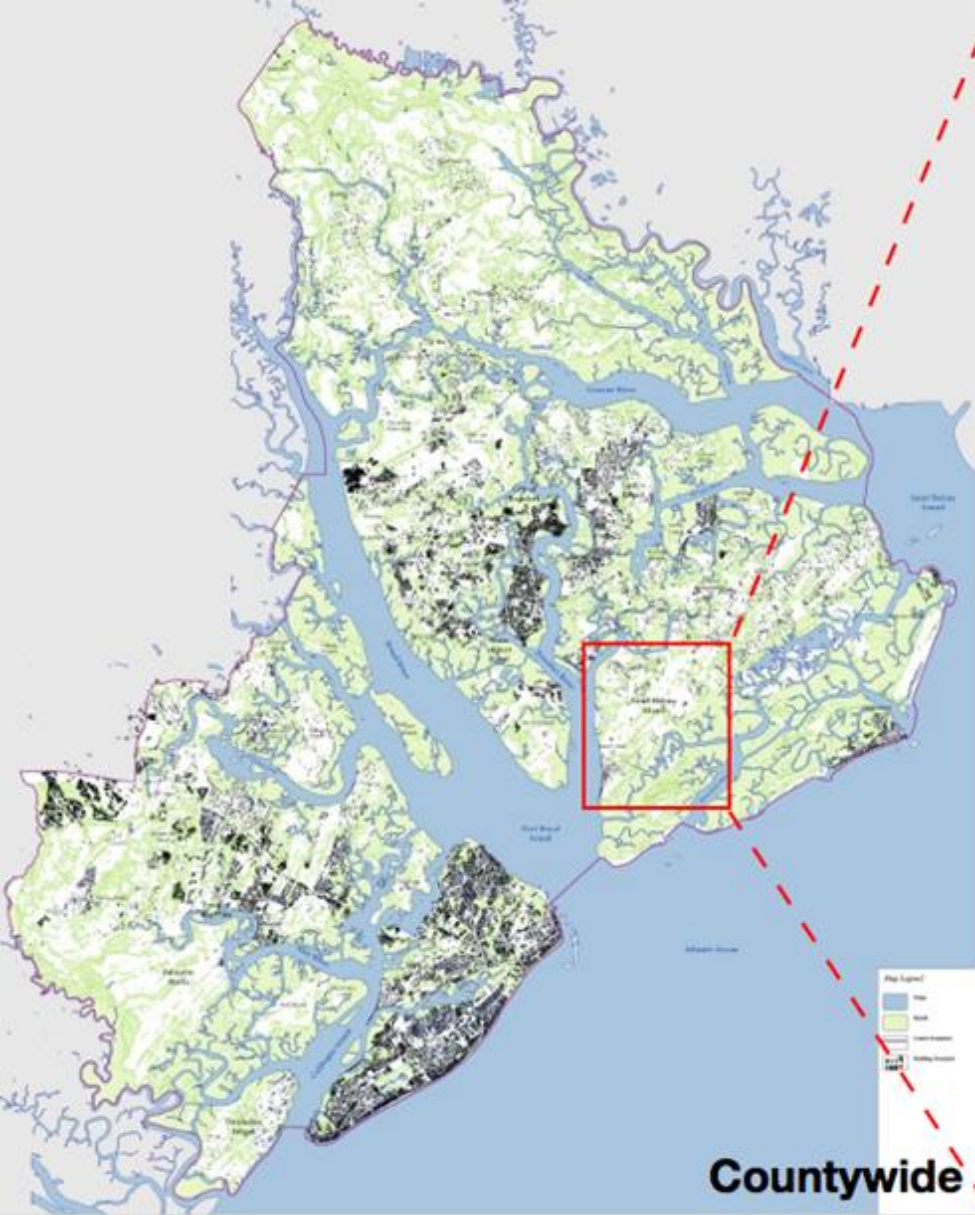
NO PARKING
IN FRONT
OF THIS BUILDING

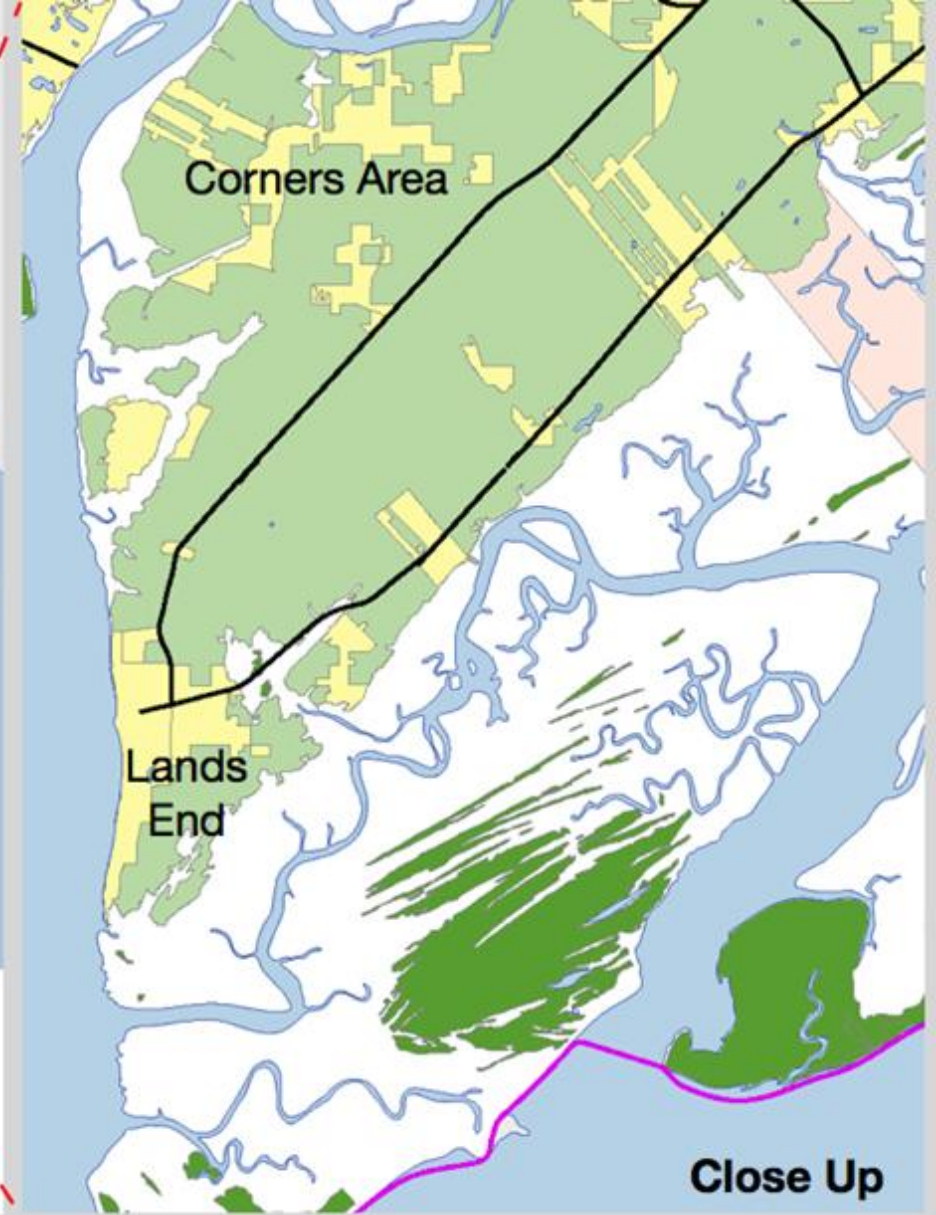
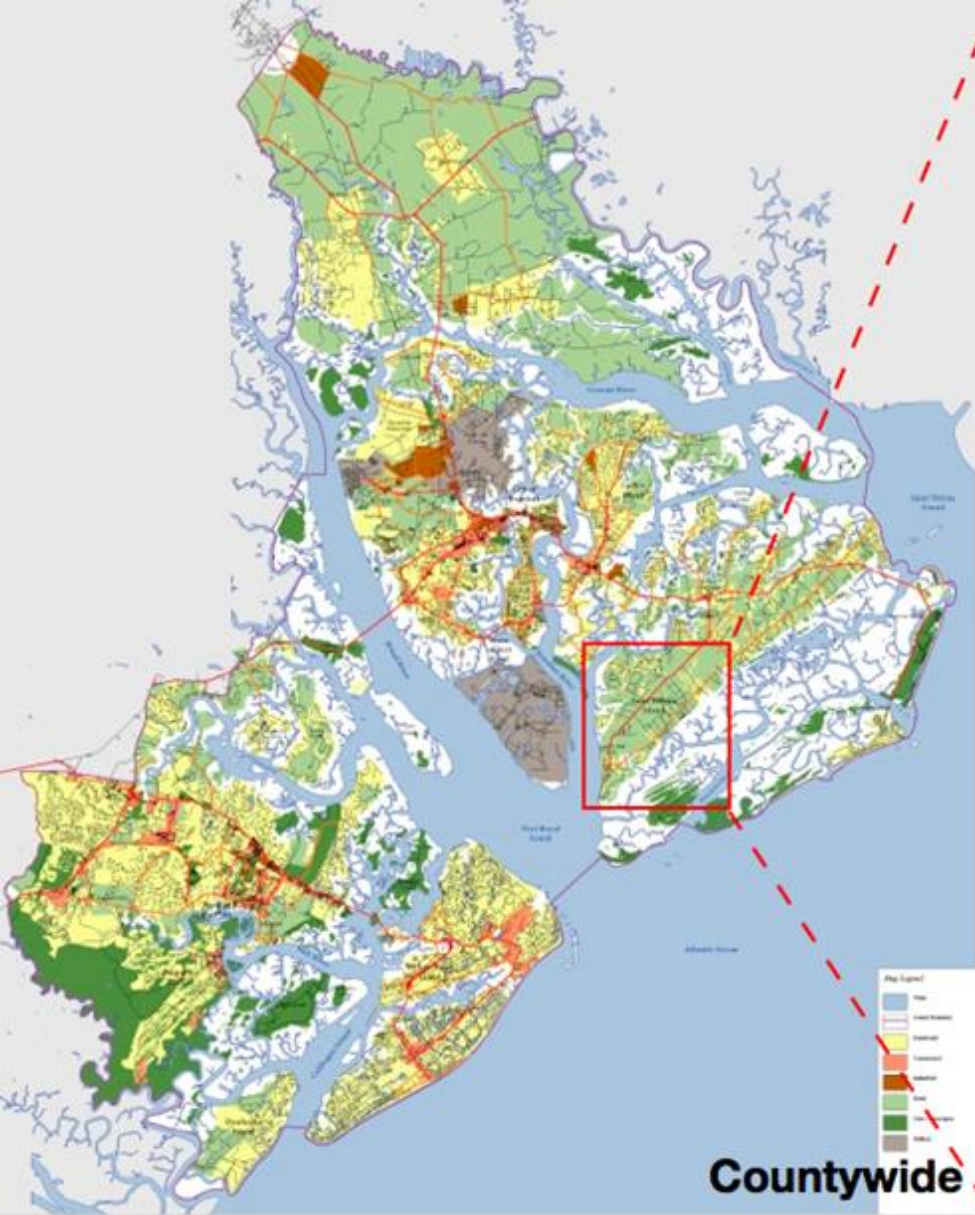
WHAT'S
IN
STORE
Café, Bakery & Deli

GREEN

PARKING
NOW

67





Large



T1 T2 T3 T4

Island

The Island is a self-sufficient ecosystem that supports traditional agricultural activities, rural and community settlements, and natural areas (wetlands and forests).



T2 T3 T4

Community

Located in traditional areas of activity, communities can include villages, service and retail areas, and supporting residential fabric that together make up a cohesive place. Communities are important centers of the island, where residents and visitors gather. Corners and Land's End are Communities.

Corner Store

Located at the intersection of two or more rural roads, Corner Stores provide a small amount of traditional business and cottage industry uses in a rural context. Corner Stores may grow to include a cluster of businesses. They may be independent or integral to a larger community.



T2 T3



T3 T4

Village (Center)

Located at the physical heart of a community, the Village Center provides a cluster of commercial and service activities and gathering places. The existing Public Market District is a Village Center.

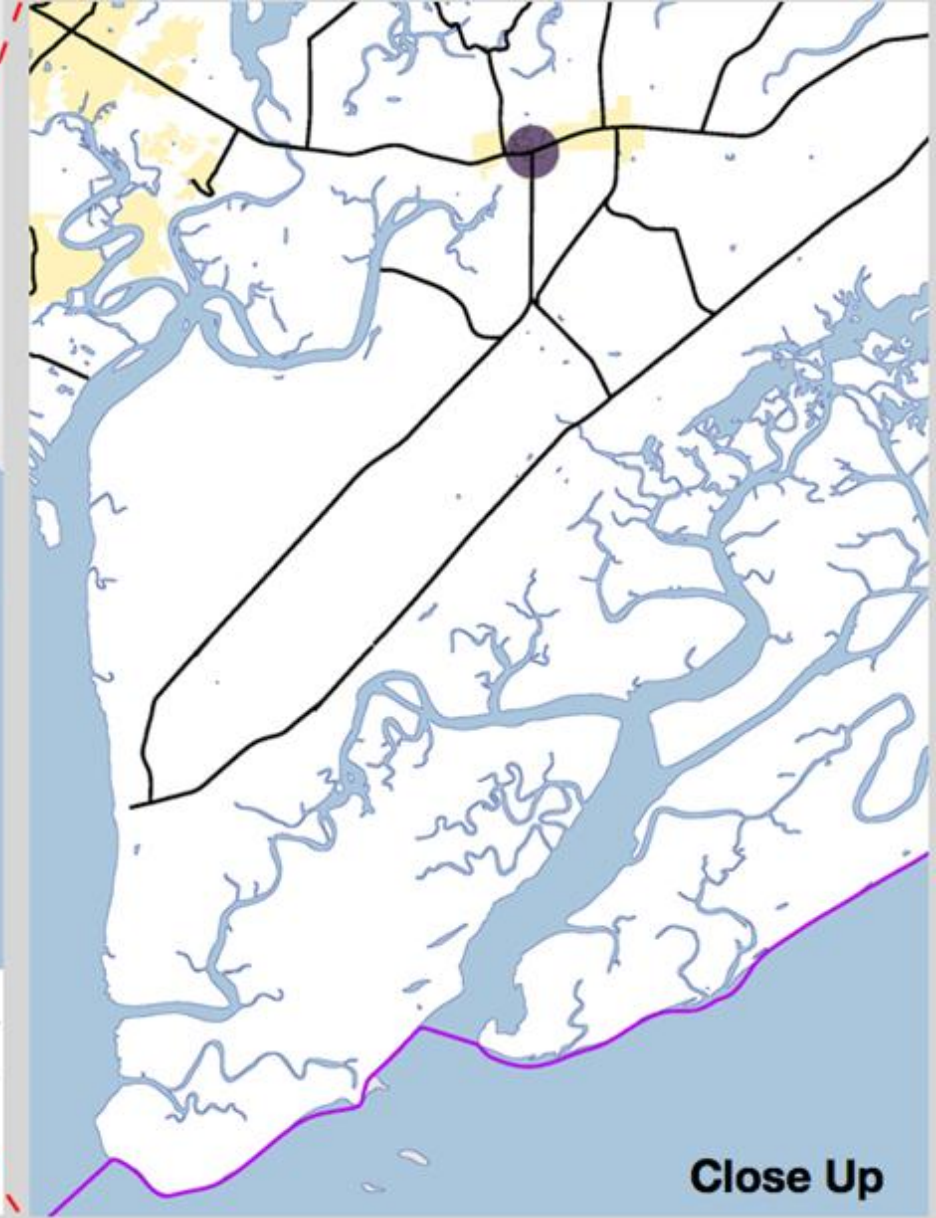
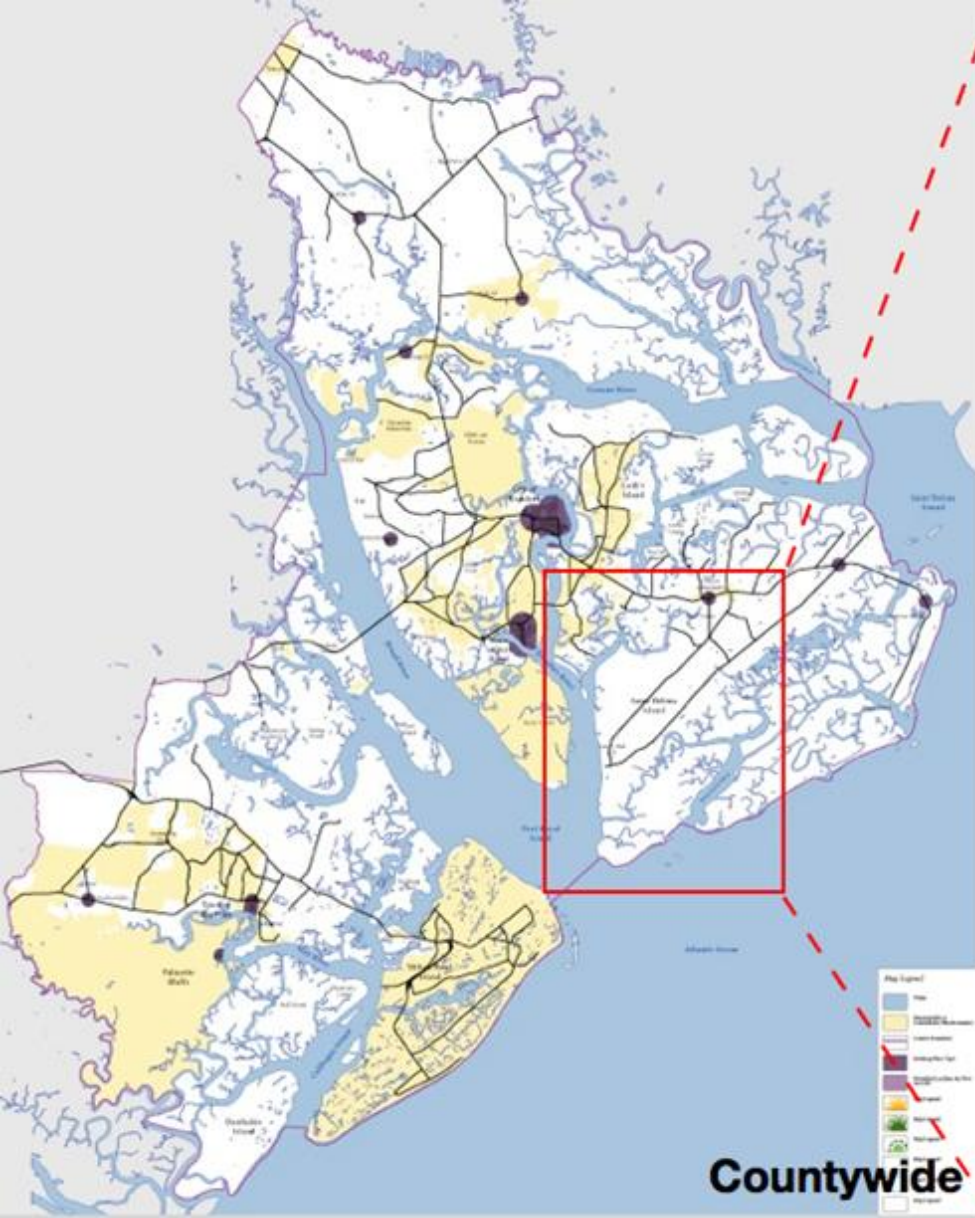
Small

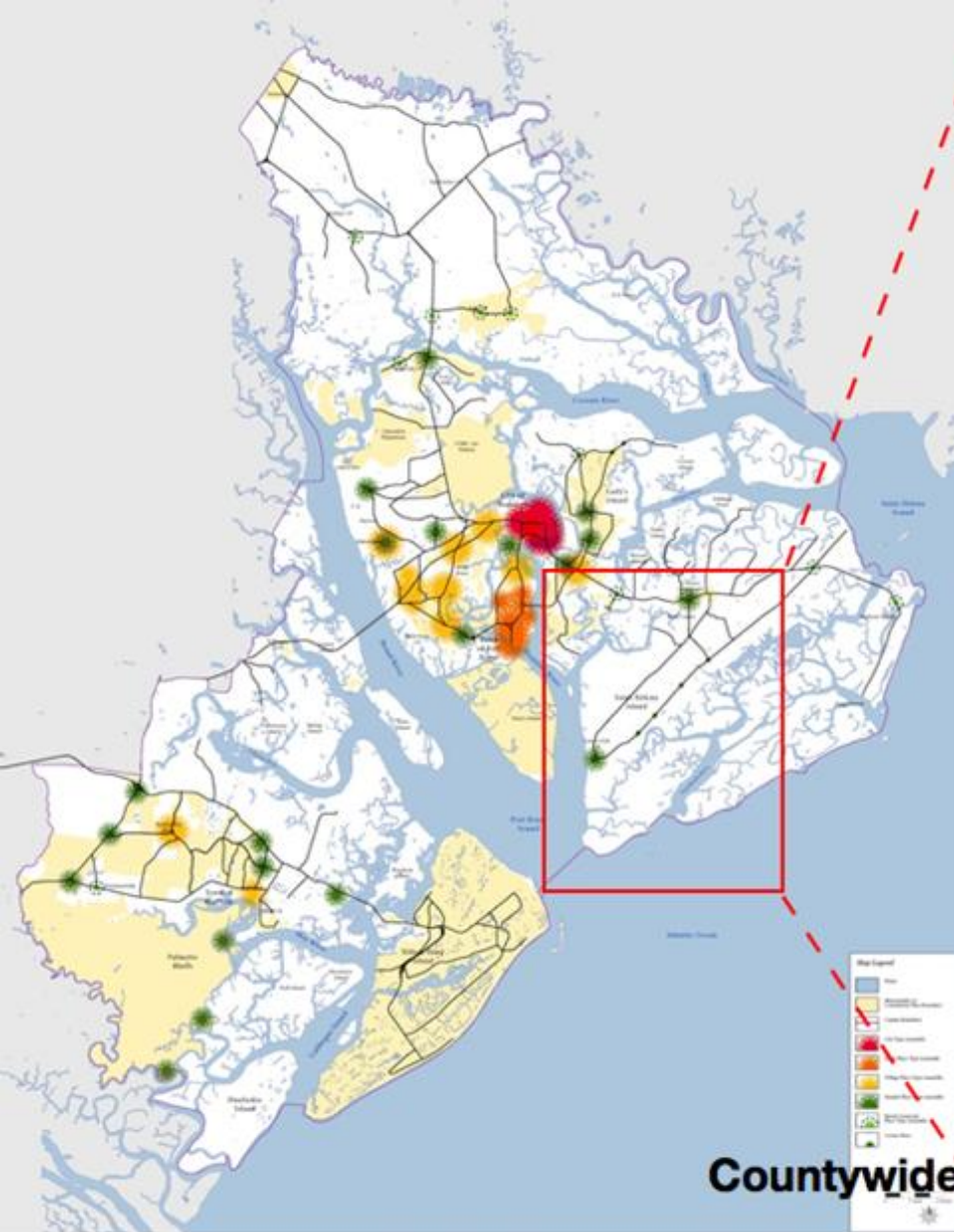


T2

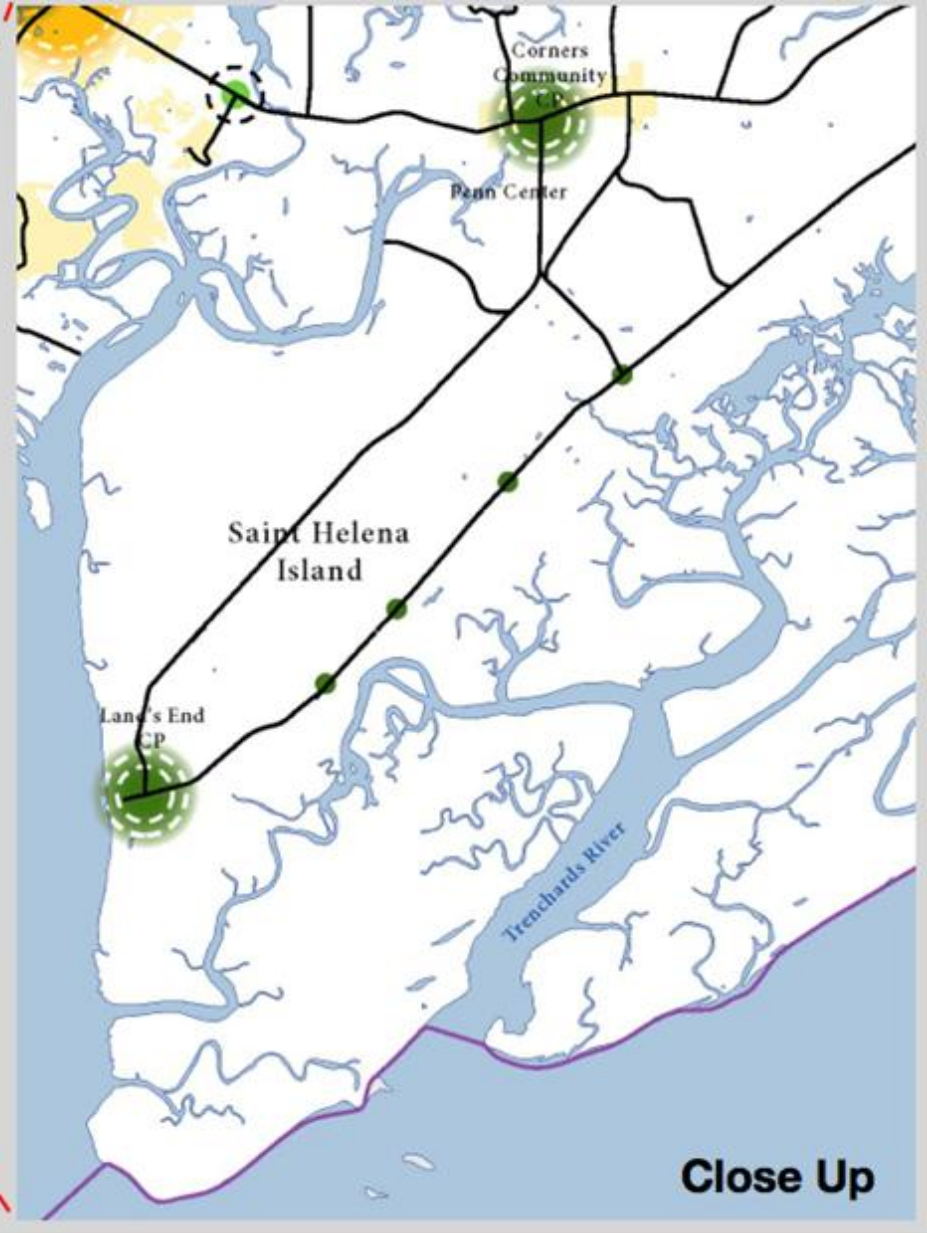
Family Compound

Family compounds are a form of traditional rural development integral to the Gullah Geechee culture in which multiple housing units for extended family members are clustered and organized on a single lot. It is the essential building block of places on St. Helena Island.












Countywide



Close Up

Beaufort County Multi-Jurisdictional FBC

The St Helena Island Transect

T1	T2	T3	T4
<p>T1NP</p> 	<p>T2R</p> 	<p>T2CB</p> 	<p>T3VE</p> 
<p>T1 Natural Preserve</p> <p>Intent</p> <p>To preserve areas that contain sensitive habitats, open space, and limited agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone.</p> <p>The T1 Natural Zone implements the resource protection standards of the existing code.</p>	<p>T2 Rural - St Helena</p> <p>Intent</p> <p>To preserve the rural character of St. Helena Island. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodland, grasslands, trails, and open space areas.</p> <p>T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p>	<p>T2 Cottage Business</p> <p>Intent</p> <p>To preserve the rural character of St. Helena Island. This Zone applies to areas that are in the immediate vicinity of a Corner Store or other important rural intersections, where service and limited commercial uses can cluster in more closely-spaced buildings of residential character.</p> <p>T2 Cottage Business Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p>	<p>T3 Village Edge</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the center of a Village and the rural and natural boundaries.</p> <p>T3 Village Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County.</p>
<p>Desired Form</p> <p>Natural environments, with distantly spaced, detached, low rise form, setback from the street.</p>	<p>Desired Form</p> <p>Distantly spaced, detached, low rise form, setback from the street.</p>	<p>Desired Form</p> <p>Detached, low rise form, closely setback from the street loosely define the street edge.</p>	<p>Desired Form</p> <p>Detached, low rise form, setback from the street.</p>
<p>Building Height</p> <p>Where allowed, 2 stories max.</p>	<p>Building Height</p> <p>2 stories max.</p>	<p>Building Height</p> <p>2 stories max.</p>	<p>Building Height</p> <p>2.5 stories max.</p>
<p>General Use</p> <p>Resource Conservation, with limited Residential and Open Space Uses</p>	<p>General Use</p> <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p>	<p>General Use</p> <p>Service, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses</p>	<p>General Use</p> <p>Residential with some Civic/Open Space and Service Uses</p>
<p>Parking Characteristics</p> <p>Low Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p>	<p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p>	<p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p>	<p>Parking</p> <p>Moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, Limited On-Street Parking</p>
<p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	<p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	<p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	<p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>
<p>T3V</p> 	<p>T3V-LE</p> 	<p>T4VC</p> 	
<p>T3 Village</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the center of a Village and rural areas.</p> <p>T3 Village Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County.</p>	<p>T3 Village - Land's End</p> <p>Intent</p> <p>To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and bungalow courts within walking distance to commercial areas and gathering places.</p> <p>T3 Village - Land's End Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County.</p>	<p>T4 Village Center</p> <p>Intent</p> <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and mansion apartments with retail and service uses in an environment conducive to walking and bicycling.</p> <p>The T4 Village Center integrates open civic spaces, scenic vistas, a minimum of paving, preserved historic structures, and spaces for community gathering.</p>	
<p>Desired Form</p> <p>Detached, low rise form, setback from the street.</p>	<p>Desired Form</p> <p>Closely spaced, detached, low rise form, setback from the street.</p>	<p>Desired Form</p> <p>Predominantly detached, closely spaced low rise form, setback from the street.</p>	
<p>Building Height</p> <p>2.5 stories max.</p>	<p>Building Height</p> <p>2.5 stories max.</p>	<p>Building Height</p> <p>2.5 stories max.</p>	
<p>General Use</p> <p>Residential with some Civic/Open Space and Service Uses</p>	<p>General Use</p> <p>Residential, with some Civic/Open Space, and Service Uses</p>	<p>General Use</p> <p>Residential, with Retail, and some Civic/Open Space and Service Uses</p>	
<p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, Some On-Street Parking</p>	<p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, On-Street Parking</p>	<p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. On street parking should be counted toward required nonresidential parking in selected areas.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p>	
<p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	<p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with open drainage swales or valley gutters, and broad planting strips</p>	<p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips</p>	



T1 Natural Preserve

Intent

To preserve areas that contain sensitive habitats, open space, and limited agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone.

The T1 Natural Zone implements the resource protection standards of the existing code.

Desired Form

Natural environments, with distantly spaced, detached, low rise form, setback from the street.

Building Height

Where allowed, 2 stories max.

General Use

Resource Conservation, with limited Residential and Open Space Uses

Parking Characteristics

Low Parking Requirements

Individual Parking Lots, No On-Street Parking



T2 Rural - St Helena

Intent

To preserve the rural character of St. Helena Island. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodland, grasslands, trails, and open space areas.

T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.

Desired Form

Distantly spaced, detached, low rise form, setback from the street.

Building Height

2 stories max.

General Use

Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses

Parking

Moderate Parking Requirements

Individual Parking Lots, No On-Street Parking

T2 Cottage Business

Intent

To preserve the rural character of St. Helena Island. This Zone applies to areas that are in the immediate vicinity of a Corner Store or other important rural intersections, where service and limited commercial uses can cluster in more closely-spaced buildings of residential character.

T2 Cottage Business Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.

Desired Form

Detached, low rise form, closely setback from the street loosely define the street edge.

Building Height

2 stories max.

General Use

Service, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses

Parking

Moderate Parking Requirements

Individual Parking Lots, No On-Street Parking





T3 Village Edge

Intent

To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the center of a Village and the rural and natural boundaries.

T3 Village Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County.

Desired Form

Detached, low rise form, setback from the street.

Building Height

2.5 stories max.

General Use

Residential with some Civic/Open Space and Service Uses

Parking

Moderate Parking Requirements to promote walkability and minimize visual impact.



T3 Village

Intent

To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the center of a Village and rural areas.

T3 Village Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County.

Desired Form

Detached, low rise form, setback from the street.

Building Height

2.5 stories max.

General Use

Residential with some Civic/Open Space and Service Uses

Parking

Low to moderate Parking Requirements to promote walkability and minimize visual impact.



T3 Village - Land's End

Intent

To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and bungalow courts within walking distance to commercial areas and gathering places.

T3 Village - Land's End Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County.

Desired Form

Closely spaced, detached, low rise form, setback from the street.

Building Height

2.5 stories max.

General Use

Residential, with some Civic/Open Space, and Service Uses

Parking

Low to moderate Parking Requirements to promote walkability and minimize visual impact.



T4 Village Center

Intent

To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and mansion apartments with retail and service uses in an environment conducive to walking and bicycling.

The T4 Village Center integrates open civic spaces, scenic vistas, a minimum of paving, preserved historic structures, and spaces for community gathering.

Desired Form

Predominantly detached, closely spaced low rise form, setback from the street.

Building Height

2.5 stories max.

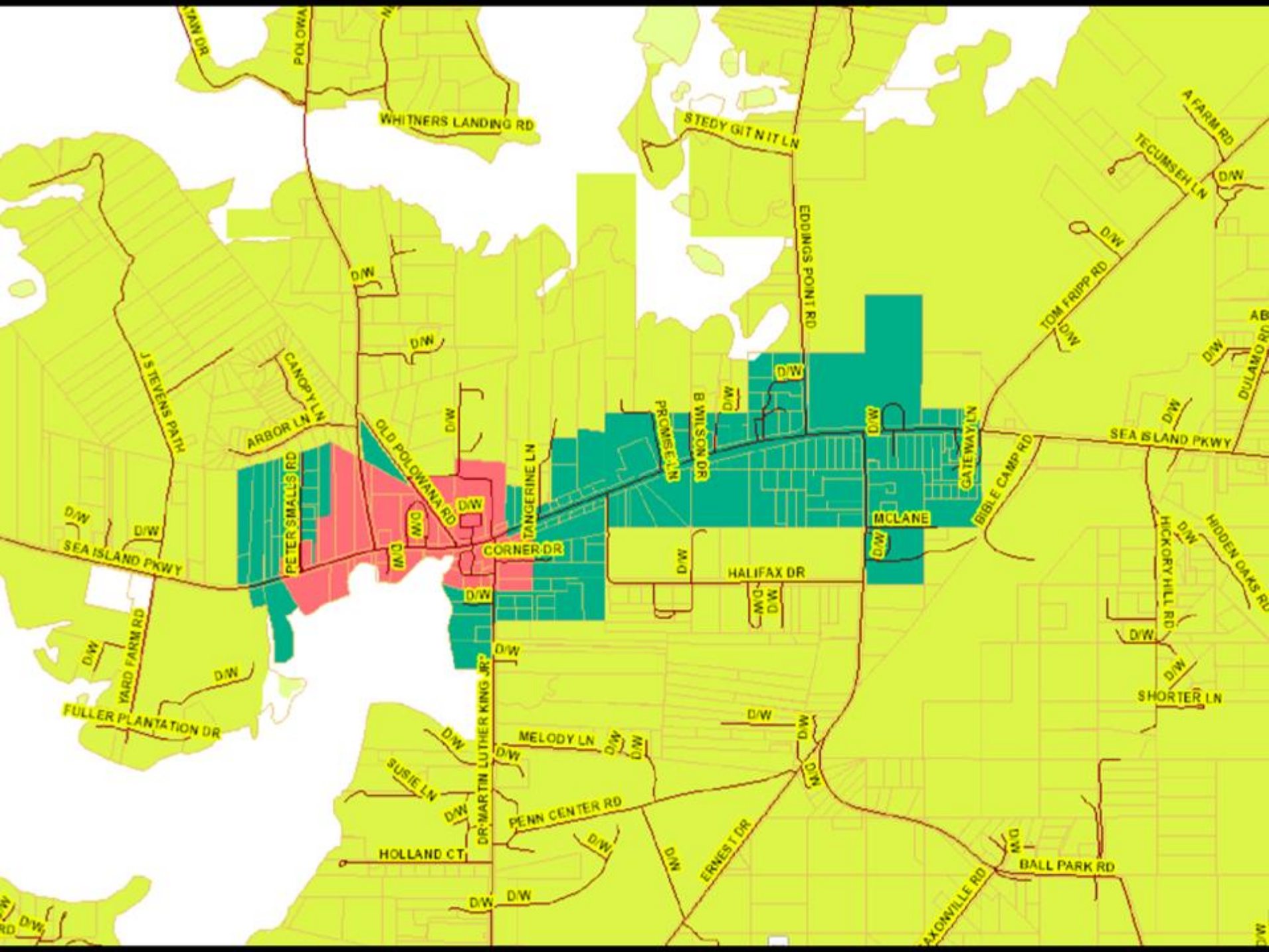
General Use

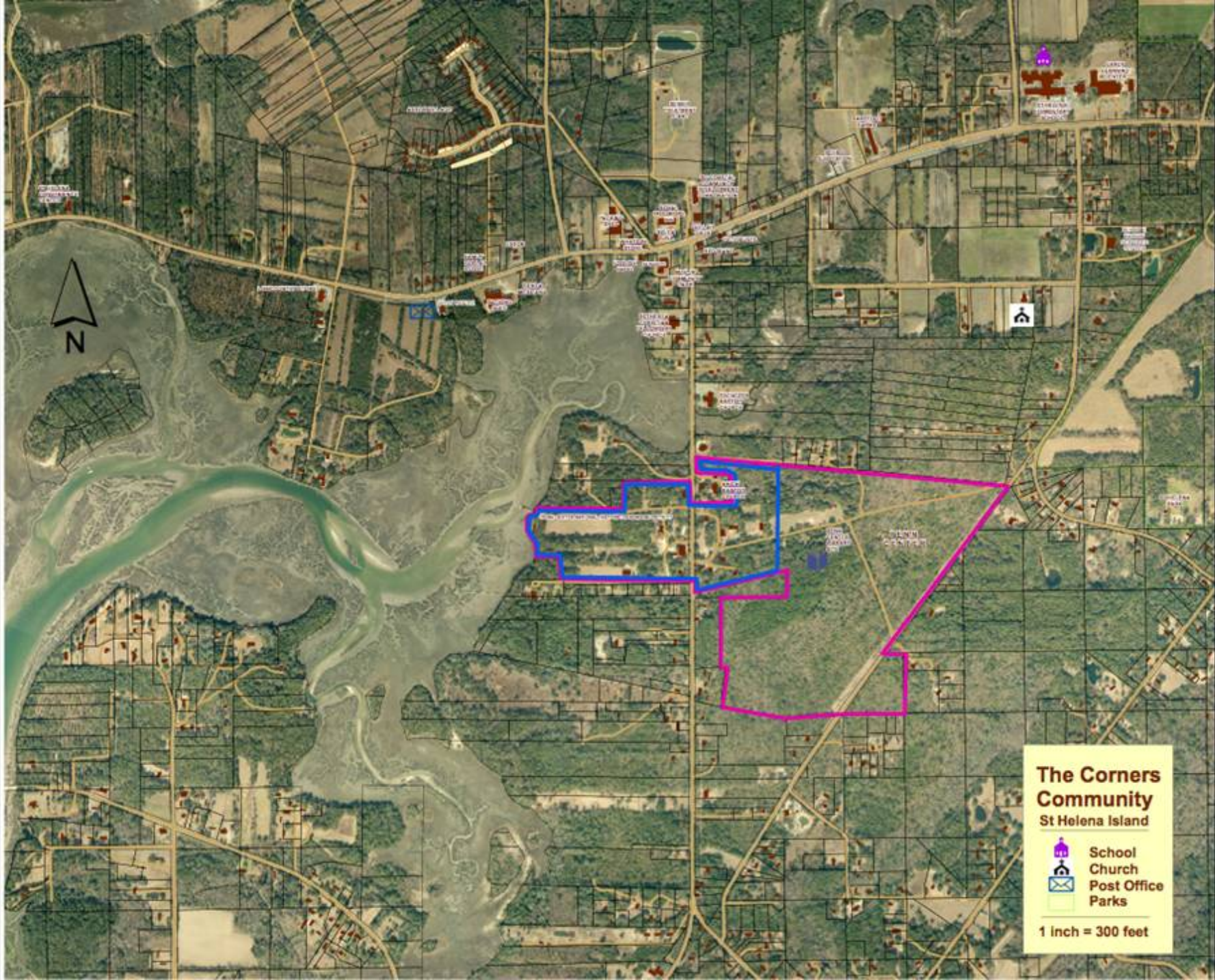
Residential, with Retail, and some Civic/Open Space and Service Uses

Parking

Low to moderate Parking Requirements to promote walkability and minimize visual impact. On street parking should be counted toward required nonresiden-

Corners Community

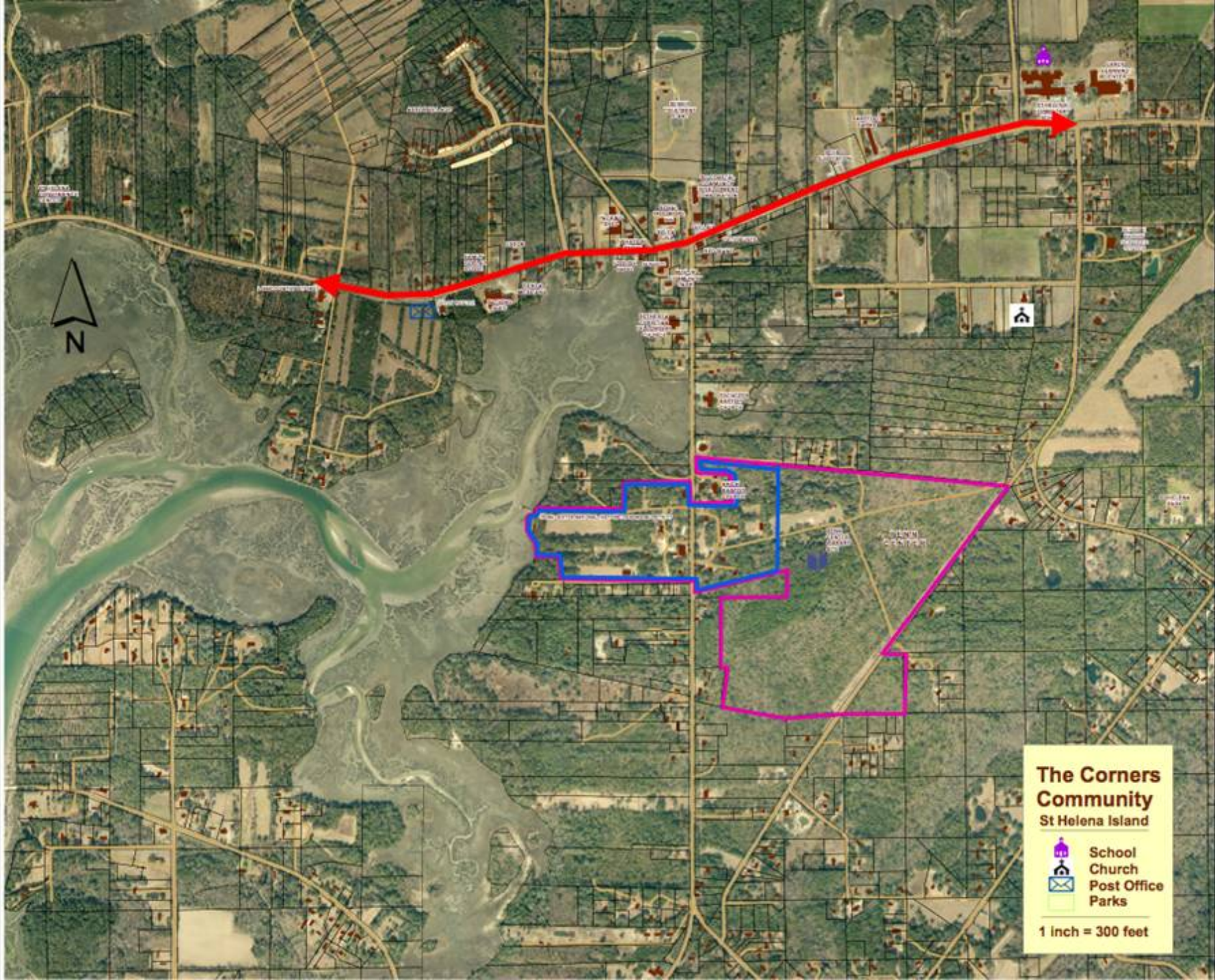




**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

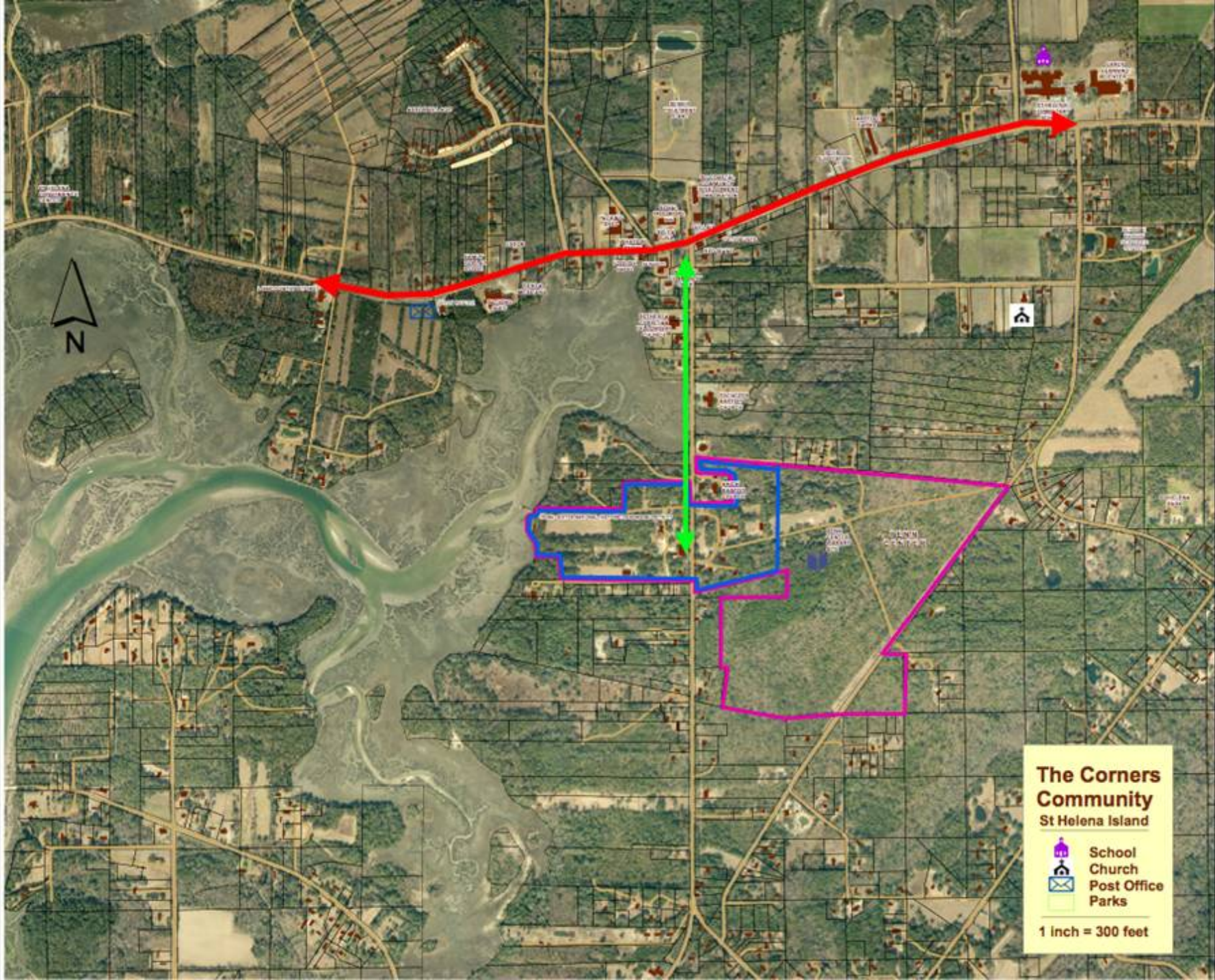
1 inch = 300 feet



**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

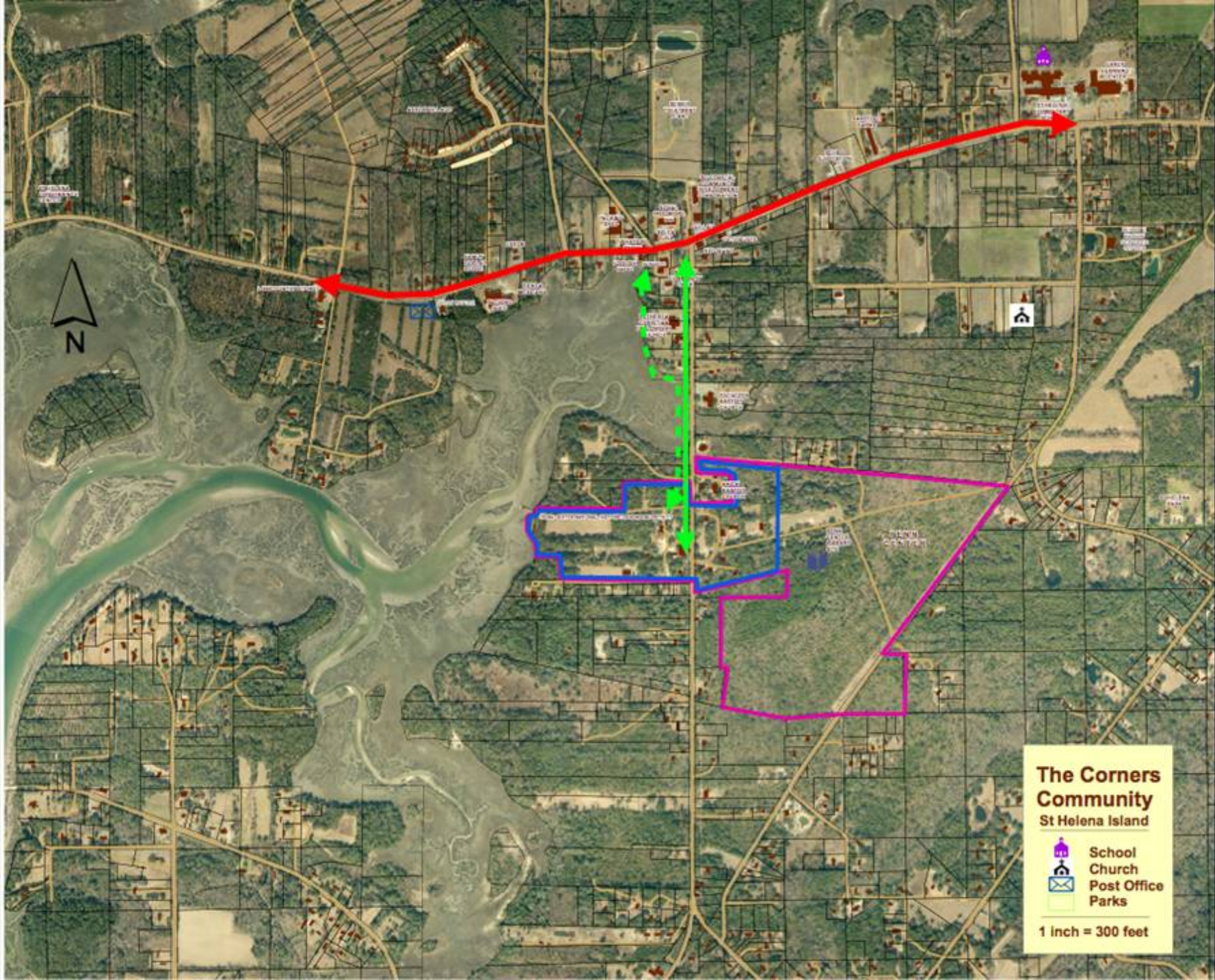
1 inch = 300 feet



**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

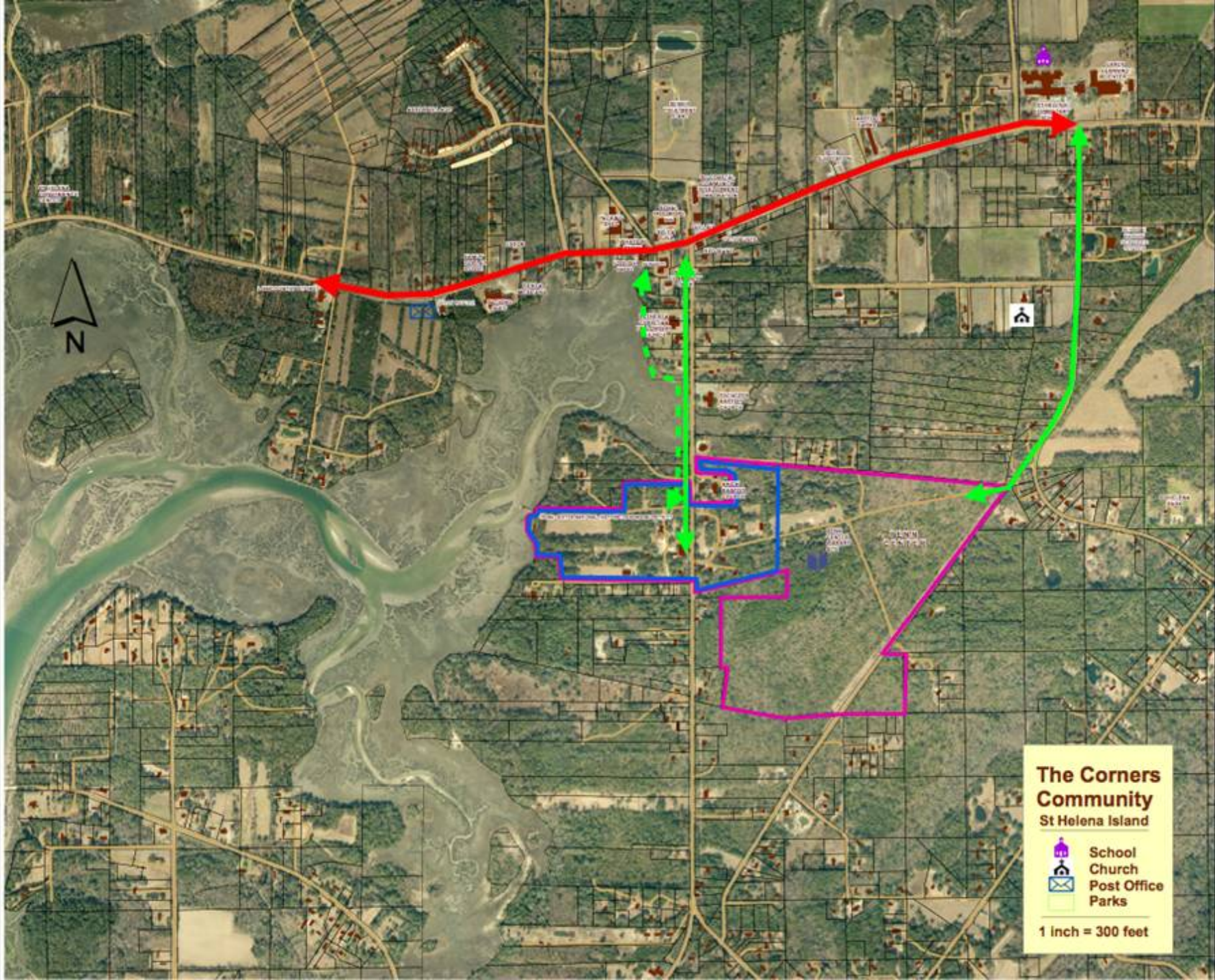
1 inch = 300 feet



**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

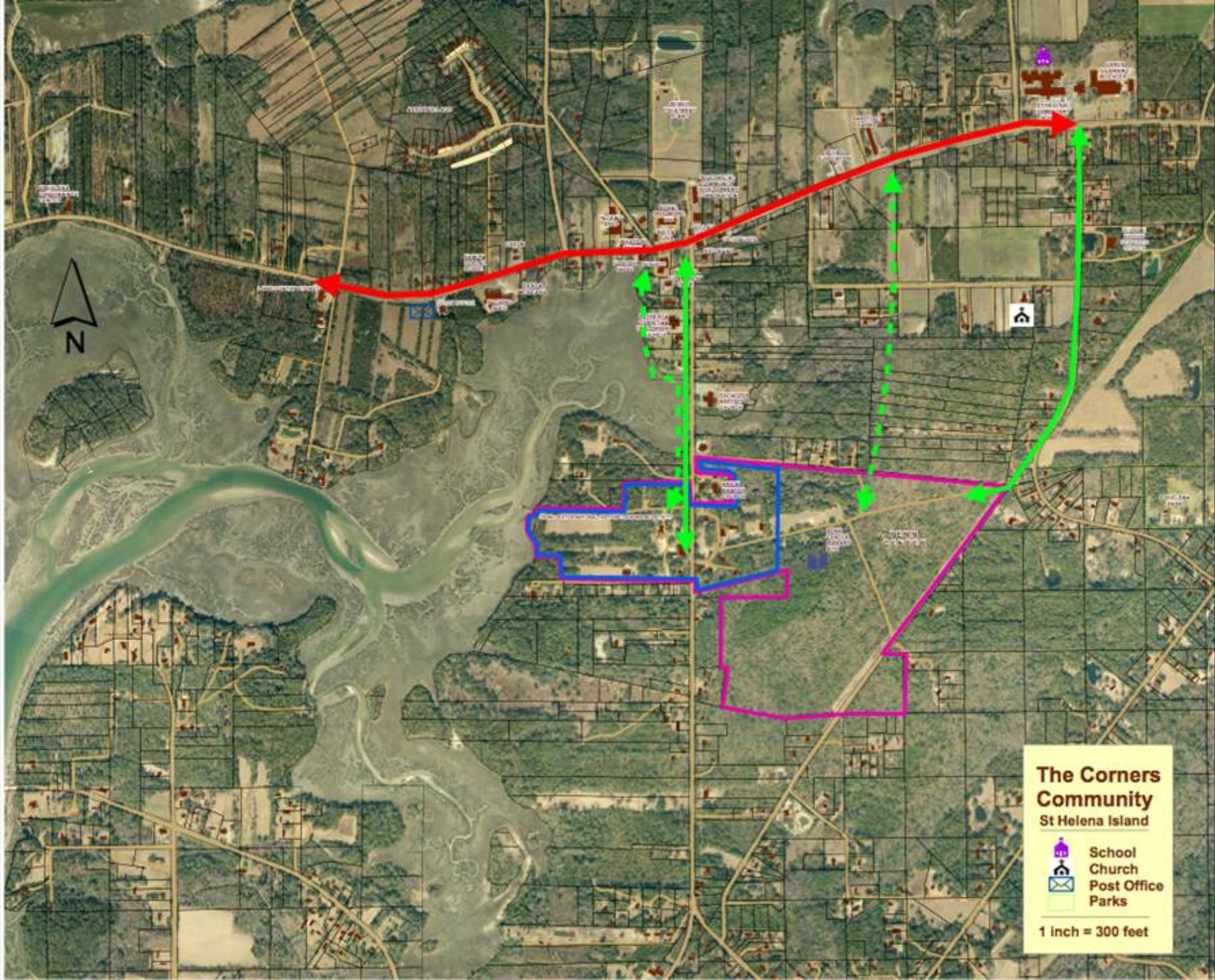
1 inch = 300 feet



**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

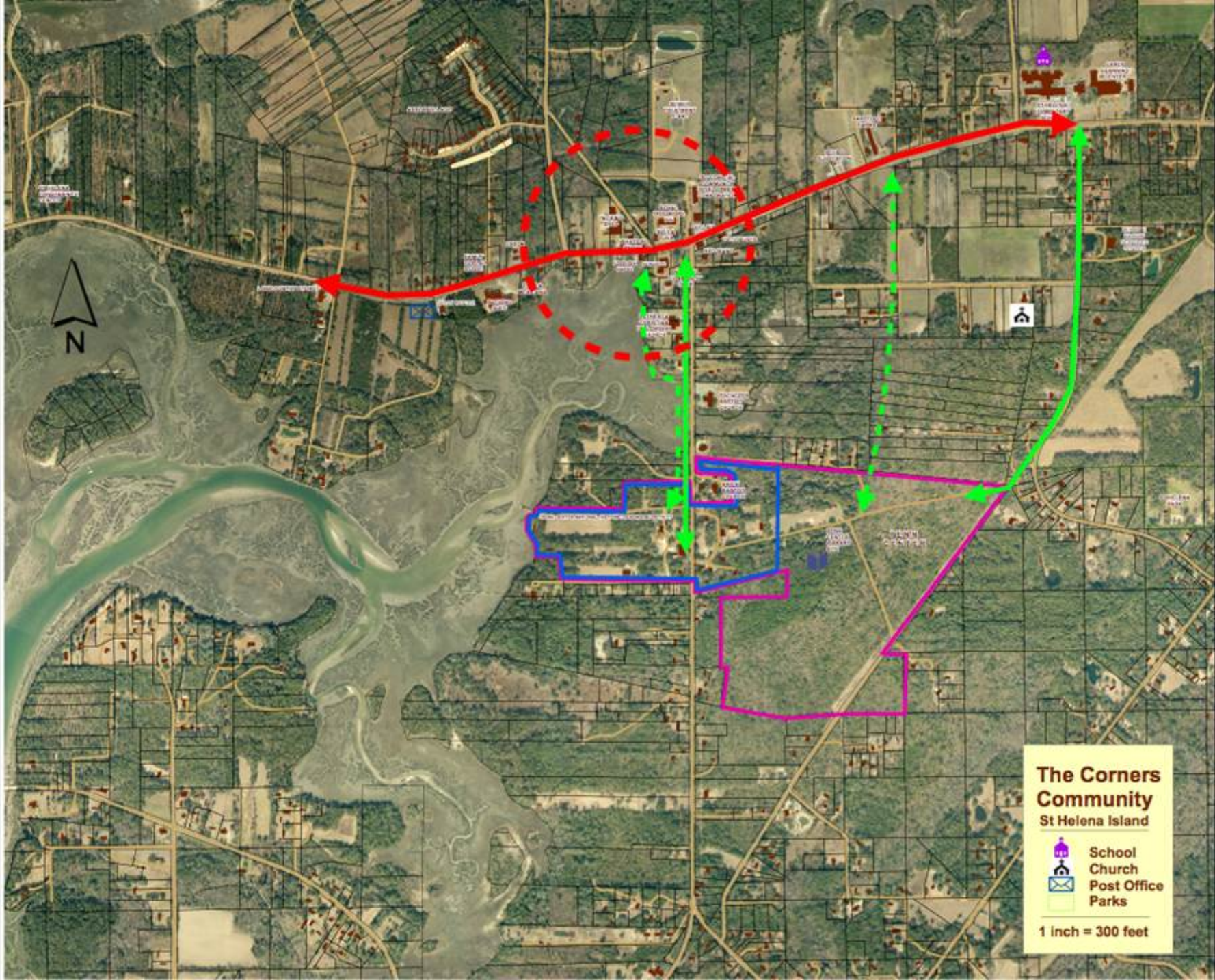
1 inch = 300 feet



**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

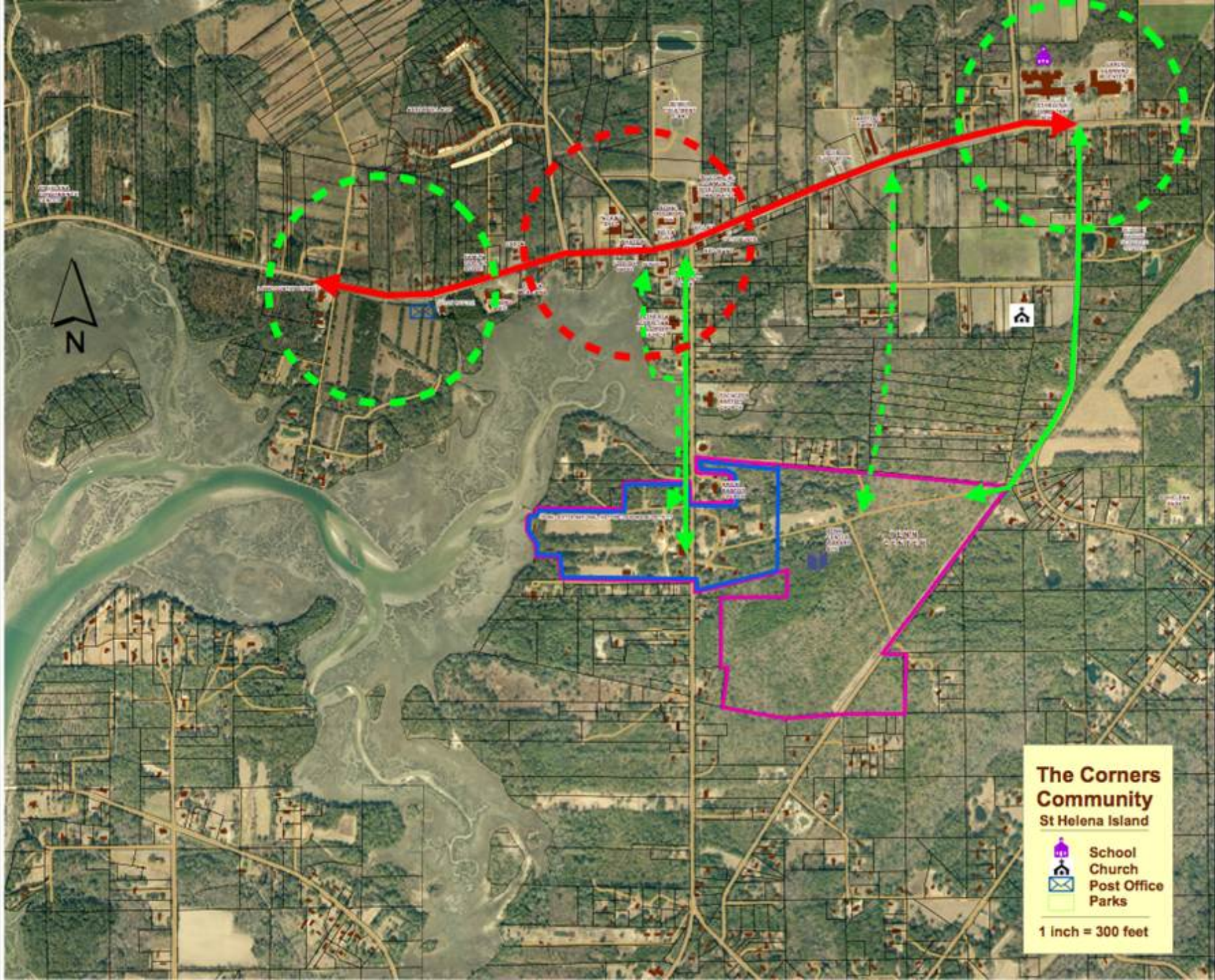
1 inch = 300 feet



**The Corners
Community**
St Helena Island

-  School
-  Church
-  Post Office
-  Parks

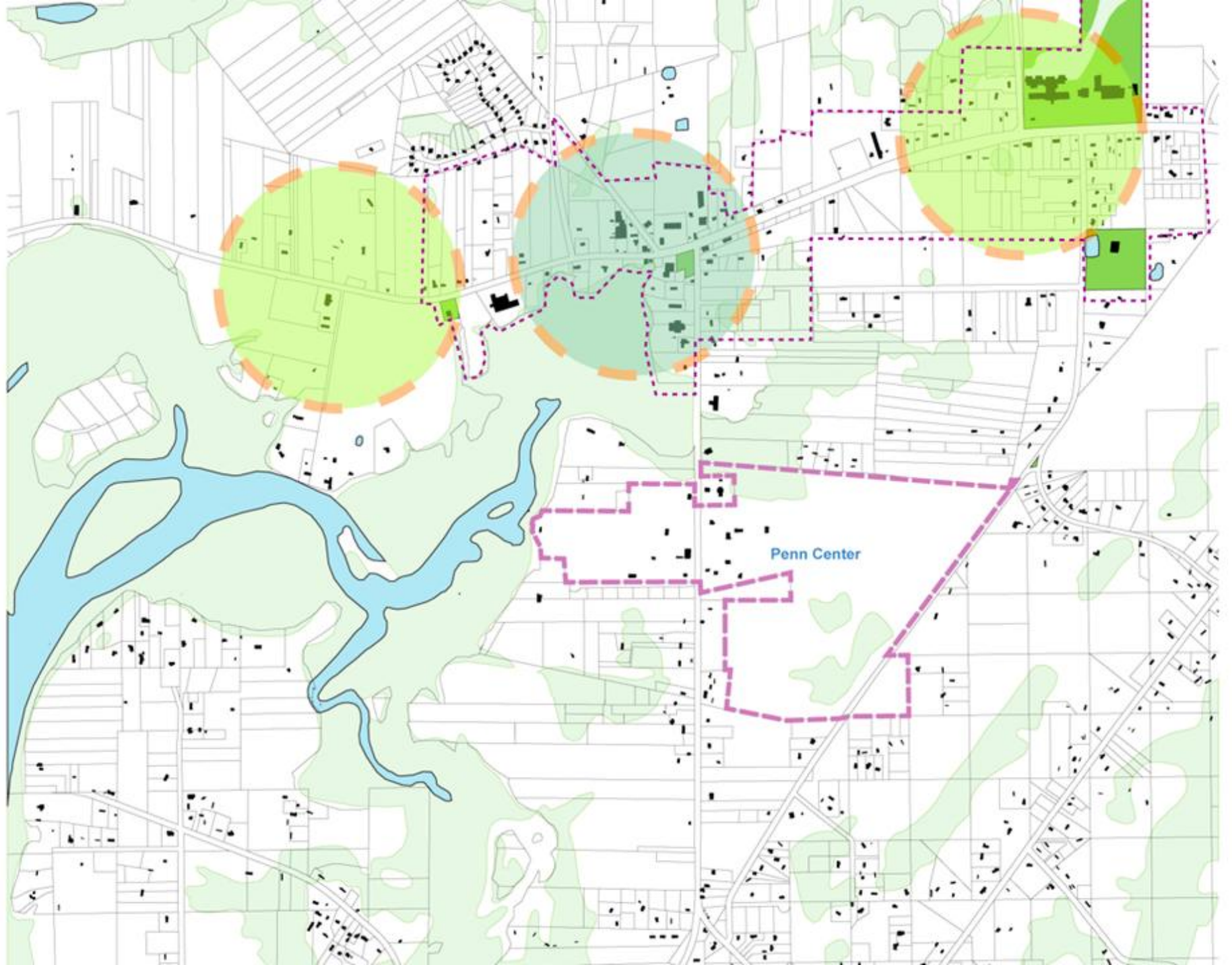
1 inch = 300 feet

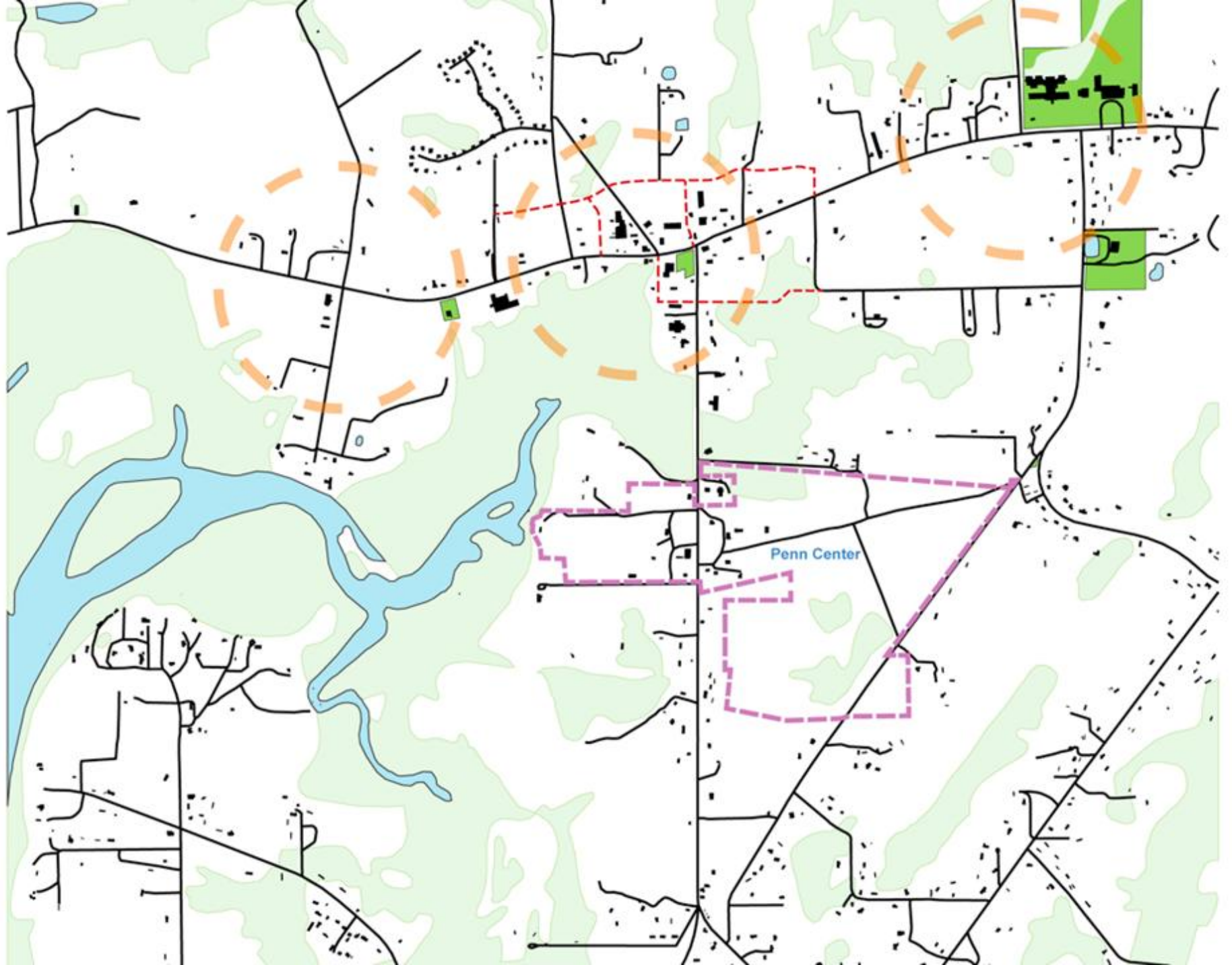


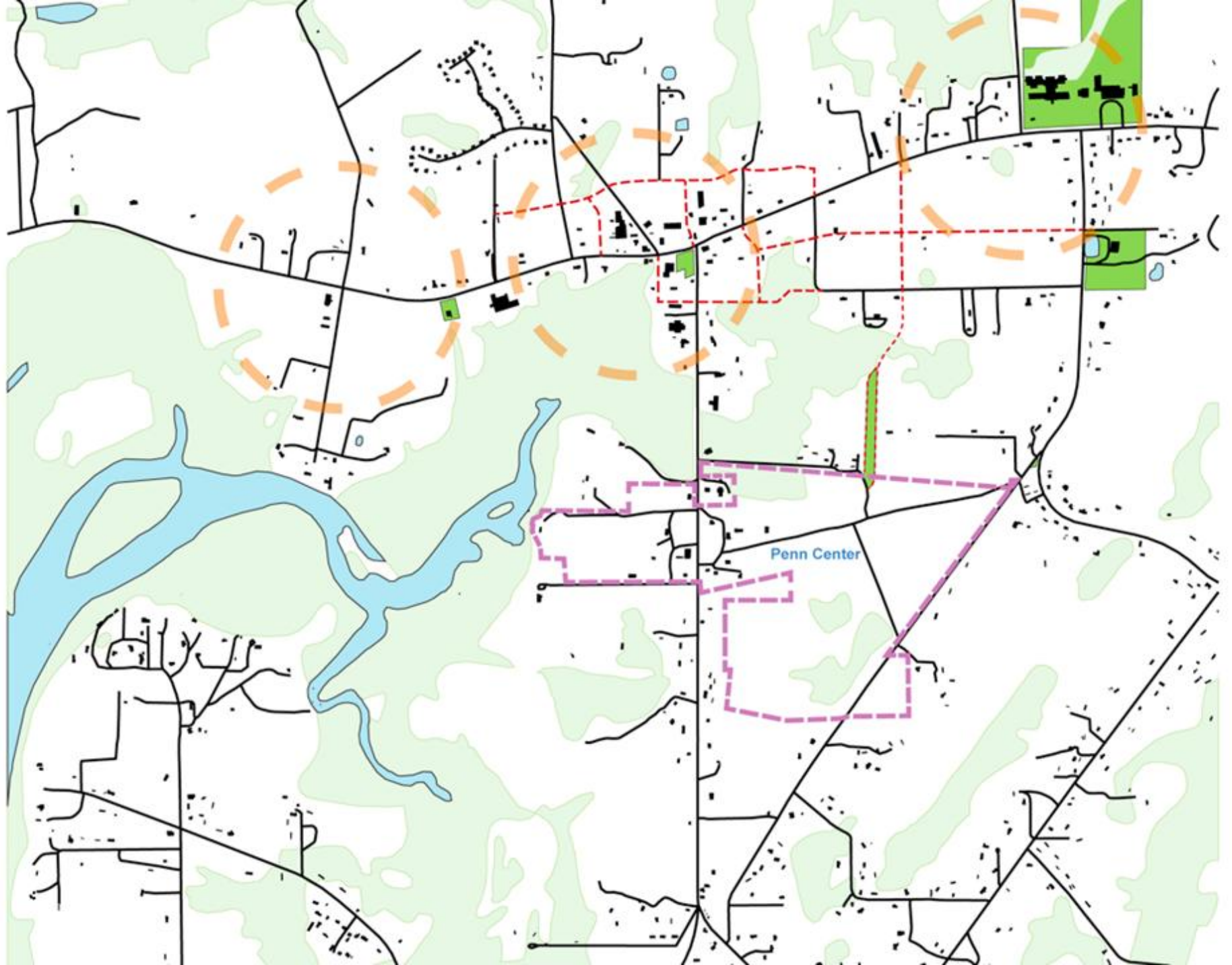
**The Corners
Community**
St Helena Island

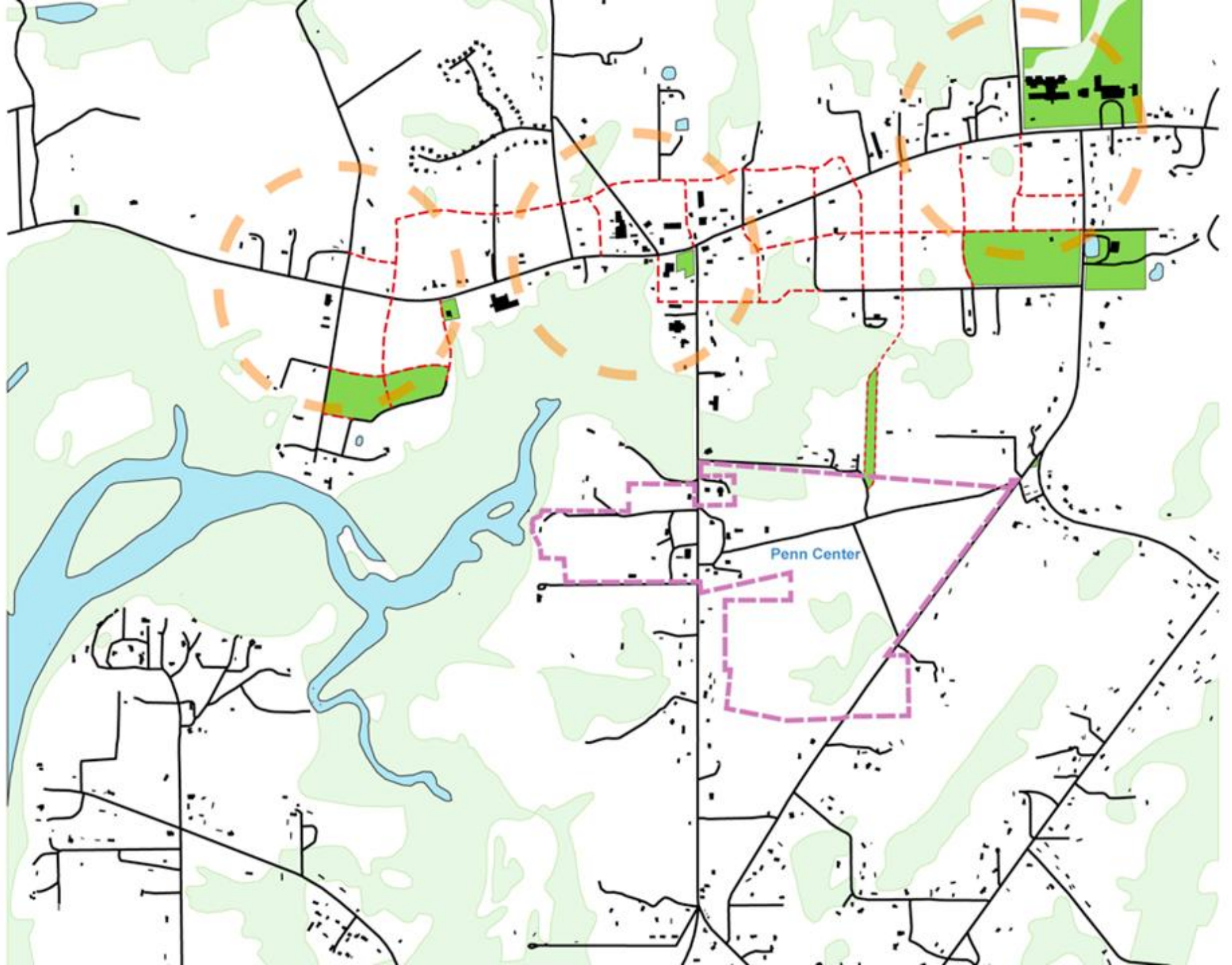
-  School
-  Church
-  Post Office
-  Parks

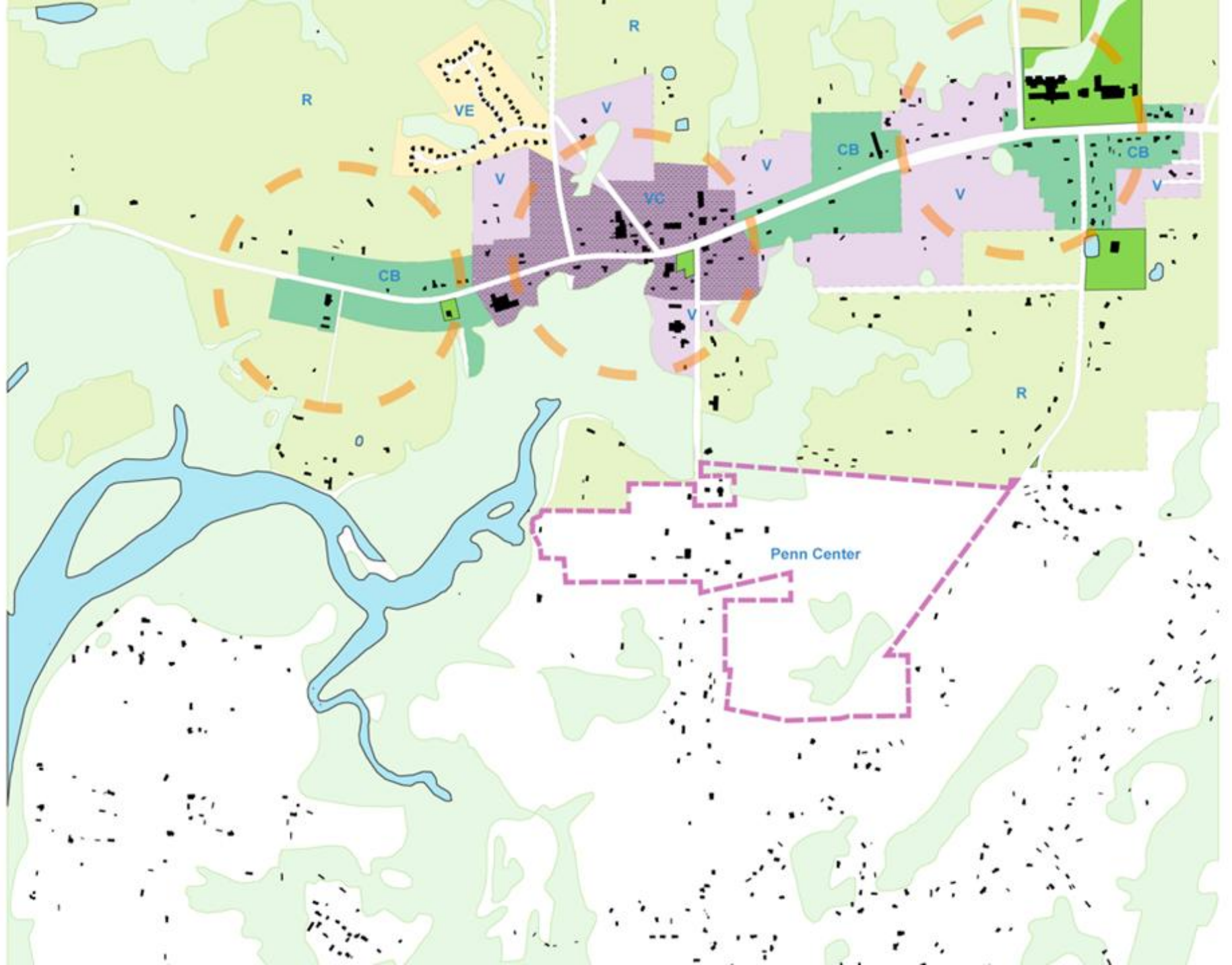
1 inch = 300 feet















Potential
Community Market

Improved
MLK Park

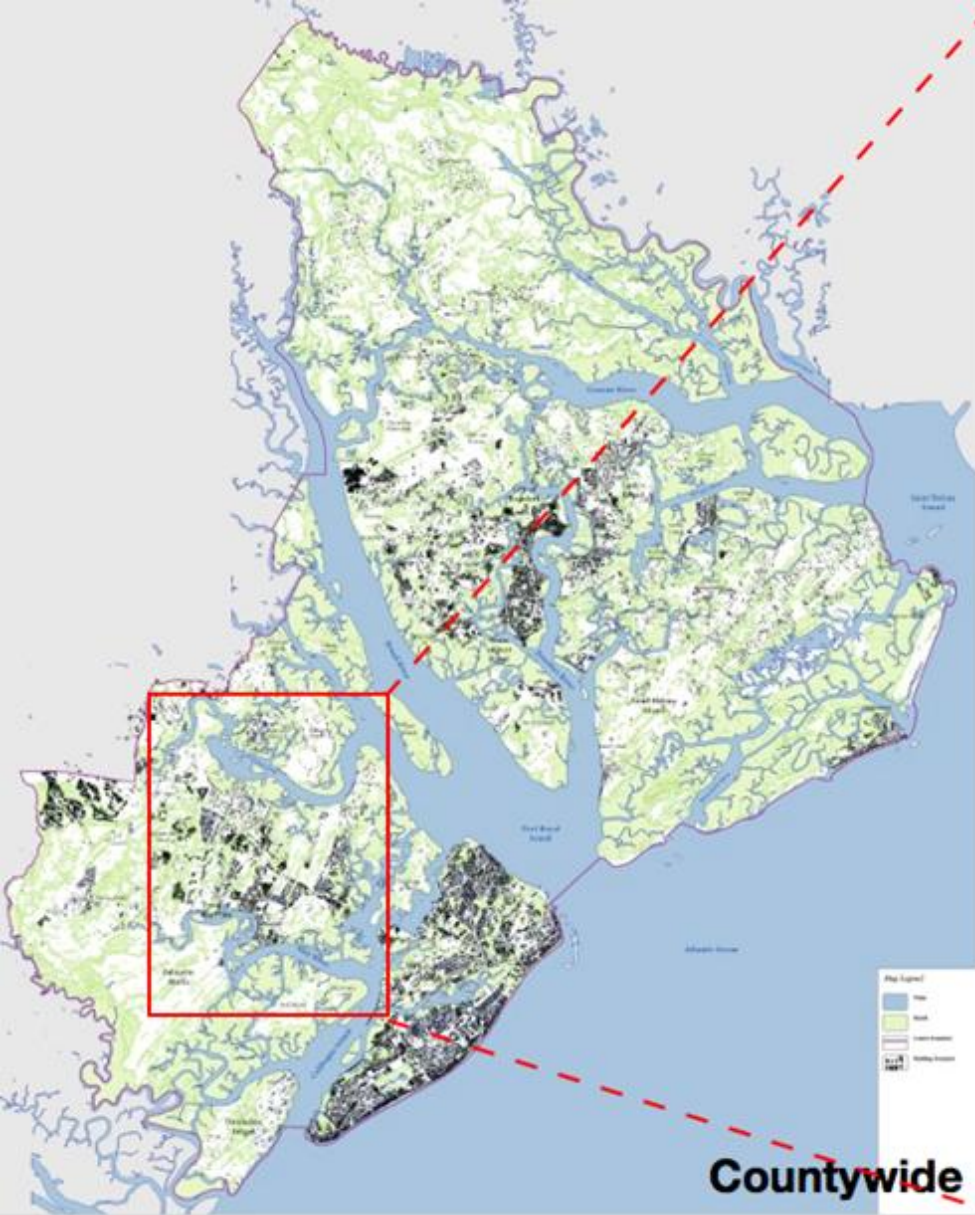


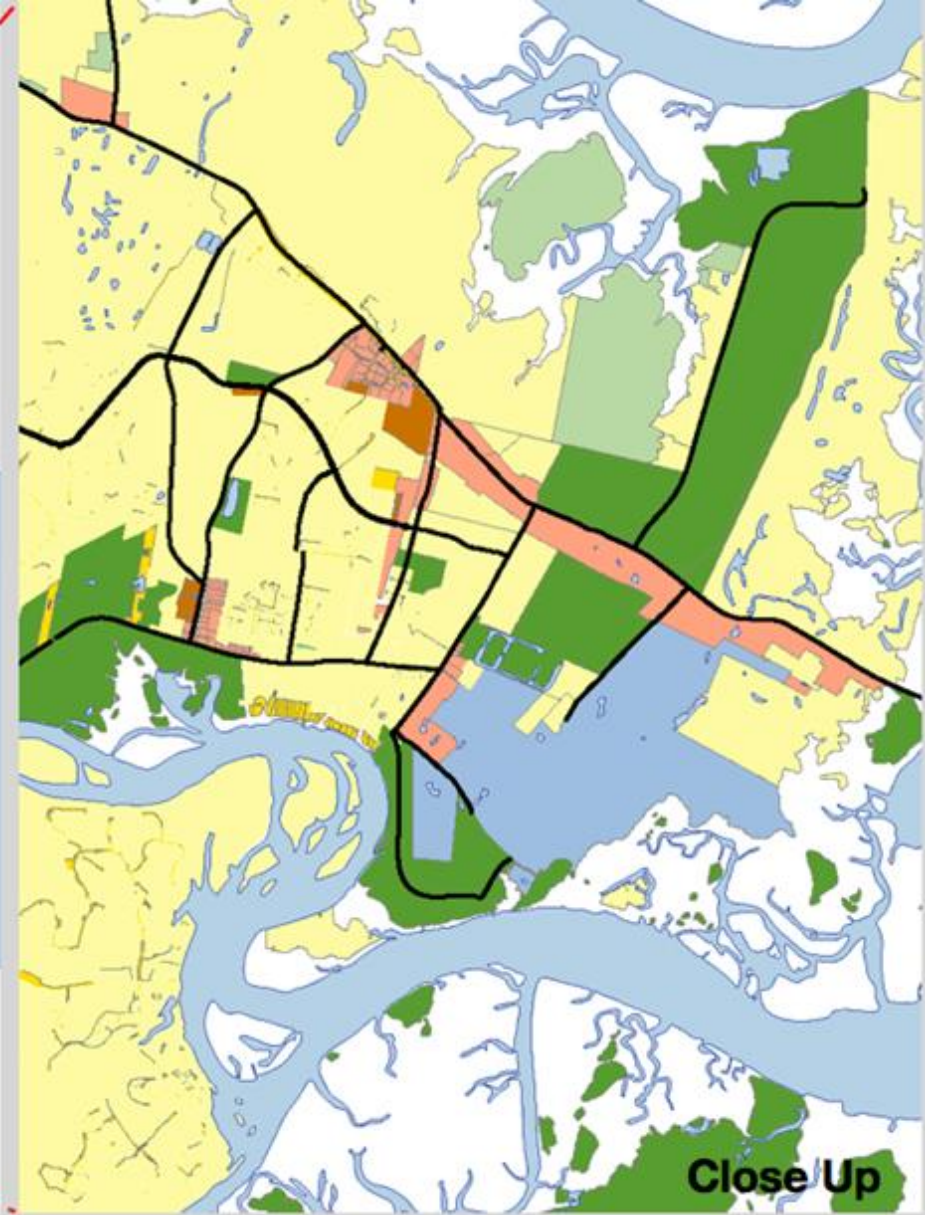
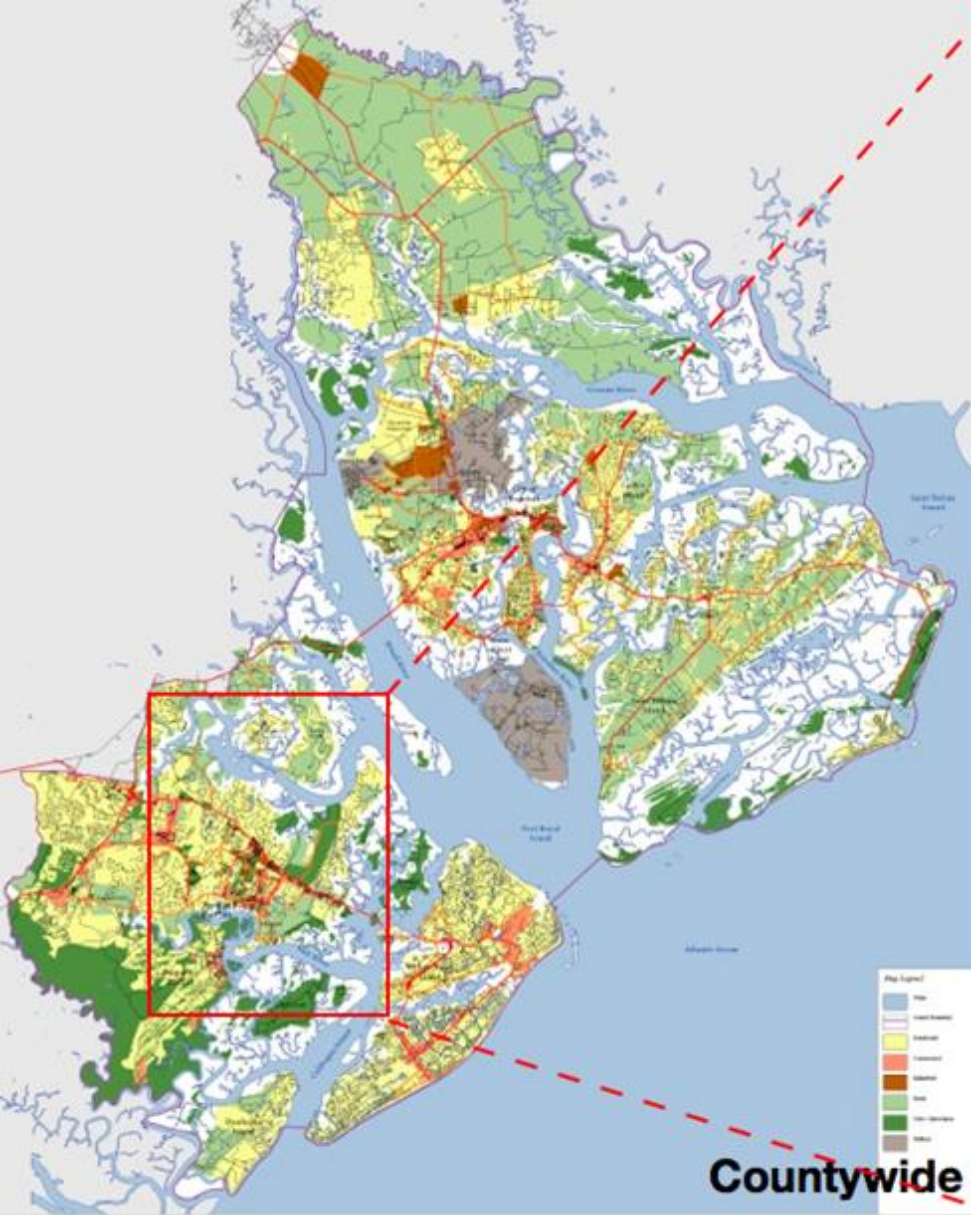


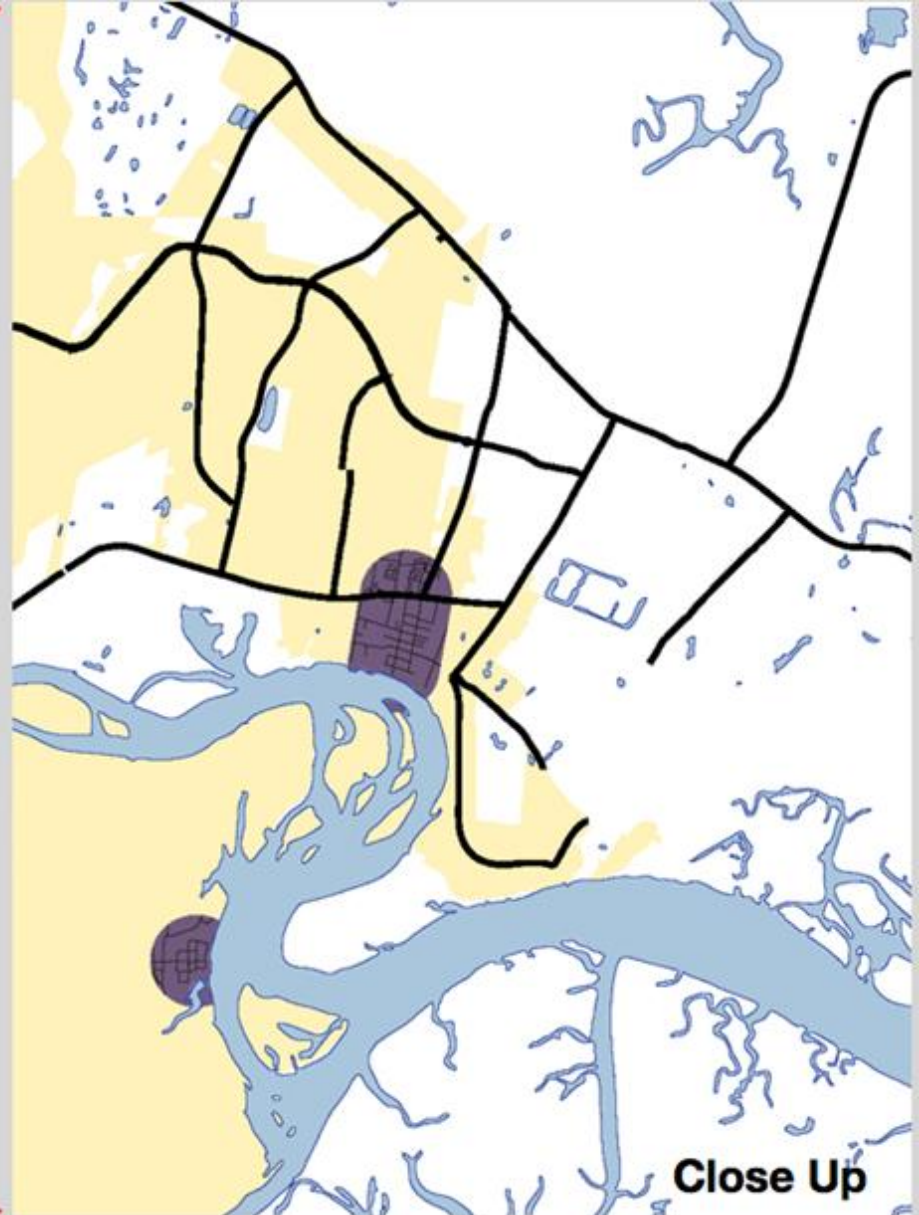
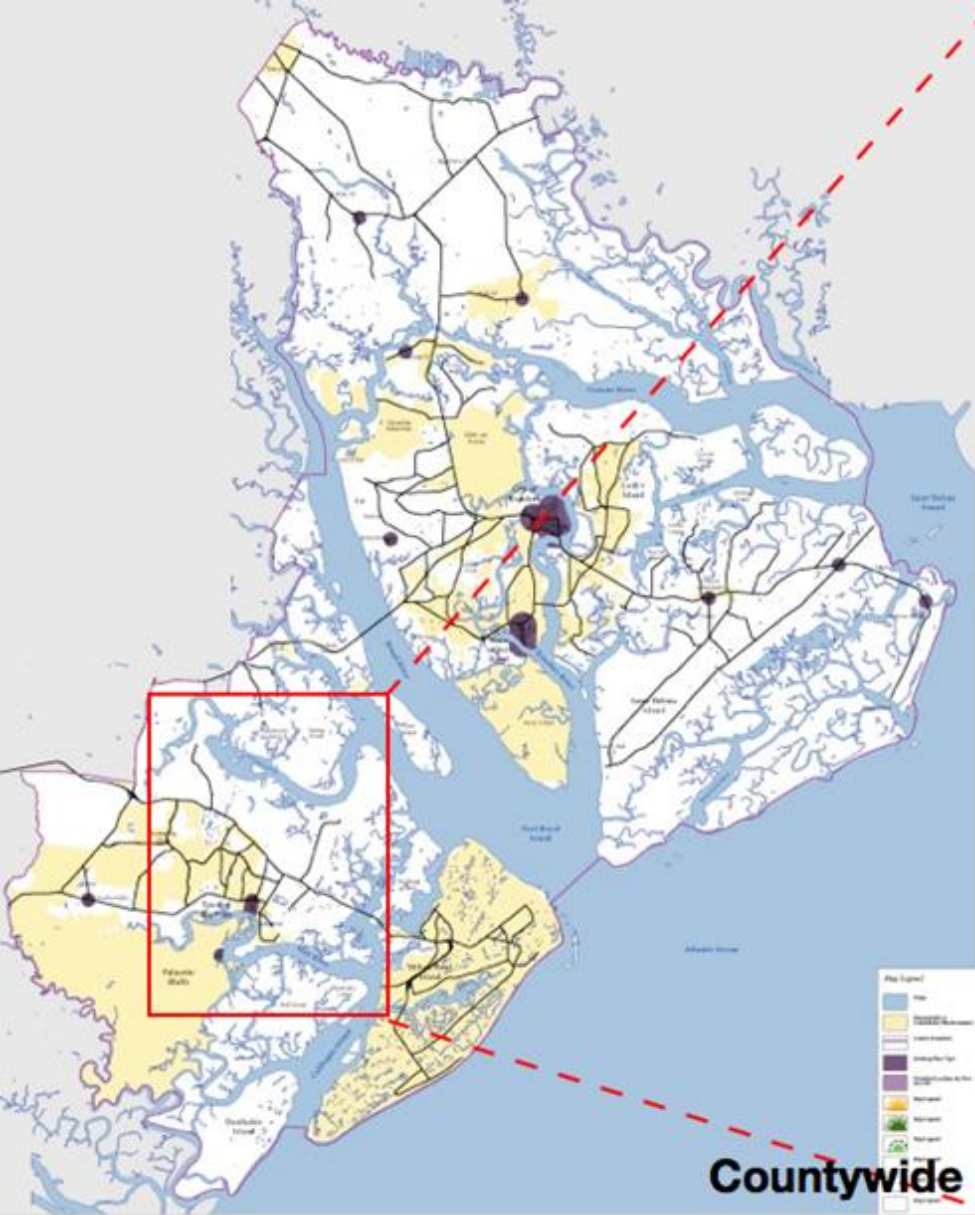
**Potential Pedestrian
Connection**

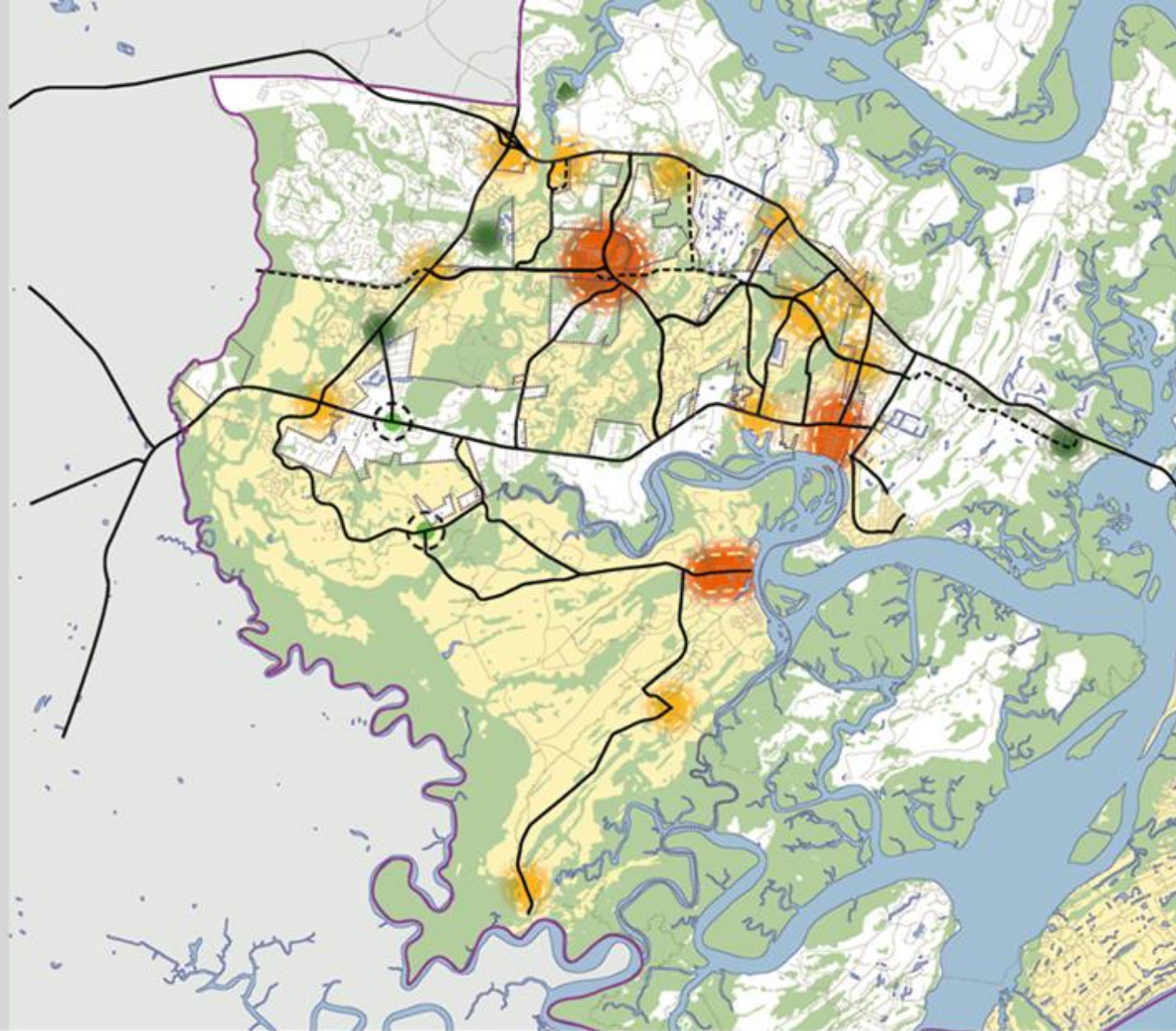
	Proposed Zone Transitions: Corners' Community	Proposed Zone Transitions: Land's End
T1	RC Resource Conservation	RC Resource Conservation
T2-R	R Rural (Largest Parcels, Traditional Uses)	R Rural (Largest Parcels, Traditional Uses)
T2-CB	CP Community Preservation (Traditional Businesses and Cottage Industries)	R Rural (Traditional Business and Cottage Industries)
T3-VE	R Rural (Large Parcels, Traditional Uses)	R Rural (Large Parcels, Traditional Uses) CP Community Preservation
T3-V	CP Community Preservation (Smaller Residential Parcels, Traditional Uses)	CP Community Preservation (Smaller Residential Parcels, Traditional Uses)
T3-V-LE	N/A	CP Community Preservation (Small Residential Parcels)
T4-VC	PMD Public Market District (Commercial, Civic, and Service Uses)	CP Community Preservation (Commercial, Civic, and Service Uses)

Southern Beaufort County

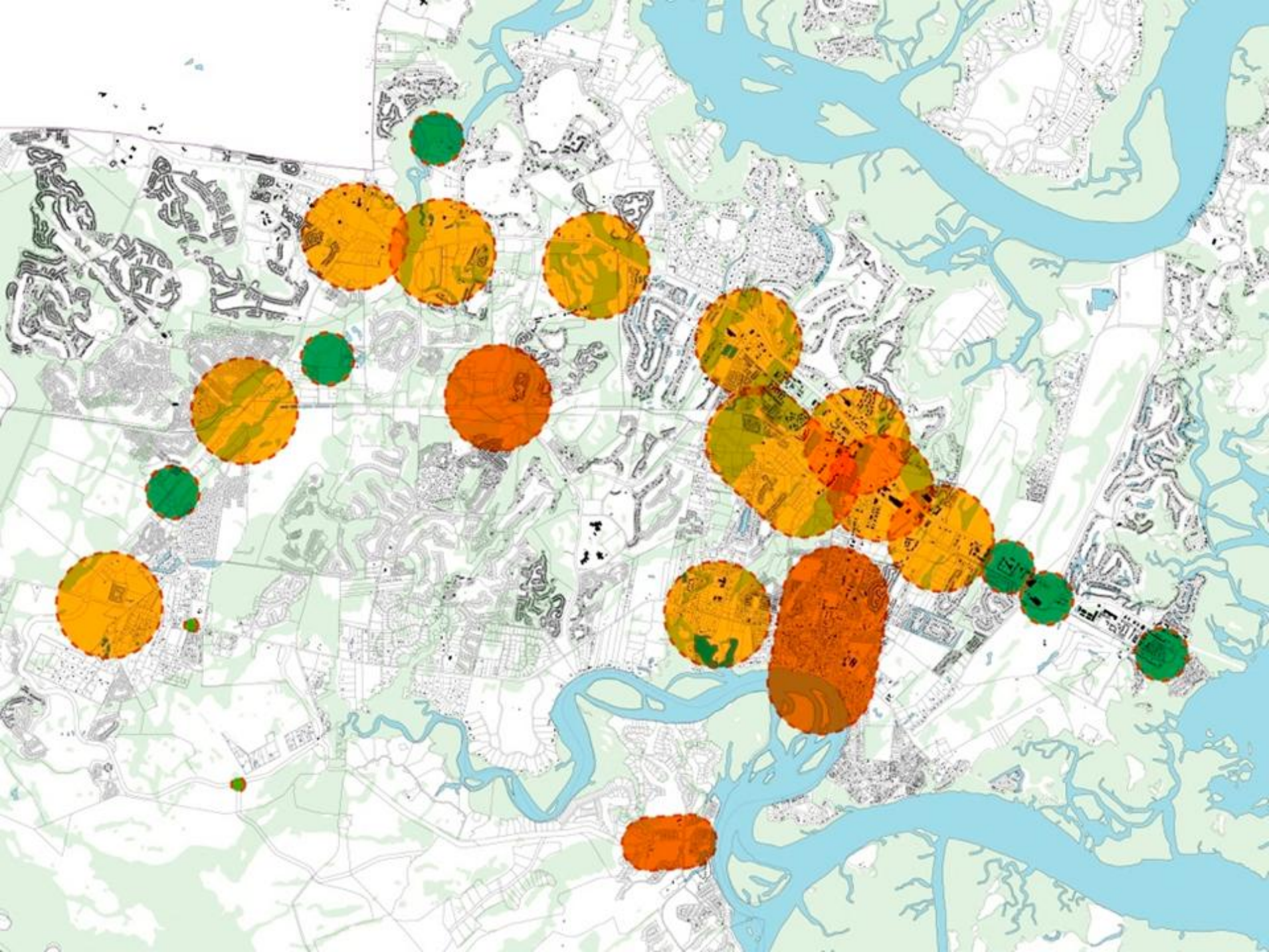






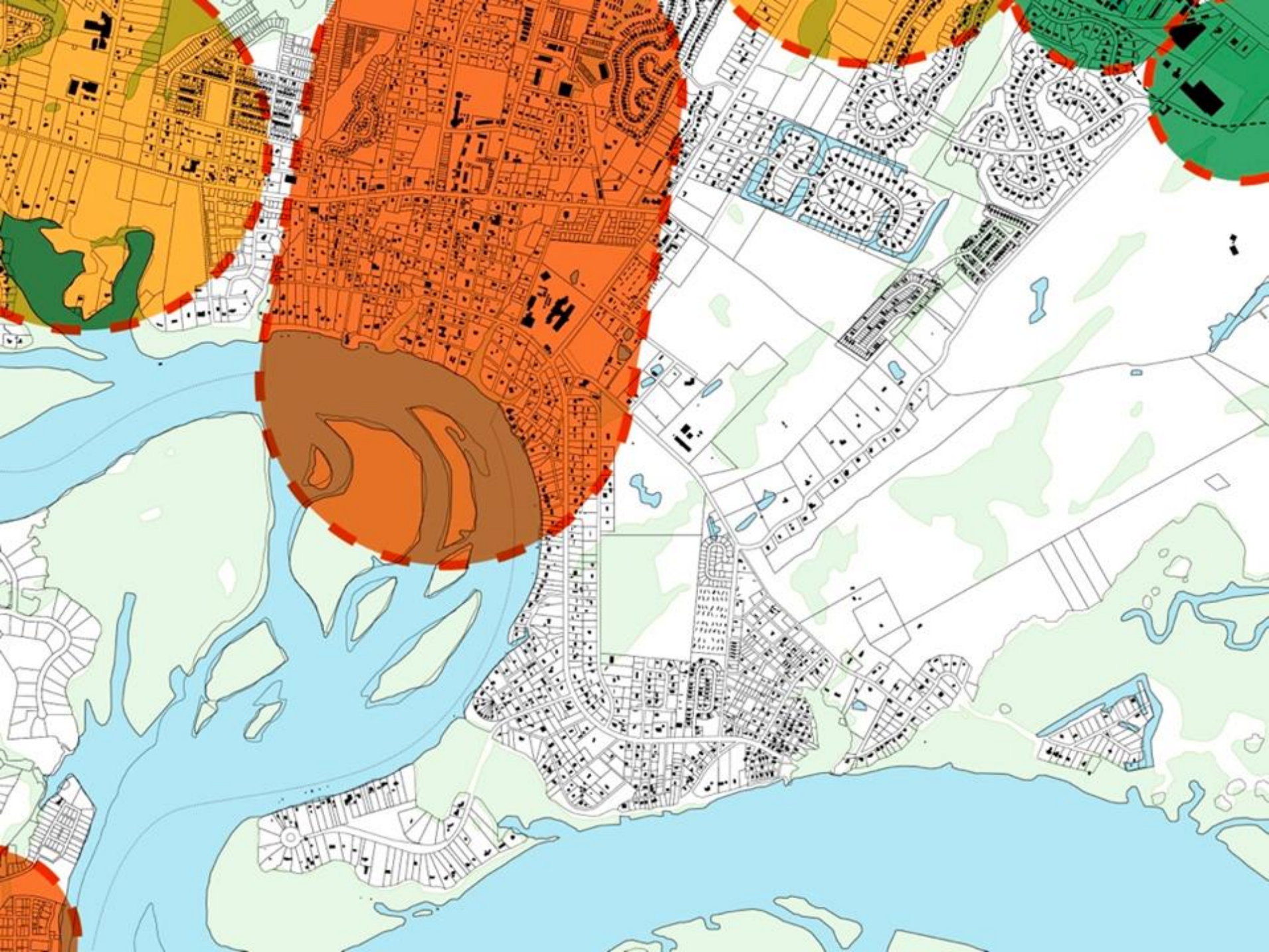


Beaufort County Multi-Jurisdictional FBC



Alljoy







MAY RIVER

Crystal Family Park

Old Trolley

MC River Elementary School

Silver Tract (under conservation easement)

Silver Tract (under conservation easement)





Kenneth Beach

Crystal Beach

Brighton Beach Boat Landing

Alljoy & Brighton Beach

1 inch = 300 feet

-  Town Limits
-  School
-  Police/Safety
-  Fire Station





Alljoy & Brighton Beach

1 inch = 300 feet

- Town Limits
- S School
- P Police/Safety
- F Fire Station



MAY RIVER

MC River Elementary School

Crystal Family Park

Silver Tract (under conservation easement)

Silver Tract (under conservation easement)

Lower of Sugarloaf Lake

Kenneth Beach

Crystal Beach

Brighton Beach Boat Landing

Wright Beach

Crystal Park (under)





Barge Landing

Parkland



Alljoy & Brighton Beach

1 inch = 300 feet

-  Town Limits
-  School
-  Police/Safety
-  Fire Station



Alljoy & Brighton Beach

1 inch = 300 feet

- Town Limits
- S School
- P Police/Safety
- F Fire Station



MAY RIVER

WC River Elementary School

Crystal Family Park

Upper Tract (under conservation easement)

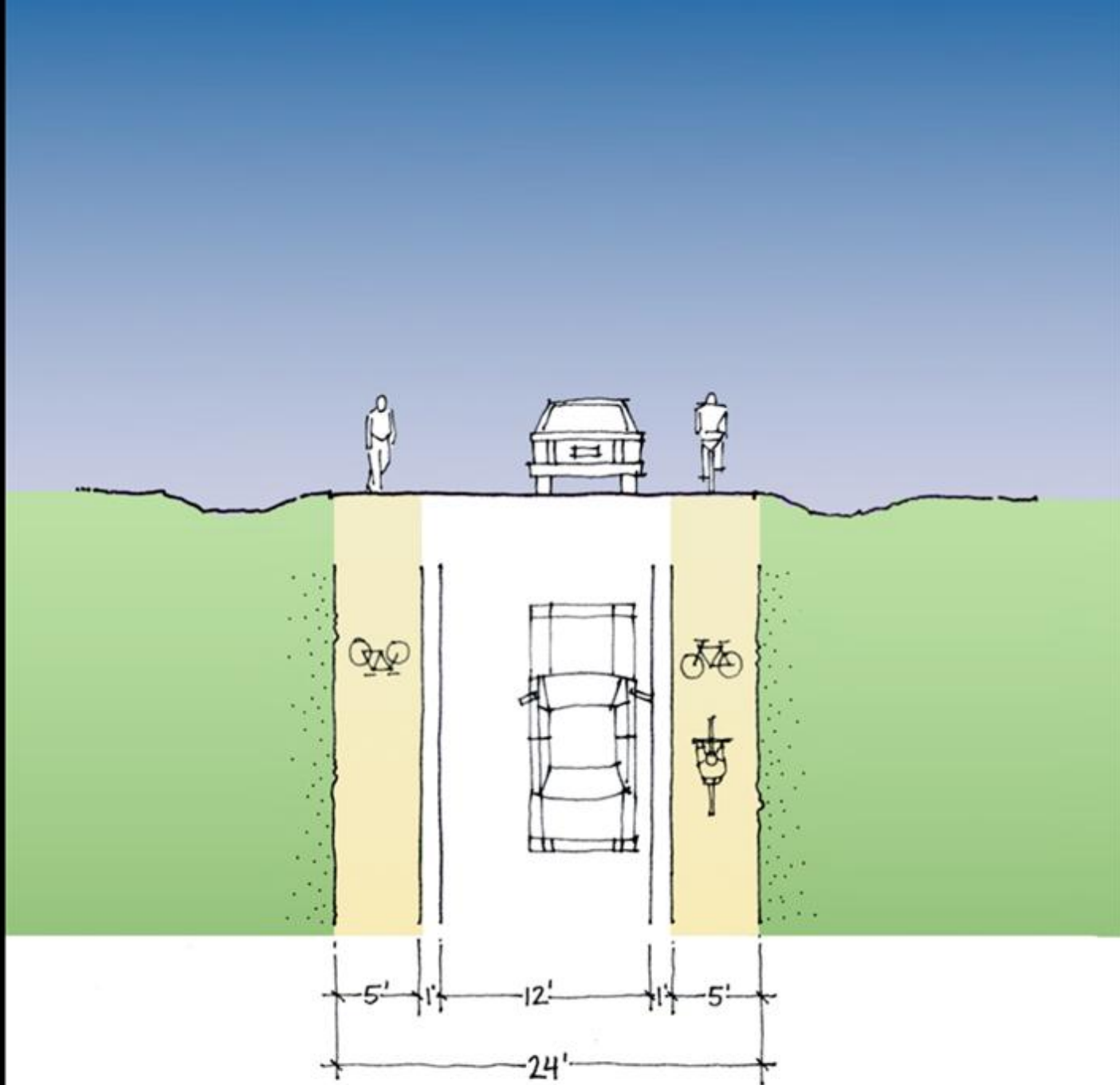
Lower Tract (under conservation easement)

Kenneth Beach

Crystal Beach

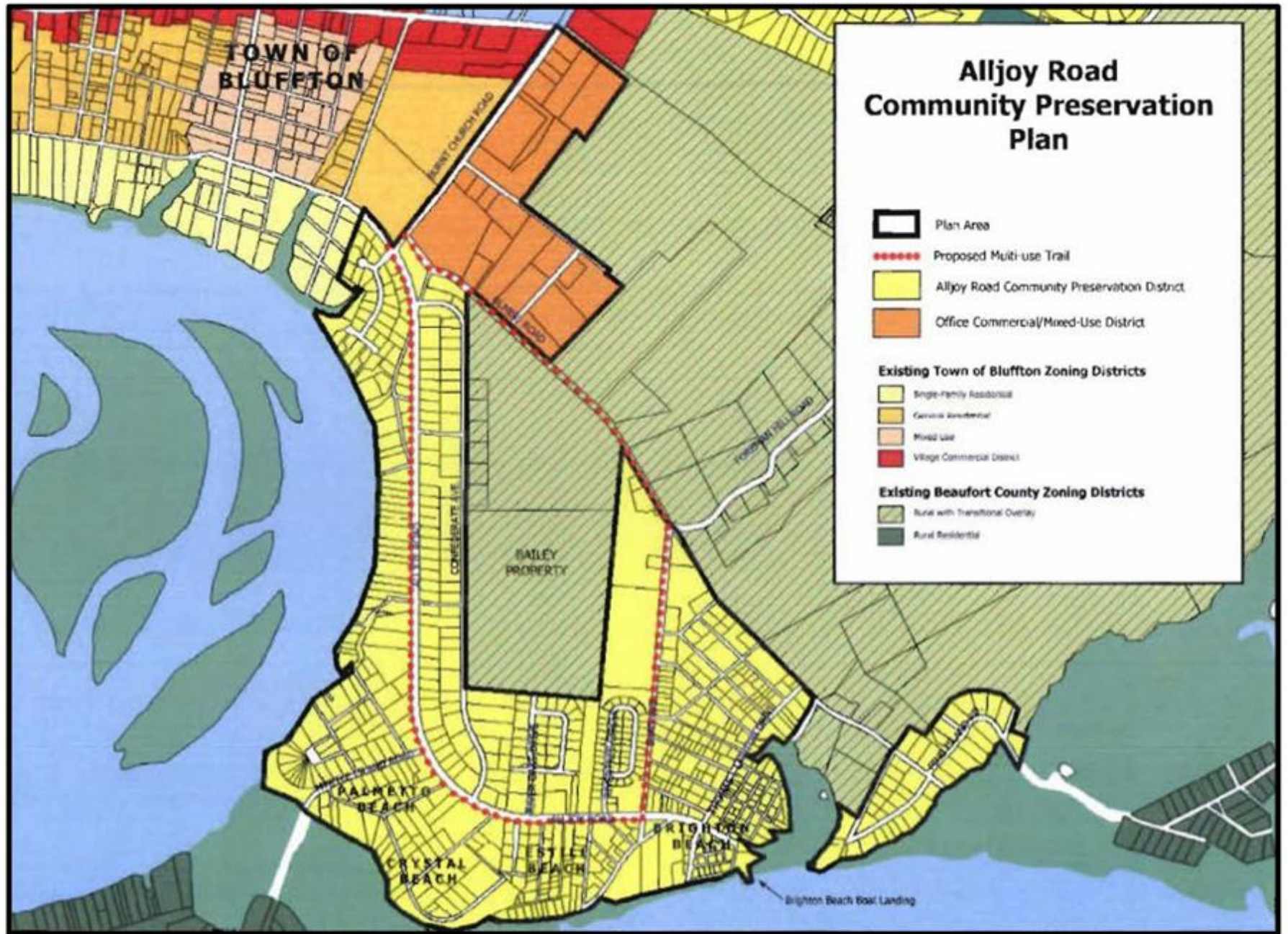
Brighton Beach Boat Landing

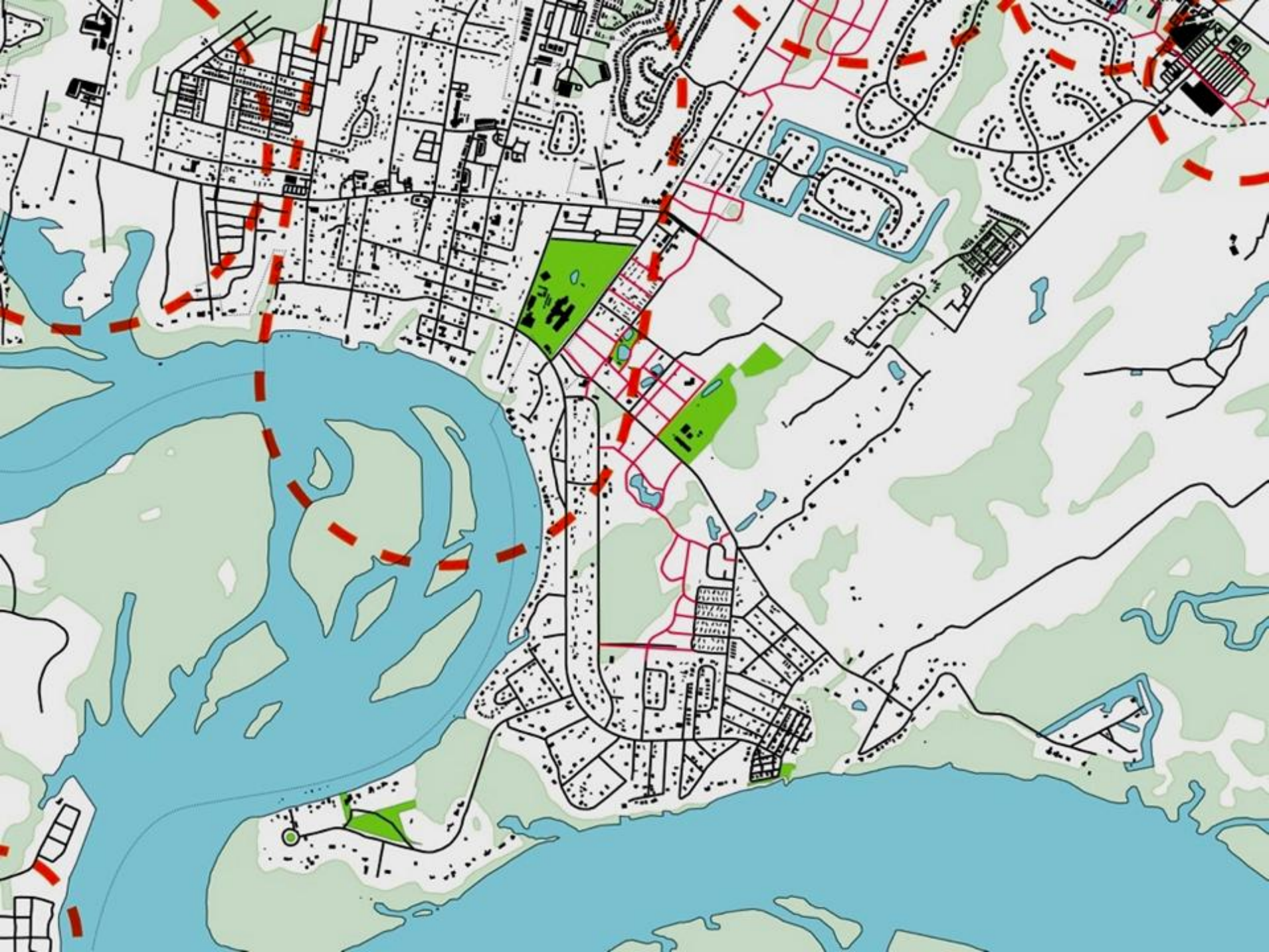
Crystal Beach (cont.)

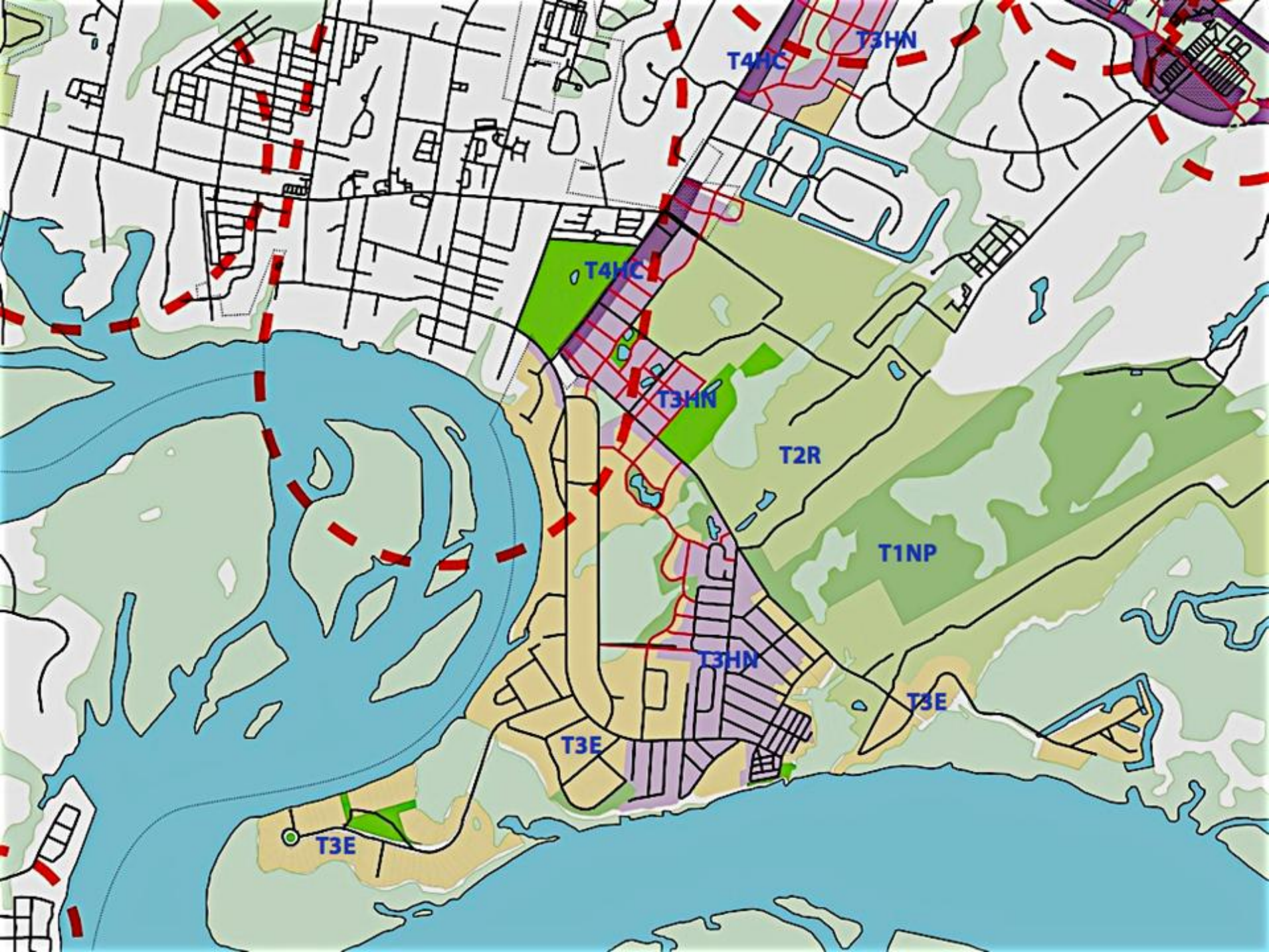
















Pritchardville



Pritchardville on May River Road

1 inch = 300 feet

-  Town Limits
-  Police/Safety
-  Fire Station
-  Park/Recreation



Express Ridge

NEW RIVERSIDE DRIVE

Black River Baptist Church

Pritchard Elementary School

SCENO Operations Center

Panthers Park Business Park

Larkin Station

Panthers Lake

Carroll Lake

Hargis

Center View

Wendover View

Pritchard Farms

Maye River Baptist Church

Wendy's

Parkers
Station

Pritchard Elementary School

SCE&G
Operations Center



Maye River Baptist Church

Wendy's

Parkers
tion

Pritchard Elementary School

SCE&G
Operations
Center

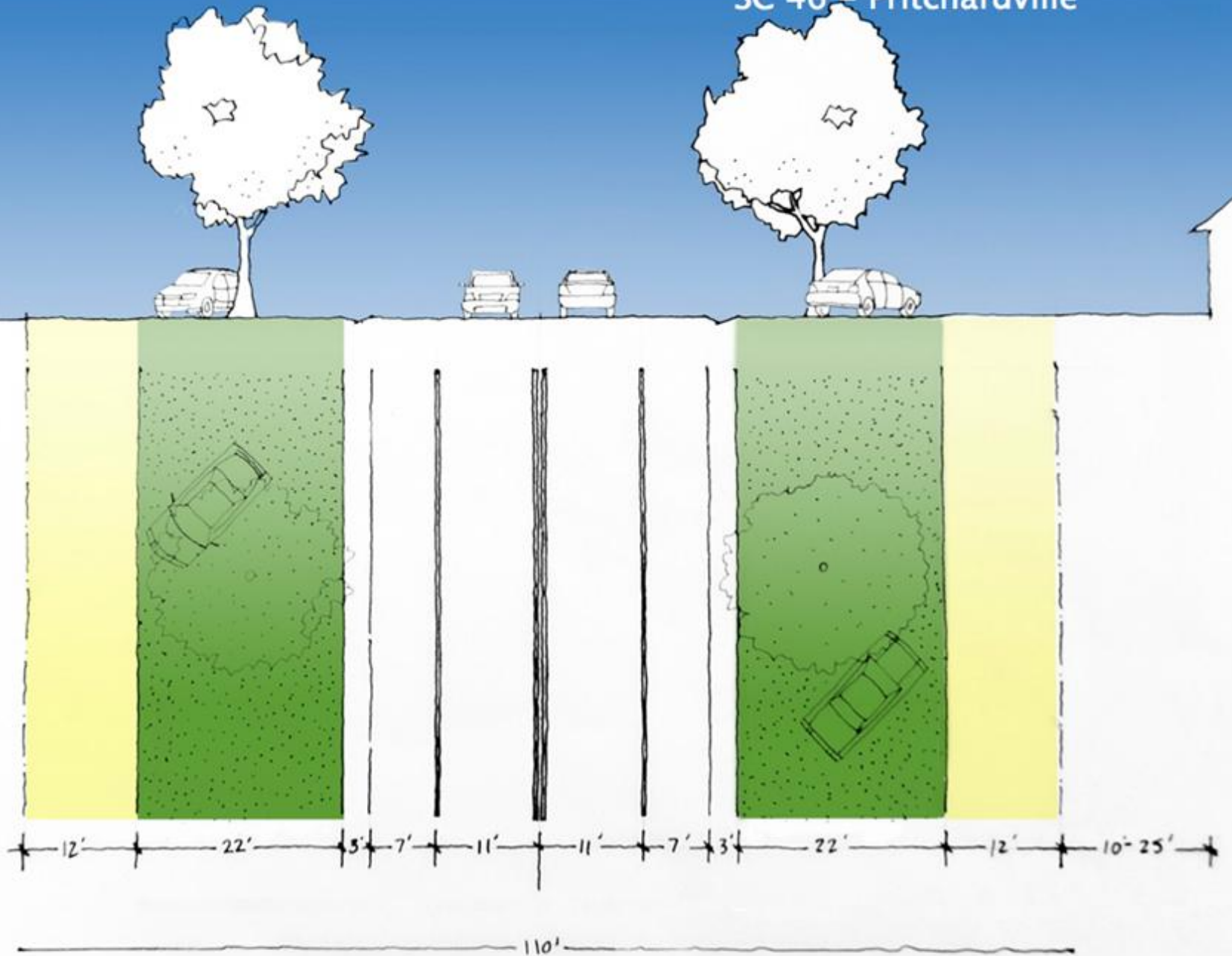




170

May River Road

SC 46 - Pritchardville





Wendy's

COUNTRY STORE

GIBBET RD
WY THEA
S 17-34

COUNTRY STORE
NOW SELLING
BEER
MILK
COFFEE
SODA

JUMP
BEER PENN
vige





Cedar Lake

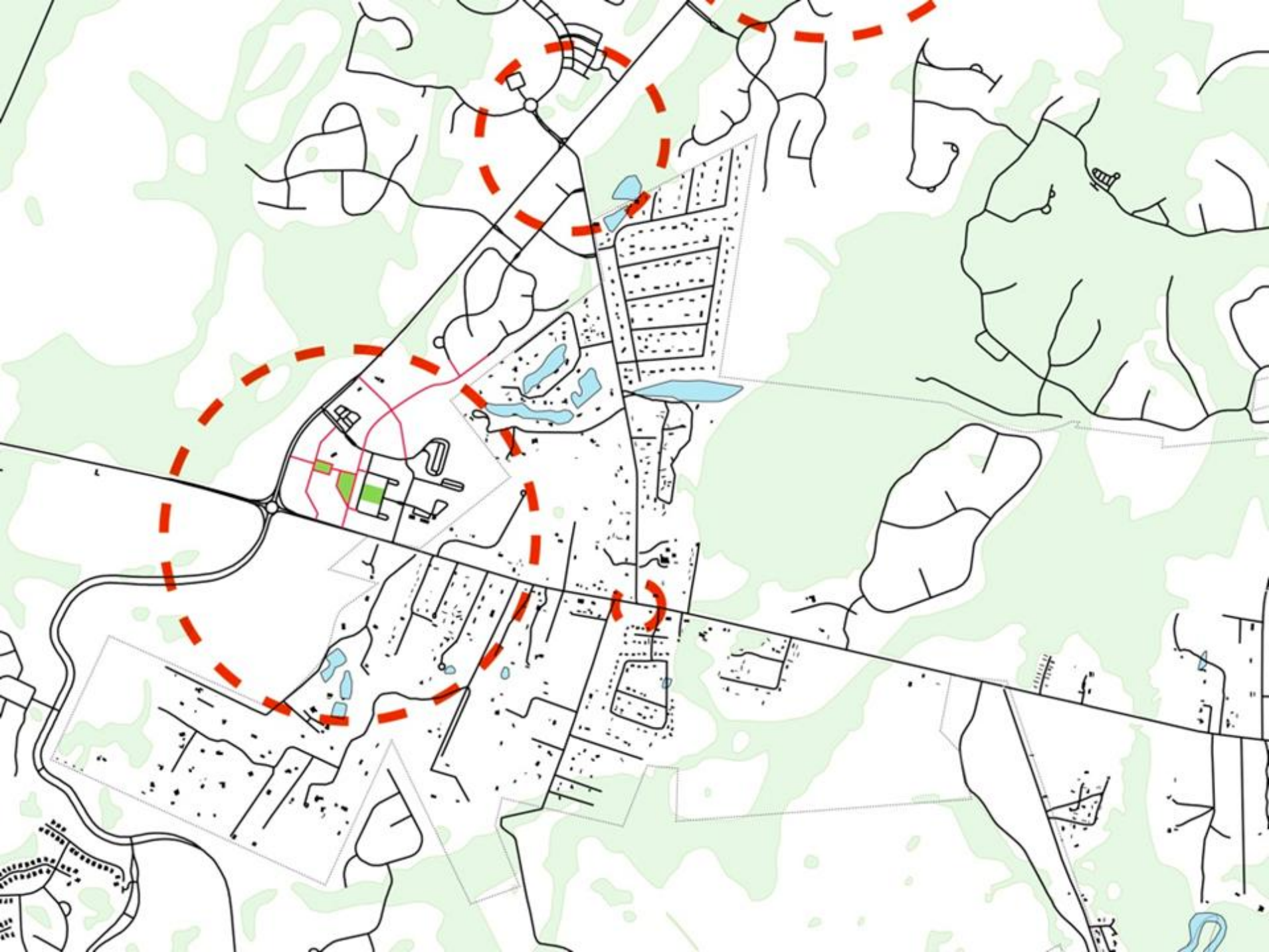
Hargray

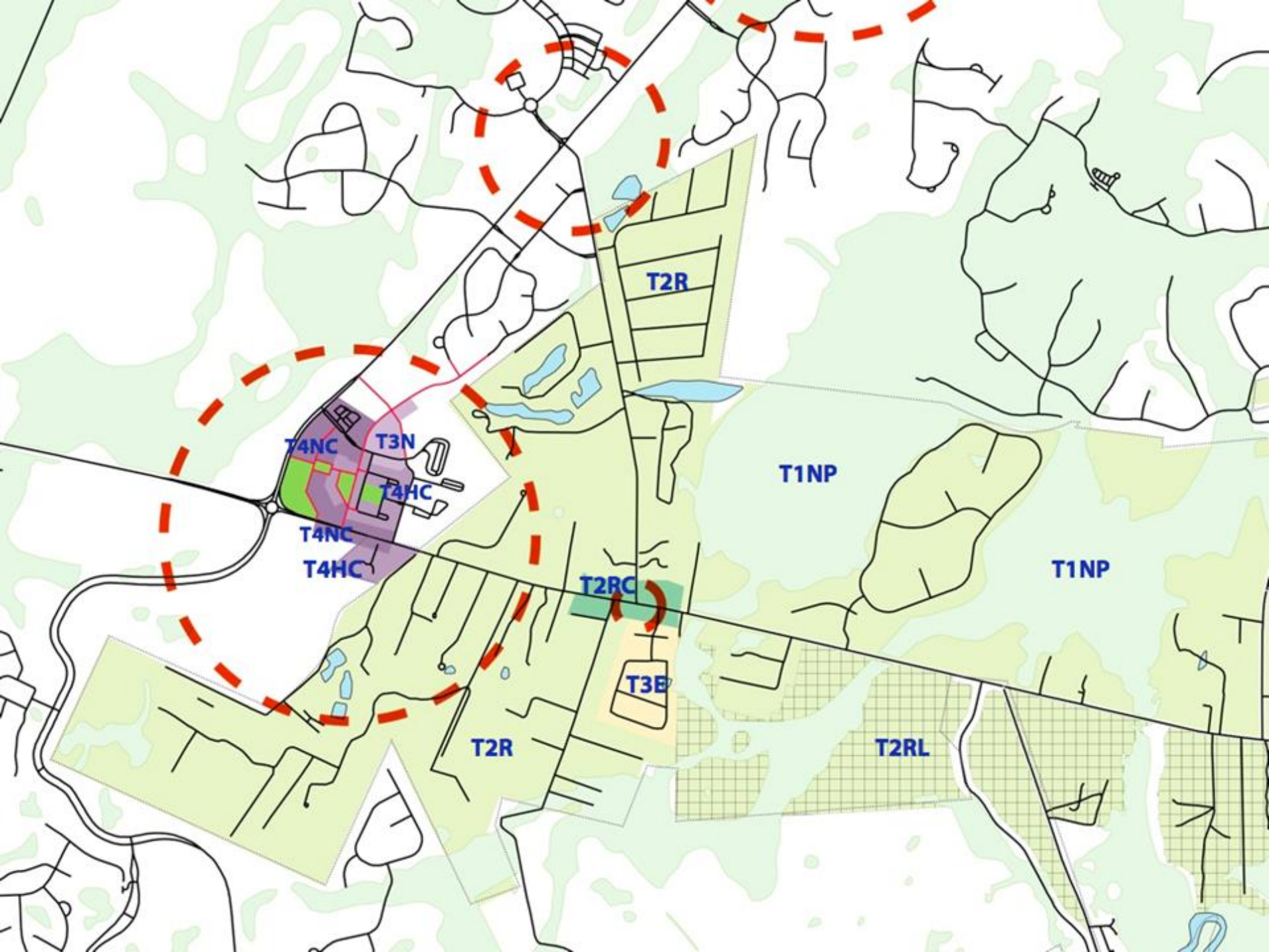
VERDIER VIEW

(State Scenic Byway)



May River Road





The Form-Based Code

- Transitioning 7 Community Preservation Areas over to the Form-Based Code
- Framework to transition remaining CP zoning over time to the FBC through future community processes

Building Form Standards

3.2.50 T2 Rural Center(T2RC) Standards



General note: the illustration above is intended to provide a brief overview of the transect zone and is descriptive in nature.

A. Purpose

The Rural Center(T2RC) Zone applies to areas that are in the immediate vicinity of a Rural Crossroads or other important rural intersections, where service and limited commercial uses can cluster in more closely-spaced buildings of residential character.

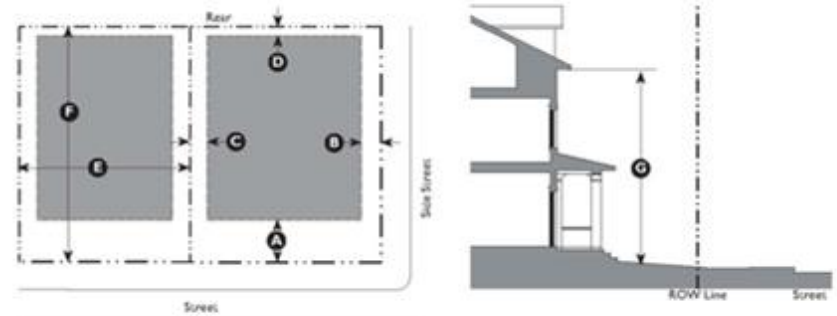
T2 Rural Center Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.

The T2 Cottage Business (T2CB) Subzone applies to areas within the Corners and Land's End communities on St. Helena Island.

C. Allowed Building Types

Building Type	Specific Regulations
Carriage House	5.1.40
Single-Family: Estate	5.1.50
Single-Family: Village	5.1.60

T2 Rural Center(T2RC) Standards



Key

- ROW / Property Line
- Setback Line
- Building Area
- Facade Zone

C. Building Placement

Setback (Distance from ROW / Property Line)	
Front	10' min., 30' max. A
Side Street	10' min. B
Side	
Side, Main Building	15' min. C
Side, Ancillary Building	10' min.
Rear	25' min. D
Lot Size	
Width	50' min. E
Depth	100' min. F

Miscellaneous

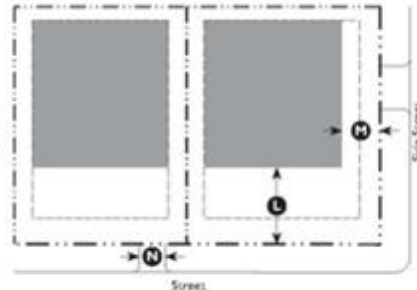
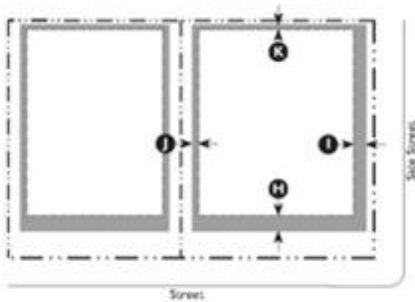
Where existing adjacent buildings are in front of the regulated BTL or front setback, the building may be set to align with the facade of the front most immediately adjacent property.

D. Building Form

Building Height	
Main Building	2 stories max. G
Ancillary Building	2 stories max.
Ground Floor Finish Level	
Residential	18" min.
Commercial	6" min.
Footprint	
Lot Coverage	25% of lot area
Miscellaneous	
Loading docks, overhead doors, and other service entries may not be located on street-facing facades.	

Building Form Standards

T2 Rural Center(T2RC) Standards



Key
 ---- ROW / Property Line ■ Encroachment Area
 --- Setback Line

E. Encroachments and Frontage Types		
Encroachments		
Front	5' max.	H
Side Street	5' max.	I
Side	5' max.	J
Rear	5' max.	K

Encroachments are not allowed within a Street ROW/ Alley ROW or across a property line.

See Division 5.2 (Private Frontage Standards) for further refinement of the allowed encroachments for frontage elements.

Allowed Frontage Types	
Common Yard	Porch: Engaged
Porch: Projecting	Shopfront

Key
 ---- ROW / Property Line ■ Allowed Parking Area
 --- Setback Line

F. Parking		
Required Spaces		
Residential Uses		
All Allowed Uses	2 per unit min.	
Service or Retail Uses		
All Allowed Lodging Uses	1 per 2 rooms min.	
All Other Allowed Uses	2.5 per 1000 sf min.	

For parking requirements for Agricultural, Industrial, Recreation, Education, Public Assembly, Transportation, Communication, Infrastructure uses see Table 5.5.40.A (Parking Space Requirements).

Location (Setback from Property Line)		
Front	50' min.	L
Side Street	50' min.	M

Miscellaneous		
Parking Driveway Width	10' max.	N

T2 Rural Center(T2RC) Standards

G. T2RC Allowed Uses

Land Use Type ¹	Specific Use Regulations	T2RC	T2CB
Agricultural			
Agricultural Support Services		P	P
Agriculture: Crop Production		P	P
Animal Keeping, except with:	4.1.40	P	P
Sales Yards		S	—
Large Feed Lot Operations		—	—
Forestry	4.1.90	P	P
Industrial			
Manufacturing/Processing, Light, except:		P	C
>15,000 sf		C	—
Warehousing	4.1.250	C	—
Wholesaling and Distribution	4.1.250	C	—
Residential			
Community Care Facility		—	P
Dwelling:			
Single-Family/Unit		P	P
Accessory Unit		P	P
Family Compound		P	P
Group Home:			
≤ 8 Residents, in a Home		P	P
Home Office	4.2.100	P	P
Home Business	4.2.90	P	P
Live/Work	4.2.110	—	P

Key
 P Permitted Use
 C Conditional Use
 S Special Use Permit Required
 — Use Not Allowed

End Notes

¹A definition of each listed use type is in Article 10 (Definitions of Terms and Uses).

Land Use Type ¹	Specific Use Regulations	T2RC	T2CB
Recreation, Education, Public Assembly			
Colleges and Universities		S	—
Community Oriented Civic Facility, except:		C	—
> 15,000 sf		S	—
Community/Public Safety Facility		C	P
Recreation Facility:			
Health/Fitness Facility		C	—
Indoor	4.1.150	S	C
Outdoor	4.1.160	S	C
Meeting Facility/Place of Worship, Public or Private, except:	4.1.120	C	P
>15,000 sf		S	—
Park, Open Space, Playground	2.7	P	P
School, Public or Private:		S	S
Studio: Specialized Education & Training		C	C
Water/Marine Oriented Facilities		S	—
Retail			
General Retail, except:		P	P
> 3,500 sf		C	C
> 10,000 sf		—	—
Open Air Retail		P	P
Restaurant, Cafe, Coffee Shop, except with:		P	P
Drive-Through Facilities		—	—

Kingsburg, CA
Strategies for Small Towns

Key Issues

Desire for Community Revitalization

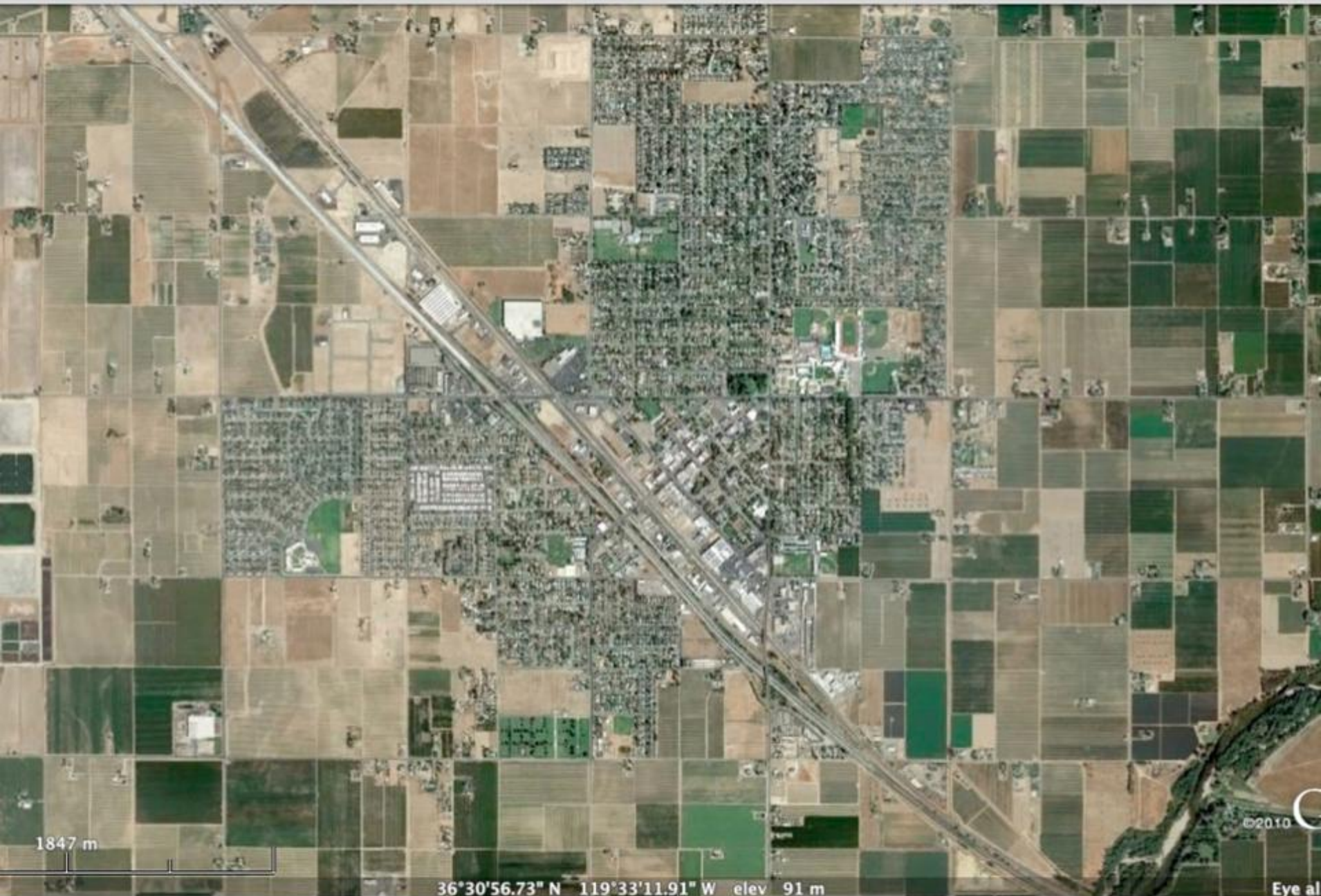
- “Swedish Village” in Decline
- Challenge to Compete within region

Outdated/Outmoded Zoning Tools

- Need to Promote Infill
- Discretionary Process
- Need to encourage Private Investment

Key Strategies

- FBC to Implement Community Vision
- “Downtown First” Policy
- Process Streamlining



1847 m

36°30'56.73" N 119°33'11.91" W elev 91 m

©2010

Eye al





GENO'S ITALIAN EATERY DINNER

ANTIQUES

ANTIQUES













215 210

STARBUCKS
COFFEE

STARBUCKS
COFFEE

Quiznos

Quiznos

QUIZNOS SUB

CAR

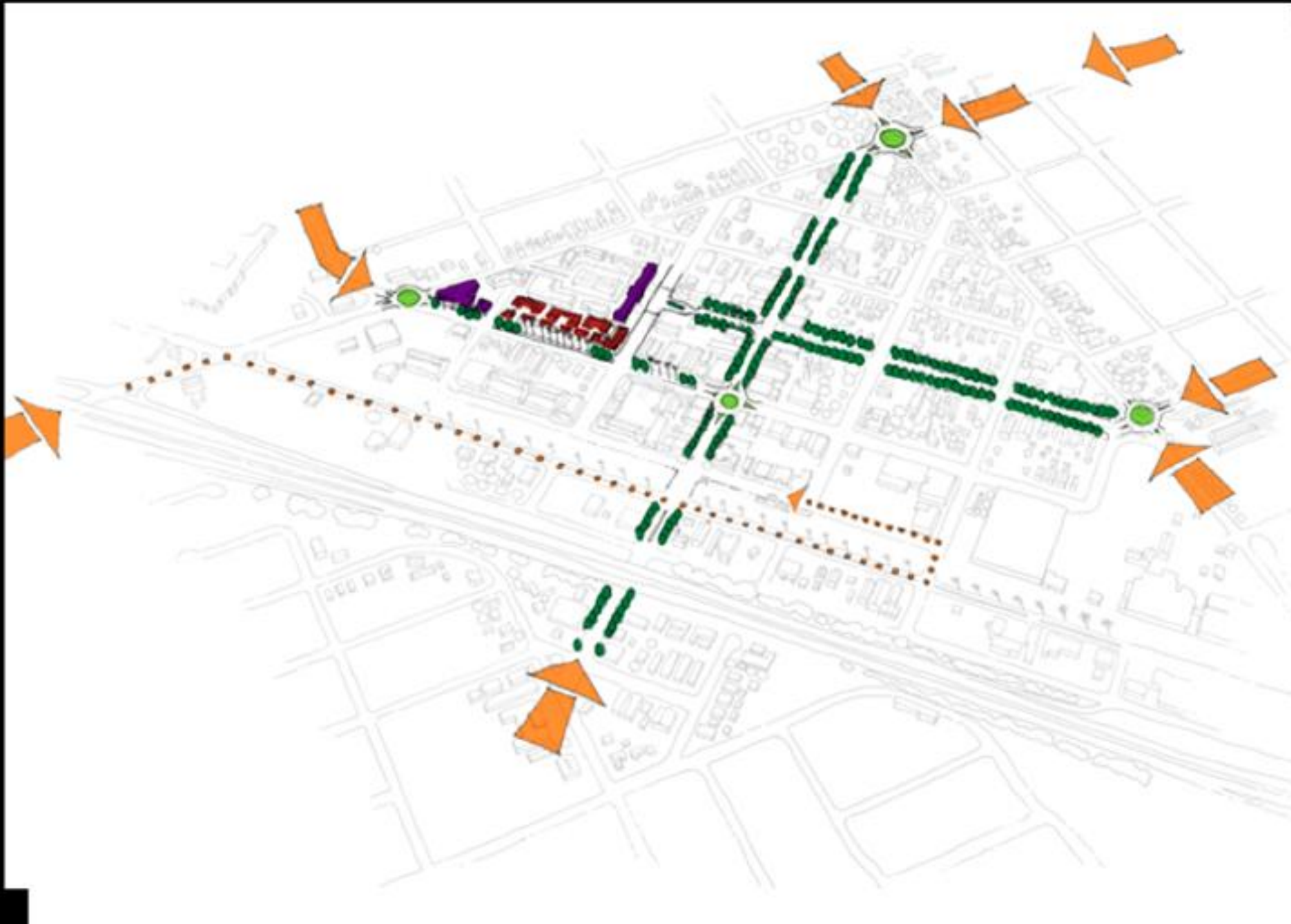


CITY OF KINGSBURG
Central Kingsburg Revitalization Plan
Final Draft: September 14, 2007

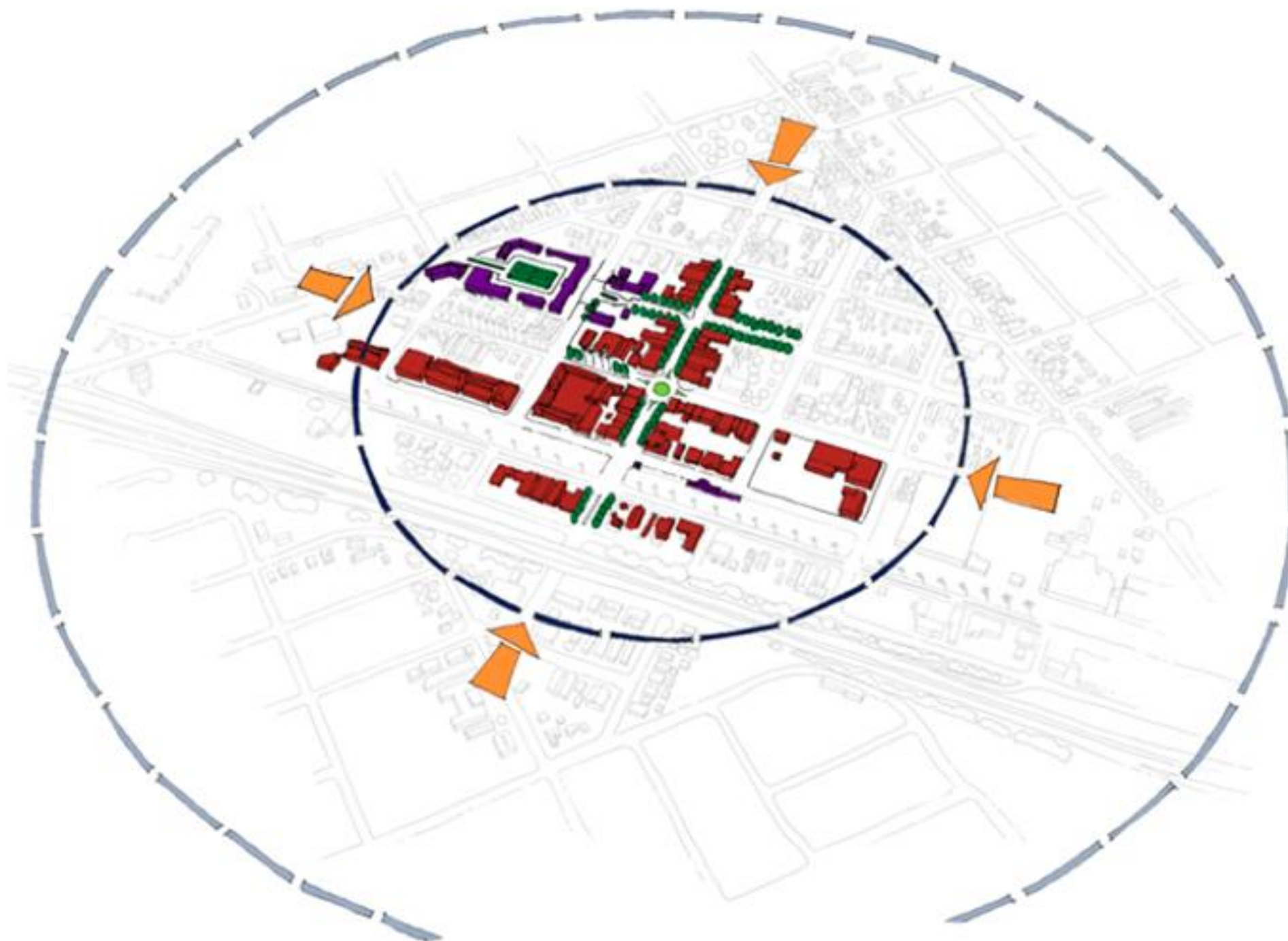


Prepared By:





Establish Well-Designed Entryways Along Principal Access Routes to the Historic Core



Establish Well-Designed Entryways Along Principal Access Routes to the Historic Core

Support and Maintain a Compact, Walkable, Accessible Town Center



Establish Well-Designed Entryways Along Principal Access Routes to the Historic Core

Support and Maintain a Compact, Walkable, Accessible Town Center

Provide and Maintain a Complete and Coherent Network for Bicyclists and Pedestrians

CC-Central Commercial : Existing Conditions



Draper Street at Lincoln Street

CC-Central Commercial : Allowed by current zoning



Draper Street at Lincoln Street

T5-MS: Proposed Building Form



Draper Street at Lincoln Street

Single Family Neighborhood: Existing Conditions



19th Street

Single Family: Allowed by current zoning






19th Street

T4-N: Proposed Building Form




19th Street

The Kingsburg Transect

T5	T4	T3	T2			
<p>T5MS</p>  <p>T5 Main Street</p> <p>Intent</p> <p>To reinforce and enhance the vibrant, walkable urban Downtown and to enable it to evolve into a complete neighborhood that provides locally and regionally serving commercial, retail, and entertainment uses, civic and public uses, as well as a variety of urban housing choices.</p> <p>Desired Form</p> <p>Attached or detached main street form located close to or at the street.</p> <p>General Use</p> <p>Ground Floor Commercial</p> <p>Upper Floor Residential or Commercial</p> <p>Parking</p> <p>Low Parking Requirements to promote walkability, Commercial parking handled as a part of a Downtown Commercial District, off-street residential parking.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Applicable Existing Zone</p> <p>CC - Central Commercial District</p>	<p>T5MSF</p>  <p>T5 Main Street Flex</p> <p>Intent</p> <p>To provide a flexible area that can accommodate a broad range of neighborhood serving commercial, service, and residential uses in a medium- to high-density main street form. This zone provides the ability for the commercial area to mature over time, accommodating a range of building types such as courtyard apartments, townhouses and commercial block buildings.</p> <p>Desired Form</p> <p>Attached or closely spaced detached main street form, located close to or at the street.</p> <p>General Use</p> <p>Ground Floor Live/Work, Commercial, or Residential</p> <p>Upper Floor Residential or Commercial</p> <p>Parking</p> <p>Low Parking Requirements to promote walkability; Commercial parking handled as a part of a Downtown Commercial District, off-street residential parking</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Applicable Existing Zone</p> <p>CC - Central Commercial District PO - Professional Office</p>	<p>T4NF</p>  <p>T4 Neighborhood Flex</p> <p>Intent</p> <p>To provide a flexible area that can build upon the unique characteristics of Kingsburg's downtown neighborhoods, and allow them to evolve with medium-density building types such as bungalow courts, duplexes, and mansion apartments, at a smaller scale and accommodating small commercial uses compatible to their context.</p> <p>Desired Form</p> <p>Attached or closely spaced detached residential form, setback from the street.</p> <p>General Use</p> <p>Residential, Live/Work, Commercial, Home Occupation, or Civic/Open Space</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood. On street parking should be counted toward required parking.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Applicable Existing Zone</p> <p>PO - Professional Office RM-3 Multi Family</p>	<p>T4N</p>  <p>T4 Neighborhood</p> <p>Intent</p> <p>To provide a walkable, predominantly single-family neighborhood that integrates appropriate multi-family housing types such as duplexes, mansion apartments, and bungalow courts within walking distance to transit and commercial areas.</p> <p>Desired Form</p> <p>Closely spaced detached single family form, setback from the street.</p> <p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood.</p> <p>Individual Parking Lots, On-Street Parking</p> <p>Applicable Existing Zone</p> <p>RM-3 - Multi Family R-1-7 Single Family</p>	<p>T3N</p>  <p>T3 Neighborhood</p> <p>Intent</p> <p>To build upon the unique characteristics of Kingsburg's neighborhoods, but to allow them to evolve with compatible medium-density building types such as bungalow courts, duplexes, and mansion apartments, at a smaller scale compatible to their context.</p> <p>Desired Form</p> <p>Detached single-family form setback from the street.</p> <p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood.</p> <p>Individual Parking Lots, On-Street Parking</p> <p>Applicable Existing Zone</p> <p>RM-3 - Multi Family R-1-7 Single Family R-1-10 Single Family</p>	<p>T3NE</p>  <p>T3 Neighborhood Edge</p> <p>Intent</p> <p>To provide opportunities for large lot single family homes at the edge of town that compliment the surrounding neighborhoods and provide a transition to the surrounding residential areas.</p> <p>Desired Form</p> <p>Distantly spaced detached single family form setback from the street.</p> <p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p> <p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p> <p>Applicable Existing Zone</p> <p>R-1-10 Single Family R-1-20 Single Family</p>	<p>T2</p>  <p>T2 Rural</p> <p>Intent</p> <p>To provide sparsely settled lands in open or cultivated state. It may include large lot residential where animals are raised, parks, squares, woodland, grasslands, trails, storm water management features, and open space areas.</p> <p>Desired Form</p> <p>Distantly spaced detached low rise form setback from the street.</p> <p>General Use</p> <p>Rural Residential, Agricultural, or Civic/Open Space</p> <p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p> <p>Applicable Existing Zone</p> <p>R-1-20 Single Family RE Acreage RCO - Resource & Open Space</p>

The Kingsburg Transect

T5	T4	T3	T2
<p>T5MS</p>  <p>T5 Main Street</p>	<p>T5MSF</p>  <p>T5 Main Street Flex</p>	<p>T4NF</p>  <p>T4 Neighborhood Flex</p>	<p>T4N</p>  <p>T4 Neighborhood</p>
<p>Intent</p> <p>To reinforce and enhance the vibrant, walkable urban Downtown and to enable it to evolve into a complete neighborhood that provides locally and regionally serving commercial, retail, and entertainment uses, civic and public uses, as well as a variety of urban housing choices.</p>	<p>Intent</p> <p>To provide a flexible area that can accommodate a broad range of neighborhood serving commercial, service, and residential uses in a medium- to high-density main street form. This zone provides the ability for the commercial area to mature over time, accommodating a range of building types such as courtyard apartments, townhouses and commercial block buildings.</p>	<p>Intent</p> <p>To provide a walkable, predominantly single-family neighborhood that integrates appropriate multi-family housing types such as duplexes, mansion apartments, and bungalow courts within walking distance to transit and commercial areas.</p>	<p>Intent</p> <p>To build upon the unique characteristics of Kingsburg's neighborhoods, but to allow them to evolve with compatible medium-density building types such as bungalow courts, duplexes, and mansion apartments, at a smaller scale compatible to their context.</p>
<p>Desired Form</p> <p>Attached or detached main street form located close to or at the street.</p>	<p>Desired Form</p> <p>Attached or closely spaced detached main street form, located close to or at the street.</p>	<p>Desired Form</p> <p>Closely spaced detached single family form, setback from the street.</p>	<p>Desired Form</p> <p>Detached single-family form setback from the street.</p>
<p>General Use</p> <p>Ground Floor Commercial</p> <p>Upper Floor Residential or Commercial</p>	<p>General Use</p> <p>Ground Floor Live/Work, Commercial, or Residential</p> <p>Upper Floor Residential or Commercial</p>	<p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p>	<p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p>
<p>Parking</p> <p>Low Parking Requirements to promote walkability, Commercial parking handled as a part of a Downtown Commercial District, off-street residential parking.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p>	<p>Parking</p> <p>Low Parking Requirements to promote walkability; Commercial parking handled as a part of a Downtown Commercial District, off-street residential parking</p> <p>Shared or Individual Parking Lots, On-Street Parking</p>	<p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood.</p> <p>Individual Parking Lots, On-Street Parking</p>	<p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood.</p> <p>Individual Parking Lots, On-Street Parking</p>
<p>Applicable Existing Zone</p> <p>CC - Central Commercial District</p>	<p>Applicable Existing Zone</p> <p>CC - Central Commercial District PO - Professional Office</p>	<p>Applicable Existing Zone</p> <p>RM-3 - Multi Family R-1-7 Single Family</p>	<p>Applicable Existing Zone</p> <p>R-1-10 Single Family R-1-20 Single Family</p>
<p>T3N</p>  <p>T3 Neighborhood</p>	<p>T3NE</p>  <p>T3 Neighborhood Edge</p>	<p>T2</p>  <p>T2 Rural</p>	<p>Intent</p> <p>To provide sparsely settled lands in open or cultivated state. It may include large lot residential where animals are raised, parks, squares, woodland, grasslands, trails, storm water management features, and open space areas.</p>
<p>Intent</p> <p>To build upon the unique characteristics of Kingsburg's neighborhoods, but to allow them to evolve with compatible medium-density building types such as bungalow courts, duplexes, and mansion apartments, at a smaller scale compatible to their context.</p>	<p>Intent</p> <p>To provide opportunities for large lot single family homes at the edge of town that compliment the surrounding neighborhoods and provide a transition to the surrounding residential areas.</p>	<p>Desired Form</p> <p>Distantly spaced detached low rise form setback from the street.</p>	<p>Desired Form</p> <p>Distantly spaced detached low rise form setback from the street.</p>
<p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p>	<p>General Use</p> <p>Residential, Home Occupation, or Civic/Open Space</p>	<p>General Use</p> <p>Rural Residential, Agricultural, or Civic/Open Space</p>	<p>General Use</p> <p>Rural Residential, Agricultural, or Civic/Open Space</p>
<p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood.</p> <p>Individual Parking Lots, On-Street Parking</p>	<p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p>	<p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p>	<p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p>
<p>Applicable Existing Zone</p> <p>RM-3 - Multi Family R-1-7 Single Family R-1-10 Single Family</p>	<p>Applicable Existing Zone</p> <p>R-1-10 Single Family R-1-20 Single Family</p>	<p>Applicable Existing Zone</p> <p>R-1-20 Single Family RE Acreage RCO - Resource & Open Space</p>	<p>Applicable Existing Zone</p> <p>R-1-20 Single Family RE Acreage RCO - Resource & Open Space</p>



T5MS

T5 Main Street

Intent

To reinforce and enhance the vibrant, walkable urban Downtown and to enable it to evolve into a complete neighborhood that provides locally and regionally serving commercial, retail, and entertainment uses, civic and public uses, as well as a variety of urban housing choices.

Desired Form

Attached or detached main street form located close to or at the street.

General Use

Ground Floor Commercial
Upper Floor Residential or Commercial

Parking

Low Parking Requirements to promote walkability, Commercial parking handled as a part of a Downtown Commercial District, off-street residential parking.

Shared or Individual Parking Lots, On-Street Parking

Applicable Existing Zone

CC - Central Commercial District



T5MSF

T5 Main Street Flex

Intent

To provide a flexible area that can accommodate a broad range of neighborhood serving commercial, service, and residential uses in a medium- to high-density main street form. This zone provides the ability for the commercial area to mature over time, accommodating a range of building types such as courtyard apartments, townhouses and commercial block buildings.

Desired Form

Attached or closely spaced detached main street form, located close to or at the street.

General Use

Ground Floor Live/Work, Commercial, or Residential
Upper Floor Residential or Commercial

Parking

Low Parking Requirements to promote walkability; Commercial parking handled as a part of a Downtown Commercial District, off-street residential parking

Shared or Individual Parking Lots, On-Street Parking

Applicable Existing Zone

CC - Central Commercial District
PC - Professional Office



T4 Neighborhood Flex

Intent

To provide a flexible area that can build upon the unique characteristics of Kingsburg's downtown neighborhoods, and allow them to evolve with medium-density building types such as bungalow courts, duplexes, and mansion apartments, at a smaller scale and accommodating small commercial uses compatible to their context.

Desired Form

Attached or closely spaced detached residential form, setback from the street.

General Use

Residential, Live/Work, Commercial, Home Occupation, or Civic/Open Space

Parking

Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood. On street parking should be counted toward required parking.

Shared or Individual Parking Lots, On-Street Parking

Applicable Existing Zone

PO - Professional Office
RM - Medium Density Residential



T4N

T4 Neighborhood

Intent

To provide a walkable, predominantly single-family neighborhood that integrates appropriate multi-family housing types such as duplexes, mansion apartments, and bungalow courts within walking distance to transit and commercial areas.

Desired Form

Closely spaced detached single family form, setback from the street.

General Use

Residential, Home Occupation, or Civic/Open Space

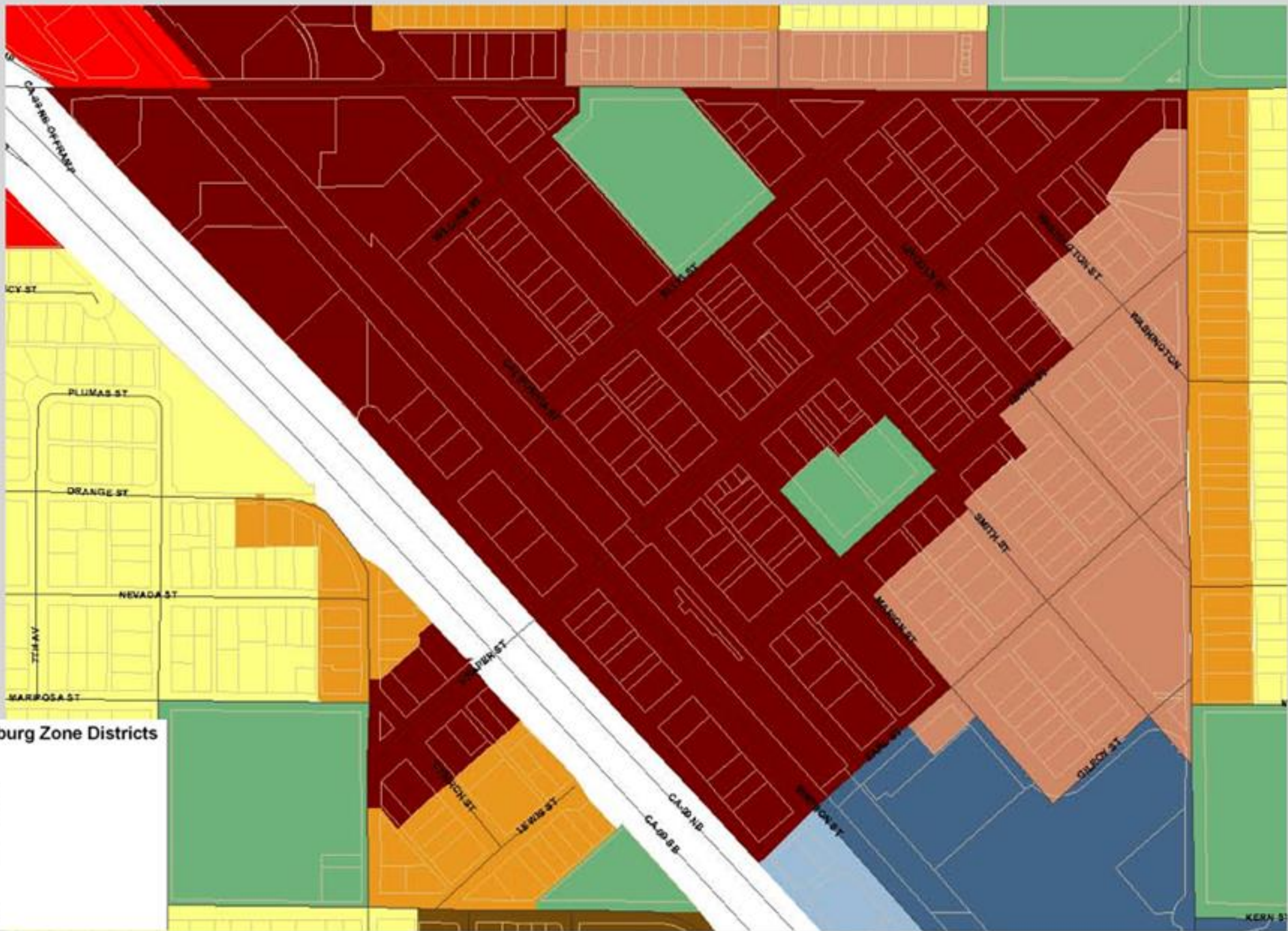
Parking

Low to moderate Parking Requirements to promote walkability and minimize the visual impact on the neighborhood.

Individual Parking Lots, On-Street Parking

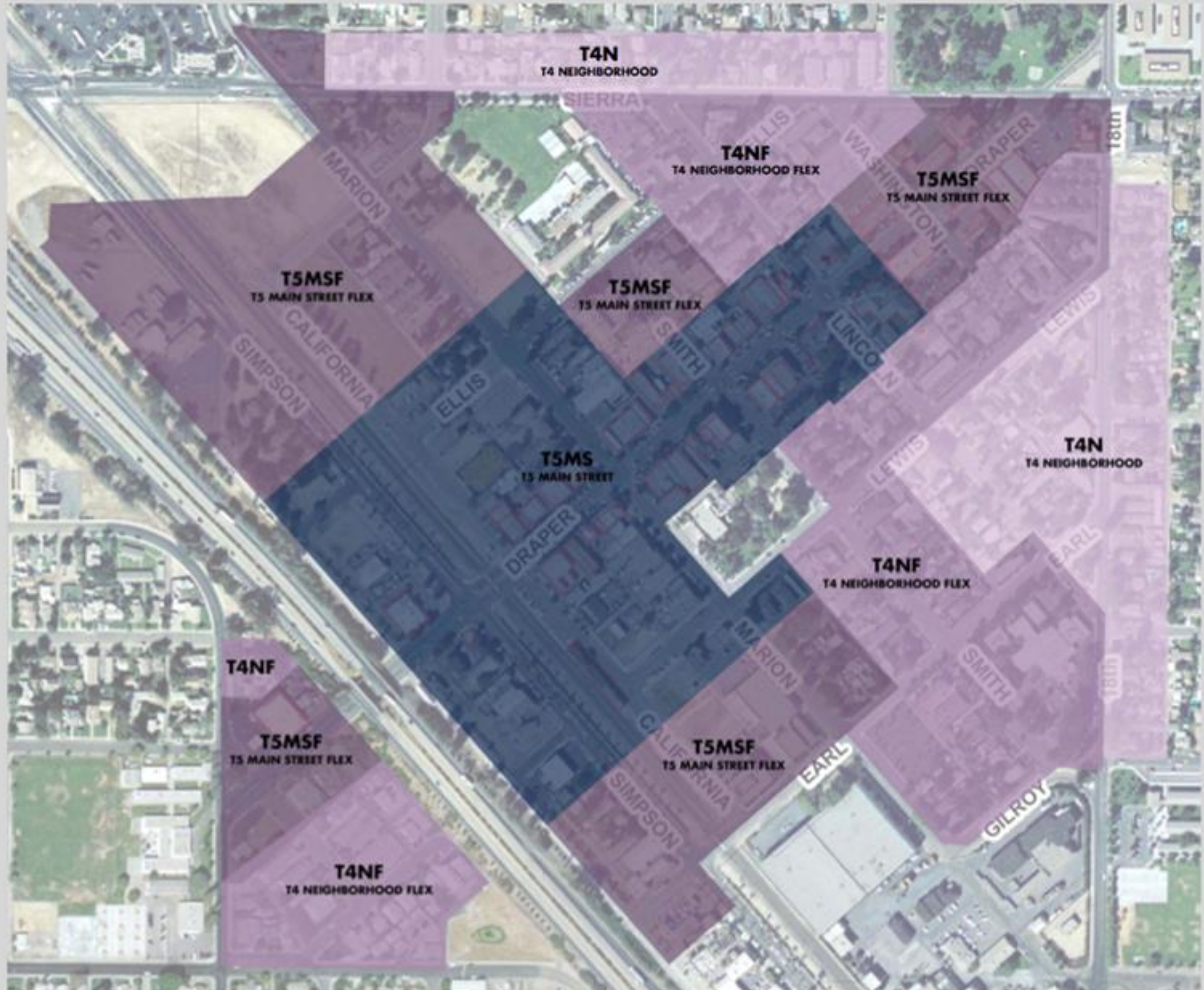
Applicable Existing Zone

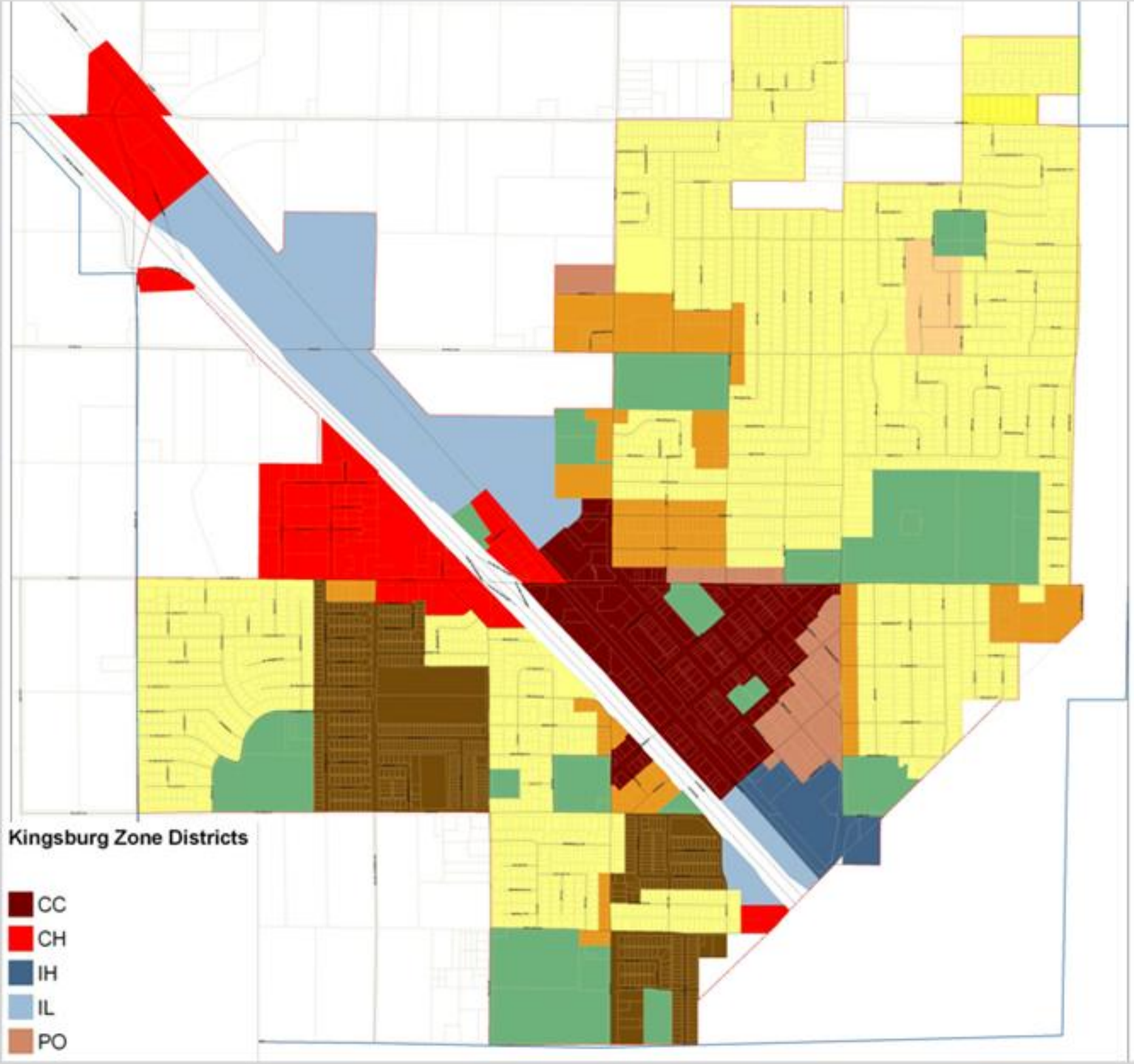
RM-3 - Multi Family
RM-3 - Single Family



Kingsburg Zone Districts

- CC
- CH
- IH
- IL
- PO

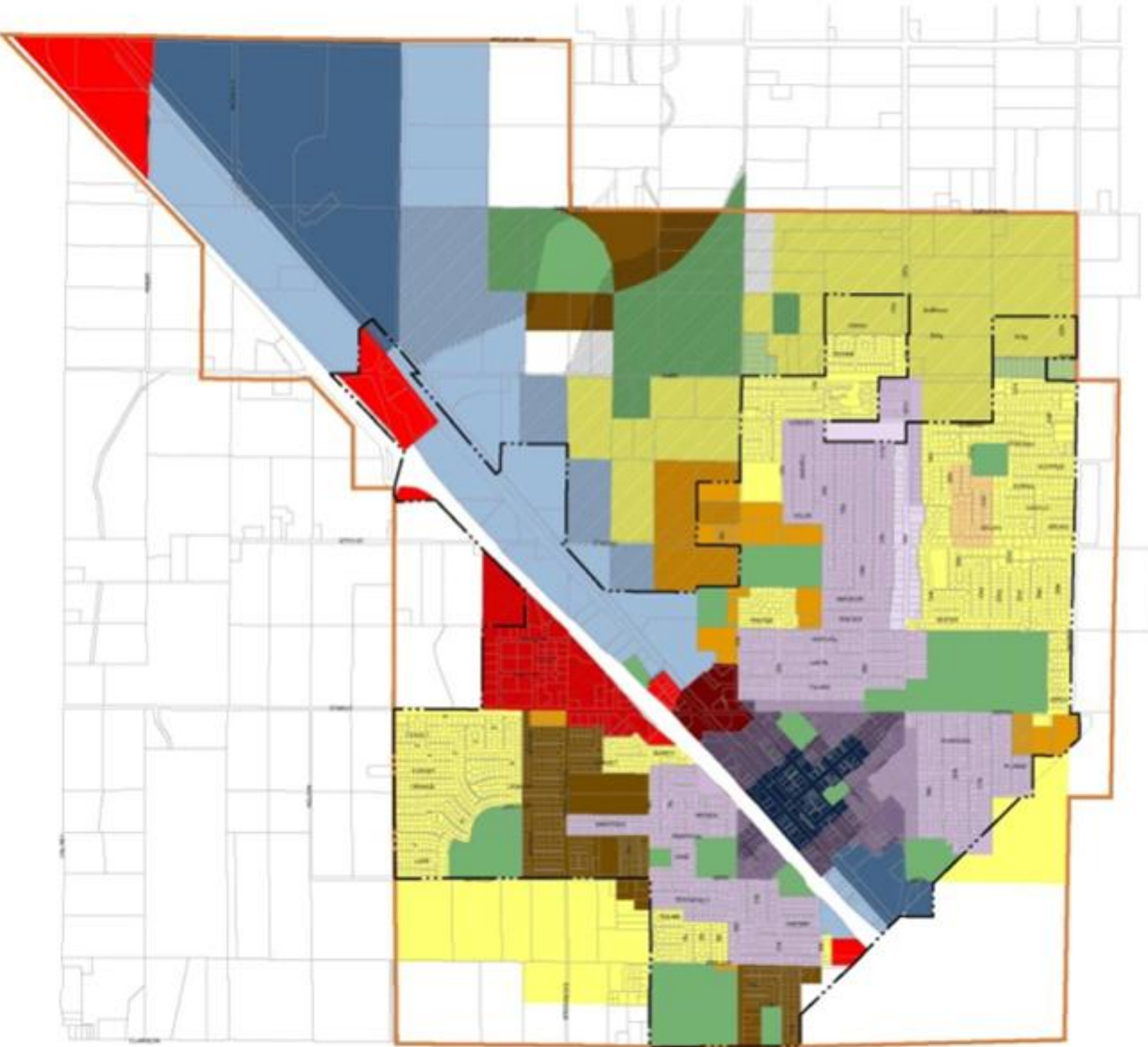




Kingsburg Zone Districts

- CC
- CH
- IH
- IL
- PO

10.10.010 Zoning Map



Key

- City Limits
- Sphere of Influence

Transect Zones

- T5 Main Street (T5MS)
- T5 Main Street Flex (T5MSF)
- T4 Neighborhood Flex (T4NF)
- T4 Neighborhood (T4N)
- T3 Neighborhood (T3N)
- T3 Neighborhood Edge (T3NE)
- T2 Rural

Non-Transect Zones

- Service Commercial Zone (CS)
- Highway Commercial Zone (CH)
- Heavy Industrial Zone (IH)
- Light Industrial Zone (IL)
- One-Family Residential Zone (R-1-7)
- One-Family Residential Zone (R-1-10)
- Multi-Family Residential Zone (RM-3)
- Multi-Family Residential Zone (RM-5.5)
- Multi-Family Residential Zone (RM-MH))
- Resource, Conservation, and Open Space District (RCO)

Overlays

- TNCP Overlay
- Swedish Village Design Overlay

The Form-Based Code

Building Form Standards

3.20.070 T4 Neighborhood (T4N) Standards



A. Zone Intent and Description

The primary intent of the T4 Neighborhood (T4N) Zone is to provide a walkable, predominantly single-family neighborhood that integrates appropriate multi family housing types such as duplexes, mansion apartments, and bungalow courts within walking distance to transit and commercial areas.

The desired form of this Zone is attached or closely-spaced detached low-rise buildings, setback from the street.

While residential is the primary use type, home offices and appropriately scaled civic uses, such as community meeting spaces, are allowed to further reinforce the walkability of the neighborhood.

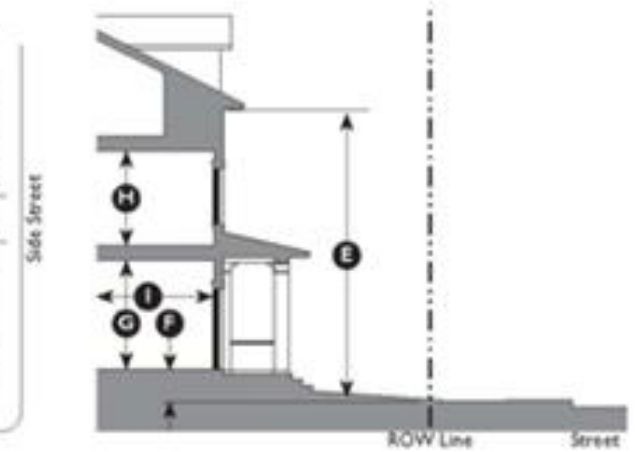
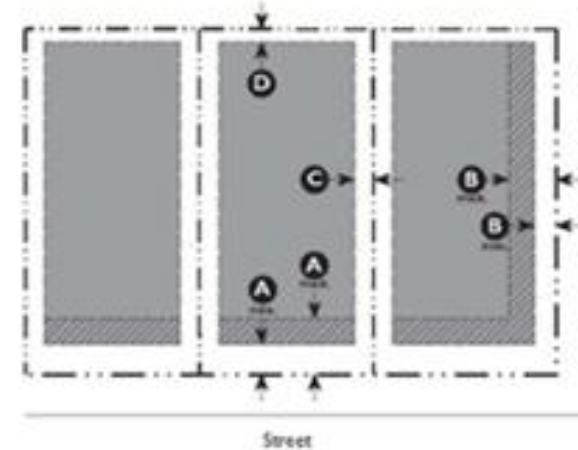
Low to moderate parking requirements are used to promote walkability and minimize the impact of parking on the neighborhood. Required parking is typically provided on-street or in off-street garages or lots.

B. Allowed Building Types¹

Carriage House	Bungalow Court
Single-Unit House, Cottage	Duplex
Single-Unit House, Village	Mansion Apartment

¹ See Chapter 4.10 (Specific to Building Types) for building type descriptions and regulations.

T4 Neighborhood (T4N) Standards



Key

- ROW/Property Line
- Building Setback Line
- Building Area
- Façade Zone

C. Building Placement

Setbacks (Distance from Property Line/ROW)

Front	10' min.; 15' max. ¹	A
Side Street	5' min.; 10' max.	B
Side		C
Main Building	5'	
Ancillary Building	0'	
Rear		D
Main Building	5'	
Ancillary Building	0'	
Adjacent to Alley	5'	

Facade within Façade Zone

Front	75% min.
Side Street	75% min.

Lot Size

Width	50' max. (1/3 block)
Depth	150' max. (1/2 block)

¹ Where existing adjacent buildings are in front of the regulated front setback, the building may be set to align with the facade of the front most immediately adjacent property.

² No side setback is required along the shared property line between side-by-side duplexes.

D. Building Form

Height

Main Building	2 1/2 stories max.	E
Ancillary Building	2 stories max.	
Ground Floor Finish Level	18" min.	F
Ground Floor Ceiling	10' min.	G
Upper Floor(s) Ceiling	8'-6" min.	H

Footprint

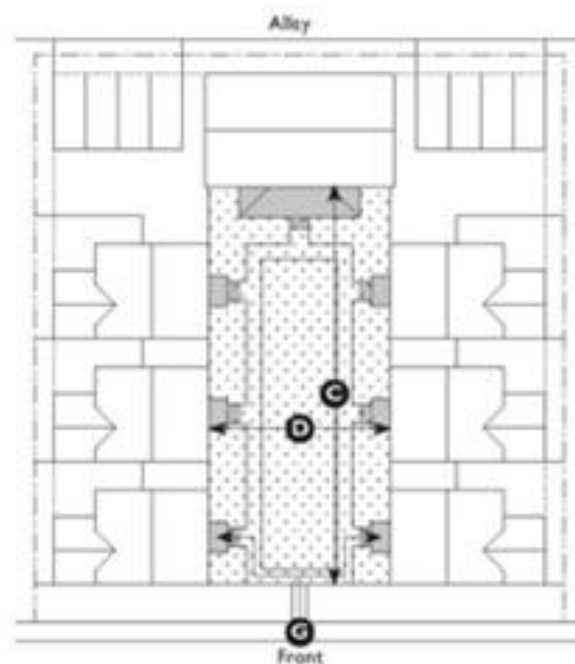
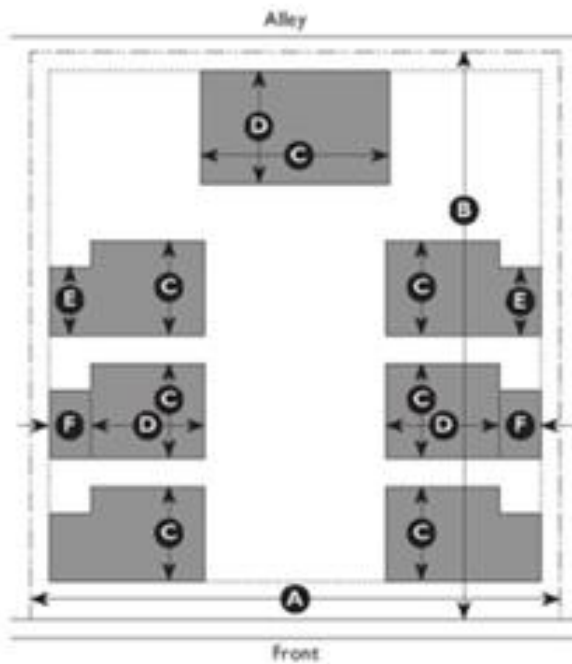
Depth, Ground-Floor Space	20' min.	I
Lot Coverage	60% max.	

Building Type Standards

Specific to Building Types

4.10.080

Bungalow Court



Key

--- ROW / Property Line ■ Building
 Setback Line

B. Lot		
Lot Size		
Width	75' min.; 150' max.	A
Depth	100' min.; 150' max.	B
C. Number of Units		
Units	3 min.; 9 max.	
D. Building Size and Massing		
Height		
Height	1 1/2 stories max.	
Main Body		
Width	32' max.	C
Depth	24' max.	D
Secondary Wing(s)		
Width	24' max.	E
Depth	12' max.	F
Accessory Structure		
Width	24' max.	
Depth	24' max.	

Key

--- ROW / Property Line ■ Frontage
 Setback Line □ Private Open Space

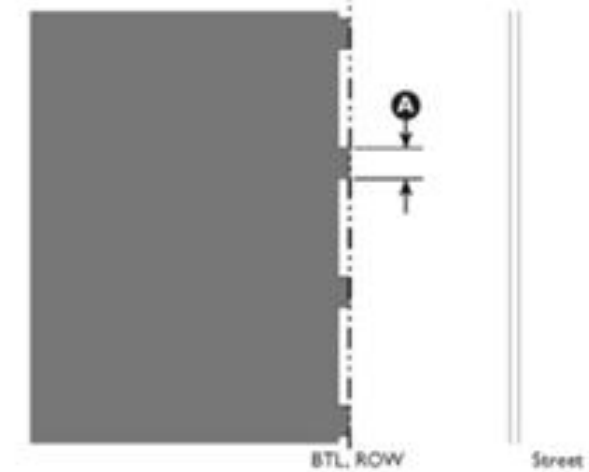
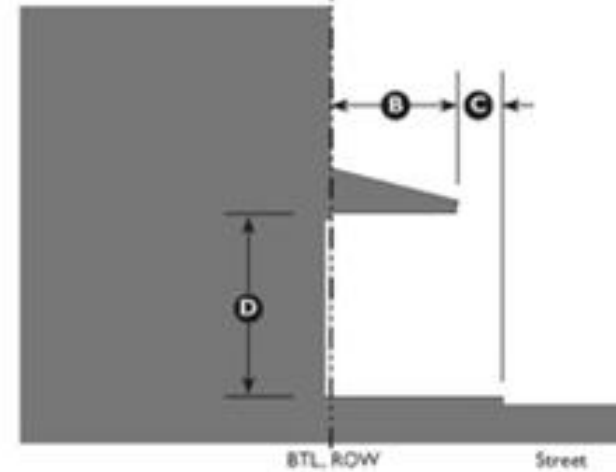
E. Allowed Frontages		
Porch, Projecting		
Stoop		
F. Pedestrian Access		
Main Entrance Location	Front	G
G. Vehicle Access and Parking		
Parking may be accessed from the alley, side street or front.		
Parking may be accessed from the front only when there is no adjacent alley or side street.		
Parking spaces may be enclosed, covered or open.		
H. Private Open Space		
Width	20' min.	H
Depth	20' min.	I
Area	400 sf min.	
Required street setbacks and driveways shall not be included in the private open space area calculation.		

Frontage Standards

Specific to Private Frontages

4.20.100

4.20.100 Shopfront



Key

--- ROW / Property Line Setback Line

A. Description

The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This Type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.

B. Size

Distance between Glazing	2' max.	A
Ground Floor Transparency	75% min.	
Depth of Recessed Entries	5' max.	

C. Awning

Depth	4' min.	B
Setback from Curb	2' min.	C
Height, Clear	8' min.	D

D. Miscellaneous

Residential windows shall not be used.
 Doors may be recessed as long as main facade is at BTL.
 Operable awnings are encouraged.
 Open-ended awnings encouraged.
 Rounded and hooped awnings are discouraged.
 Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.



An example of a shopfront with a chamfered corner entry.



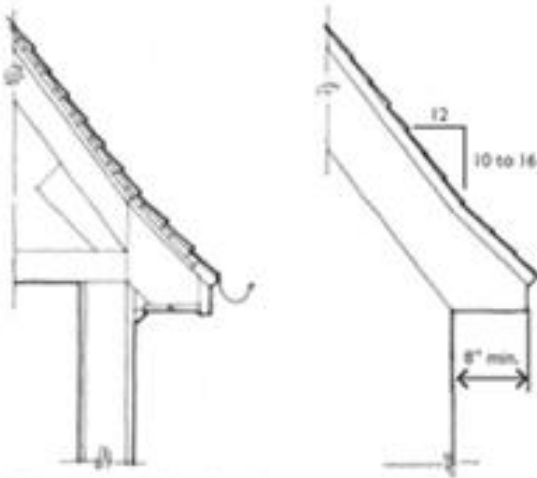
An example of a shopfront with a recessed doorway.

Architectural Standards & Guidelines

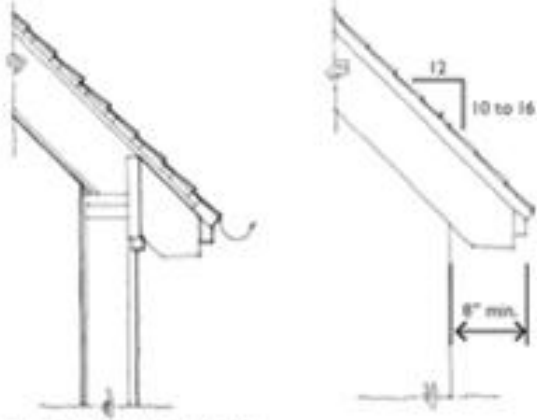
4.70.040

Swedish Village Standards and Guidelines

Swedish Village Style



Typical Closed Eave Detail



Typical Open Eave Detail

B. General Massing and Roofs (continued)

Roofs

Roofs are typically pitched, with some gabled or hipped, with roof slopes ranging from 10 in 12 to 16 in 12.

Renovated and existing commercial buildings may have low-sloped or flat roofs.

Flat roofs shall provide a parapet to conceal flat roof areas.

Mansard roofs may be utilized to simulate second stories on existing flat-roofed structures, provided that...

Skylights shall be flat (non-bubble) only unless concealed behind a parapet.

Roof-Wall Connections

Eaves typically utilize exposed rafter tails or the use of decorative brackets.

Roof overhangs shall have a minimum 8" overhang at eave and rake.



Typical Gable Dormer



Typical Chamfered Dormer

Swedish Village Standards and Guidelines

4.70.040

Swedish Village Style

B. General Massing and Roofs (continued)

Primary Walls

Primary walls are predominantly clad in stucco, brick, or siding.

Exposed wood shall be painted, or stained.

Brick mortar joints shall be struck.

Stucco shall be smooth and sand finish only.

The vertical delineation of wall materials should be used sparingly. Two or more wall materials may be combined on one facade only with the lighter material above the other, more substantial material (e.g. wood above stucco or masonry, or stucco above masonry).

Decorative moldings, cornices, or an applied ornament of stone or cast concrete may be used to express the vertical division between the base, the body, and the top.

Cantilevers shall be supported by visible brackets scaled as if they were supporting the weight of the mass above.

Exterior walls visible from streets and/or public right of ways shall be consistent and integral with the overall theme of the building.

Half timbering may be utilized to delineate gable ends, half stories, and second stories. Half timbering shall be at least 6" nominal dimension.

Wall Treatments

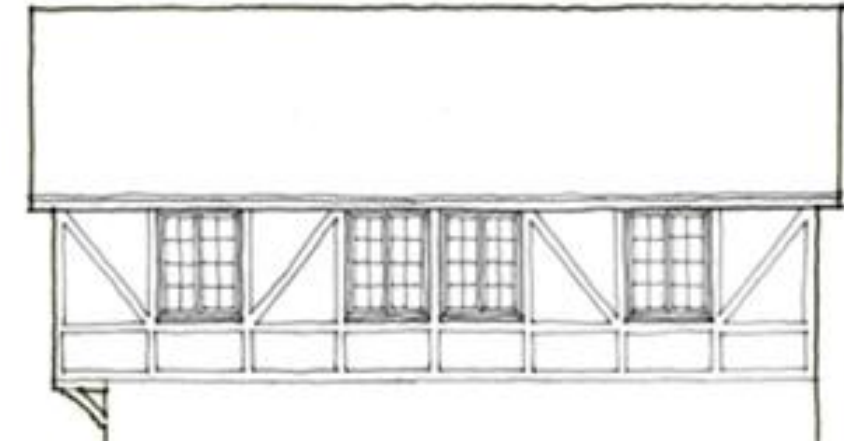


Typical Gable End Half-Timber Treatments

Cantilevered Wall Treatments



Typical Cantilevered Gable End



Typical Cantilevered Second Floor

Questions