

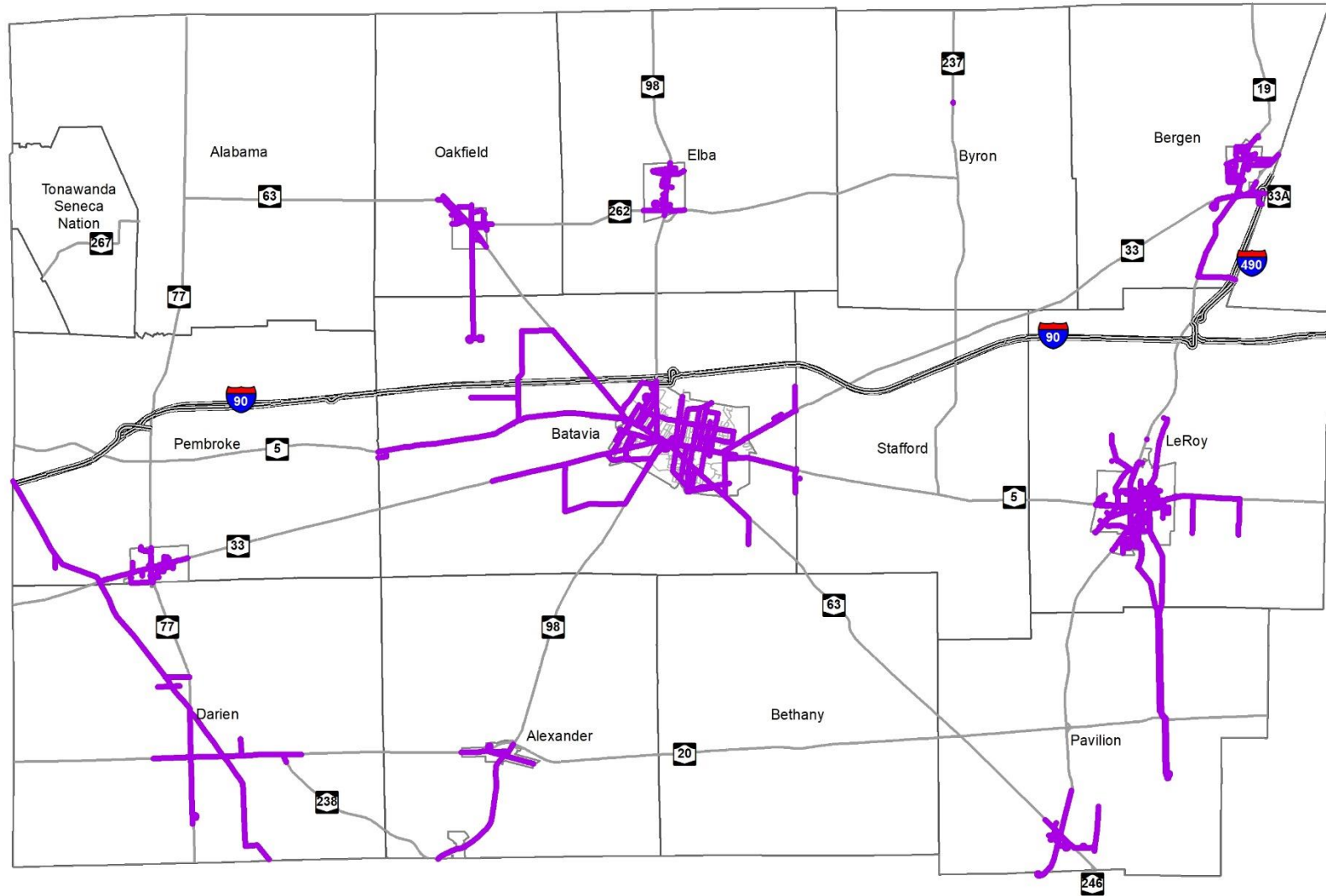


GENESEE COUNTY SMART GROWTH PLAN



Prepared by the Genesee County Department of Planning

1999



PLAN BACKGROUND

- Adopted by the Genesee County Legislature in 2001
- Identified as a mitigating action to the impacts of the County Water Project under SEQR (State Environmental Quality Review Act)
- Smart Growth (and surcharge) applies per the water agreements between the Towns and the County, and between the County and MCWA.

OBJECTIVES OF THE PLAN

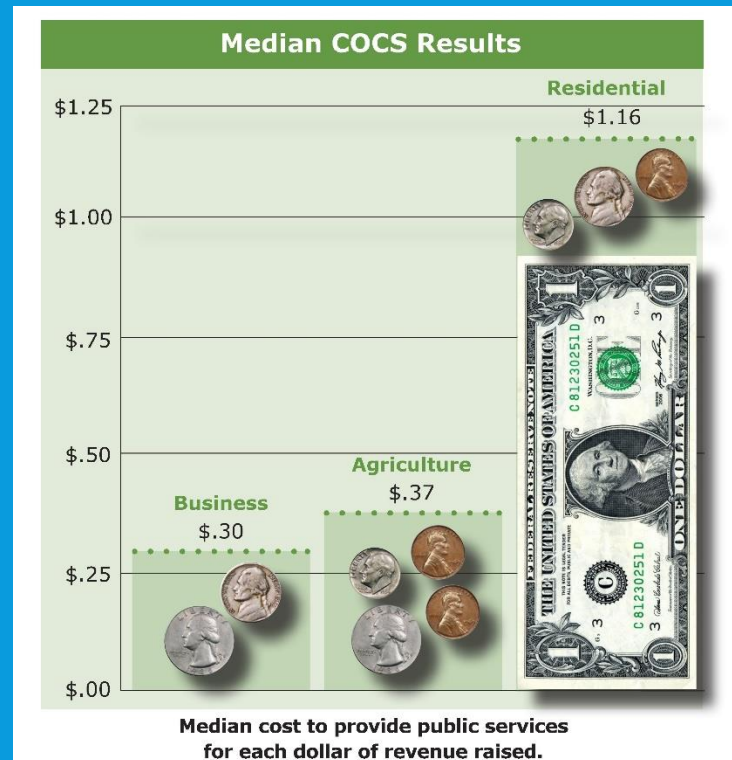
- Focus and encourage economic growth in areas with available public services
- Revitalize city, village and hamlet business districts and neighborhoods
- Protect farmland and reduce impacts upon agricultural activity

SCOPE OF THE GENESEE COUNTY SMART GROWTH PLAN

- Established the development area map that identifies key areas for future growth
- Provides examples of zoning techniques for local communities to adopt if they desire
- Encourages growth in the most appropriate areas through hook ups to the County Water System
- Directs future County resources to development areas

ADVANTAGES OF HAVING THE SMART GROWTH PLAN

- “Free” mitigation for water project’s impacts on farmland
 - Alternatives would include costly municipal Purchase of Development Rights Program or Water agreements tied to restrictive local zoning
- State/Federal Grants
- Economic Development
- State Permits
- Lower property taxes:



DEVELOPMENT AREAS

- Areas of the County that contain available lands and public infrastructure needed to support sustainable development
- Includes areas where future infrastructure could be affordably provided
- Avoids Agricultural Districts and environmentally sensitive areas, such as wetlands, wildlife habitats and flood hazard areas

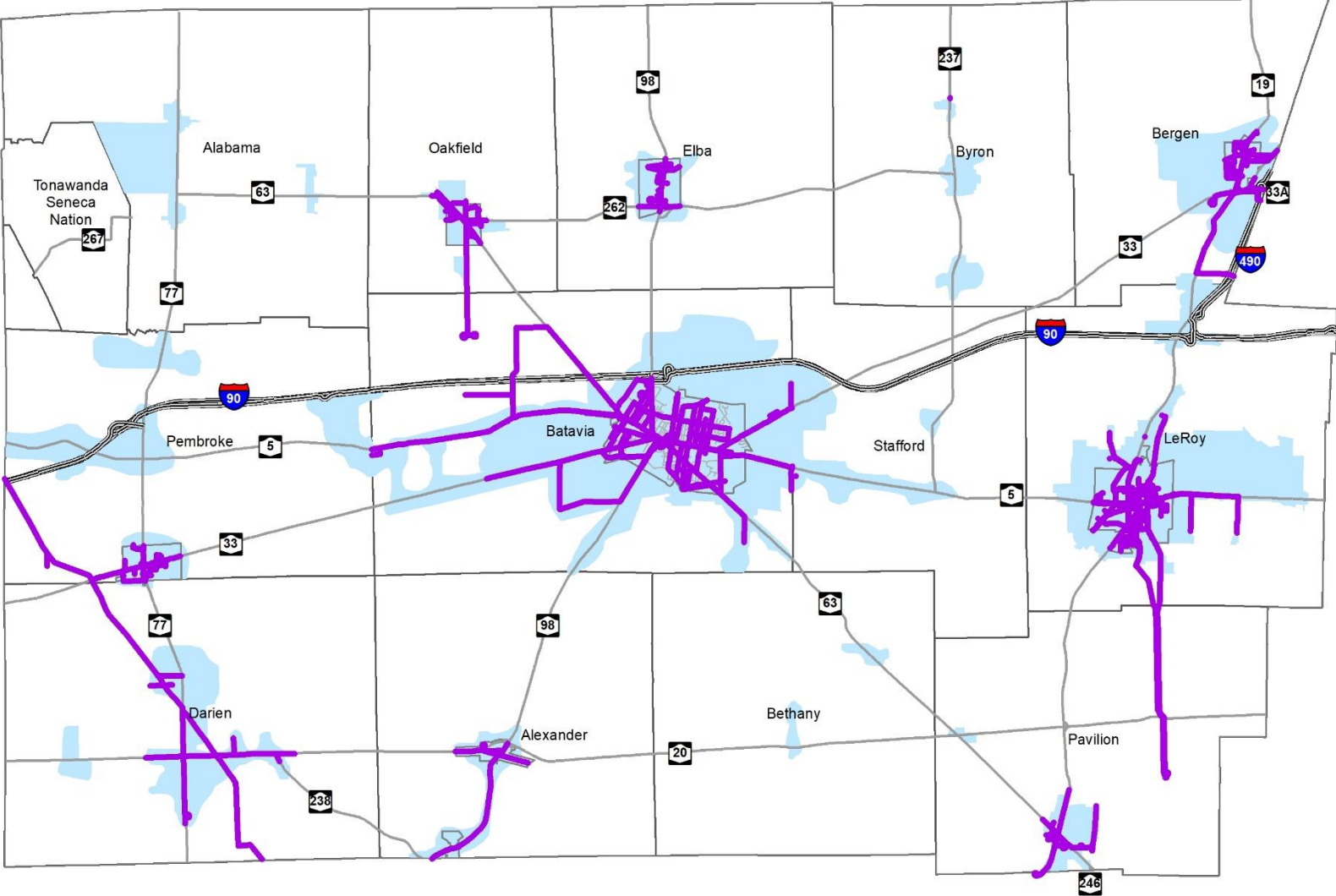
GENESEE COUNTY WATER SYSTEM HOOKUPS

- Within Development Areas
 - All new and existing development are automatically entitled to hook-up (subject to lateral restriction policies adopted by local municipalities for land within Agricultural Districts)

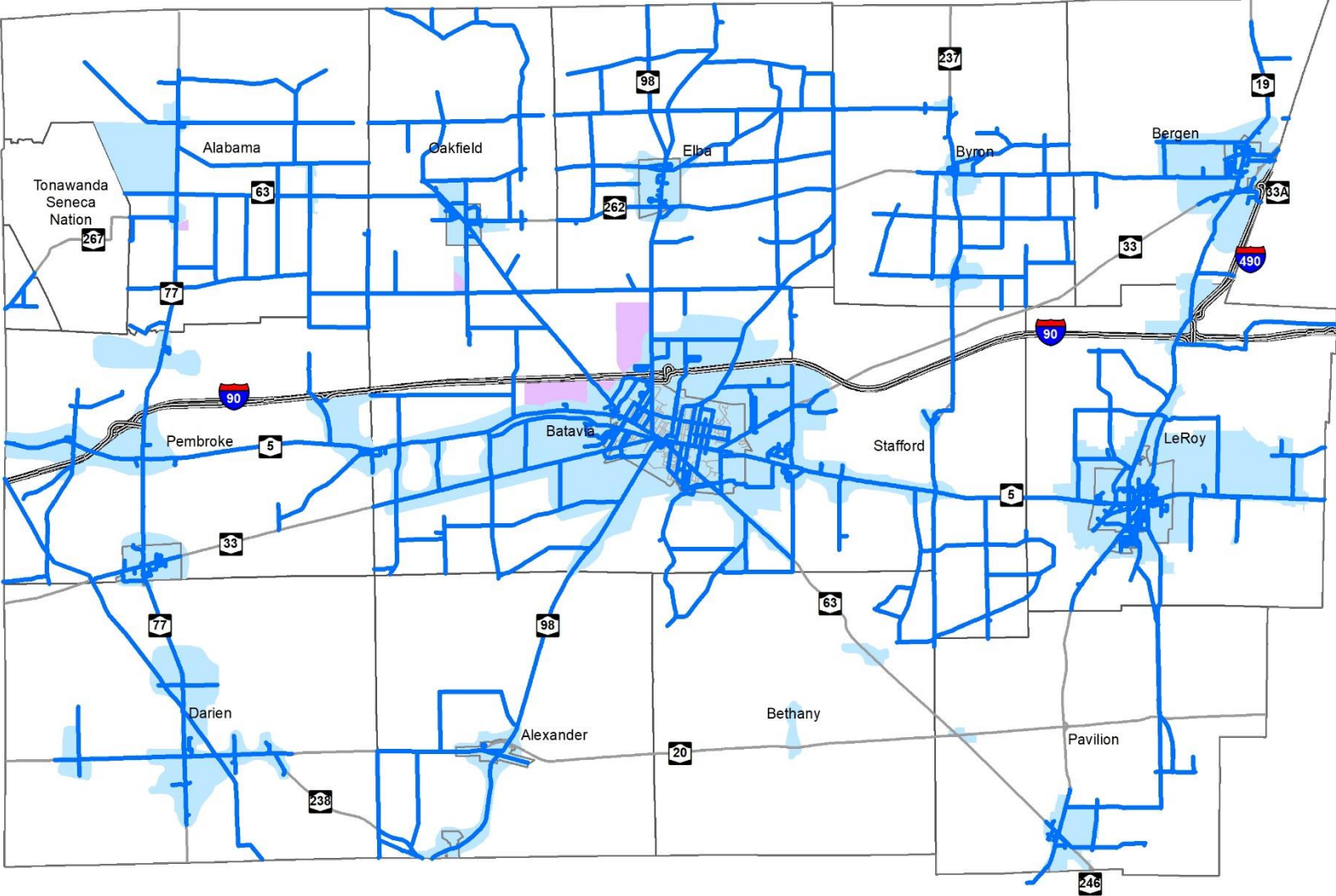
GENESEE COUNTY WATER SYSTEM HOOKUPS

- Outside Development Areas
 - Automatically entitled to hook-up into the County water system if:
 - Structures for which a building permit has been granted as of the date the Smart Growth Plan is adopted or amended by the County Legislature
 - All existing and new agricultural uses
 - Other Hookup Applications must get approval from the Administrative Review Committee

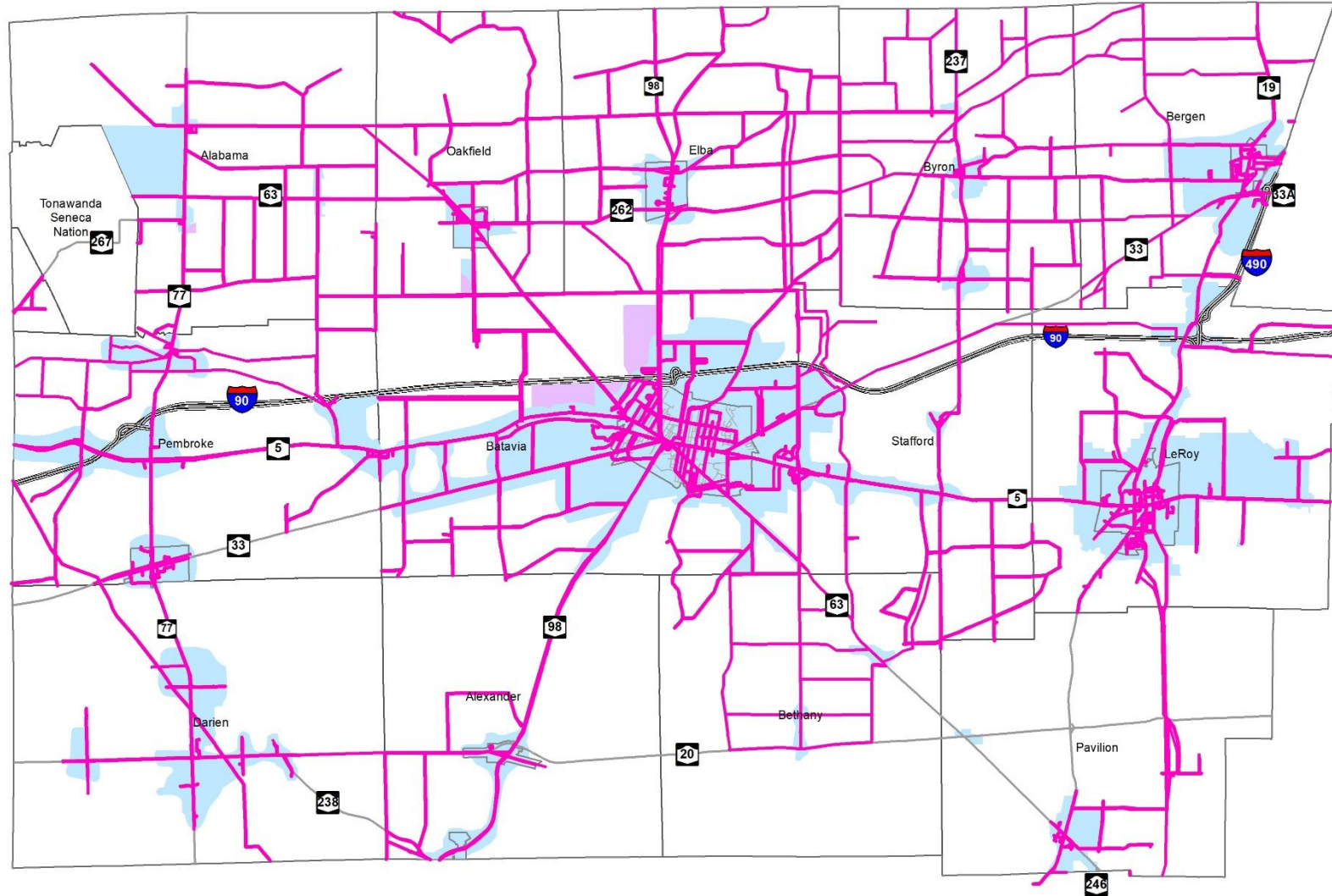
2001



2021



2027-2032



FINDINGS OF THE THREE YEAR REVIEW

- The majority water hookups that have been made to the system have occurred mainly along major state highways and county highways. Although some have been made in agricultural production areas, they have complied with the Smart Growth Plan's objectives by hooking only existing structures to public water.
- Since 2019, there have been 15 additional requests for hook-ups outside of the Development Areas to structures built after the adoption of the Smart Growth Plan, 12 of the 15 requests were approved, two denied, one tabled.
- There have been 68 hookup requests— 62 have been granted.

PROPOSED TEXT AMENDMENTS

DISCLOSURE NOTICE FOR REAL PROPERTY SALES

- Recommendation that the Genesee County Legislature pass a local law requiring a Smart Growth disclosure notice at the time of purchase offer
- In any town outside of a village (or the City) within the Genesee County
- Notice is required to be signed by both the seller(s) and the buyer(s) acknowledging that Smart Growth is in effect and that new construction may not have the guaranteed right to public water.
- This notice will help educate buyers of land about the Smart Growth Plan impacts on access to public water for new non-agricultural development.

GENESEE

2050
COMPREHENSIVE
PLAN **SCENARIOS**
OVERVIEW

GENESEE
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GENESEE COUNTY

SCENARIOS :

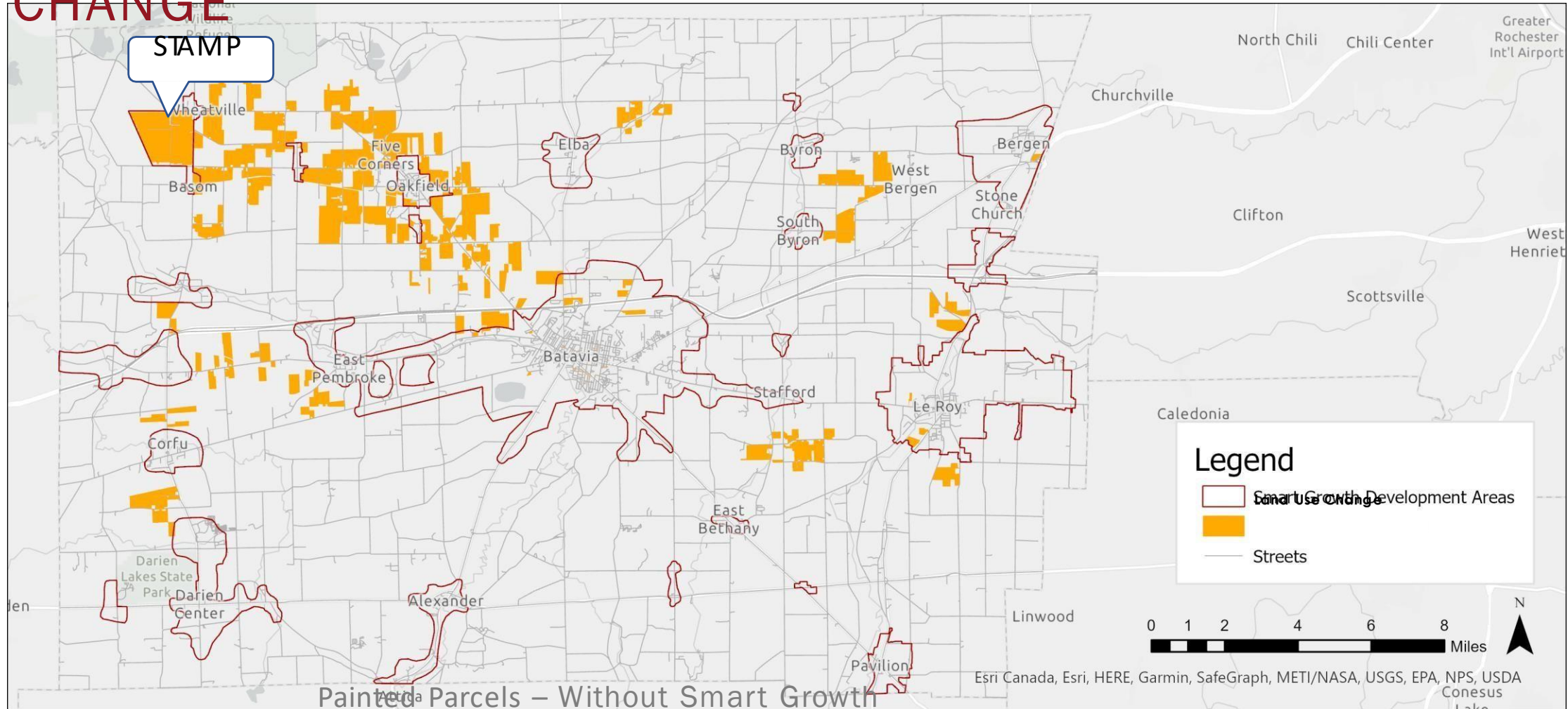
WITHOUT SMART GROWTH

- STAMP full build-out (10,000 jobs)
- Growth focused on western end of the county along arterials and county roads
- Limited growth in village centers
- Little to no growth in city centers (Batavia)
- Some dwelling unit loss in city centers (Batavia)

WITH SMART GROWTH

- STAMP full build-out (10,000 jobs)
- Little to no growth outside Genesee County “Smart Growth” Boundaries
- Growth focused in village centers throughout the county
- Residential infill in and around downtown Batavia
- Growth along commercial corridors in Batavia.

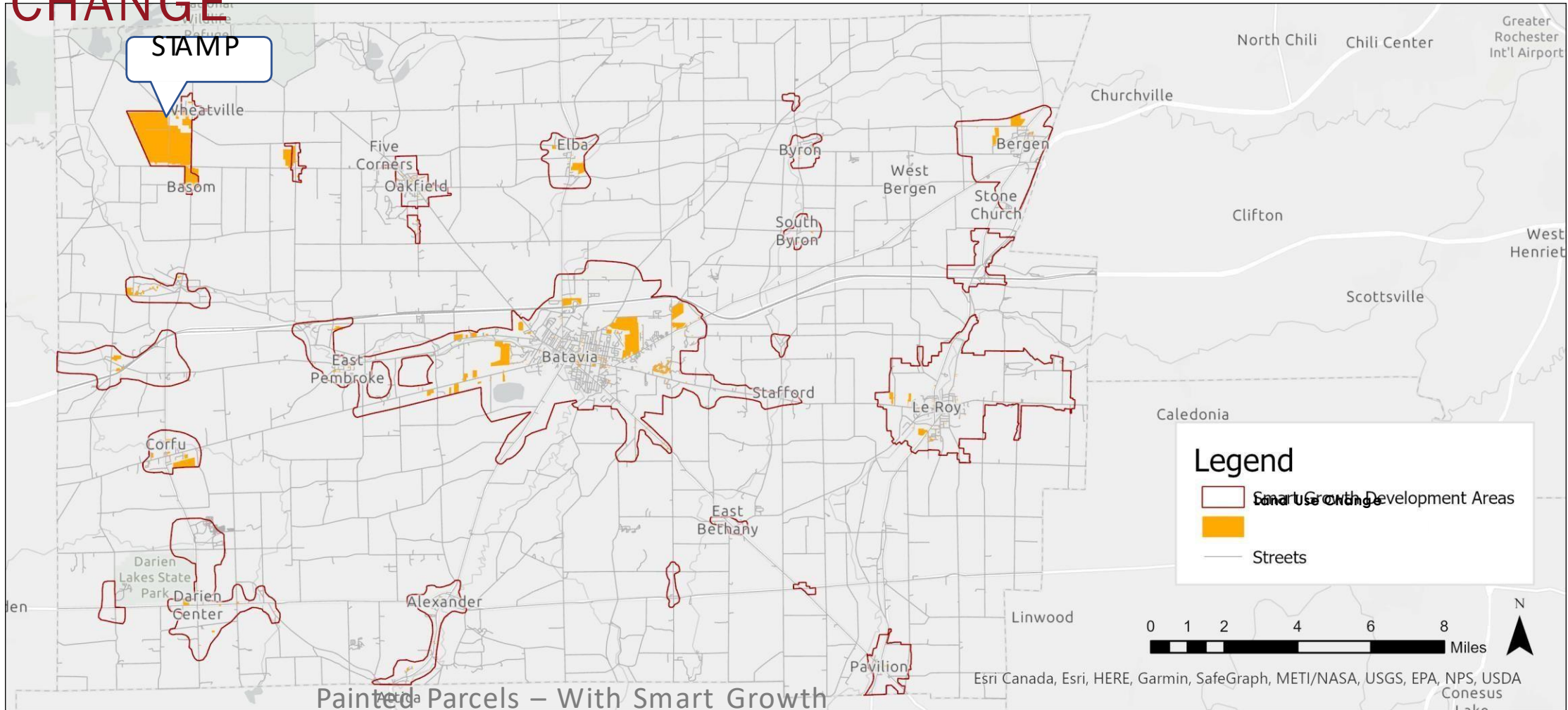
WITHOUT SMART GROWTH SCENARIO: LAND USE CHANGE



Painted Parcels – Without Smart Growth Scenario

Esri Canada, Esri, HERE, Garmin, SafeGraph, METI/NASA, USGS, EPA, NPS, USDA Conesus Lake

WITH SMART GROWTH SCENARIO : LAND USE CHANGE



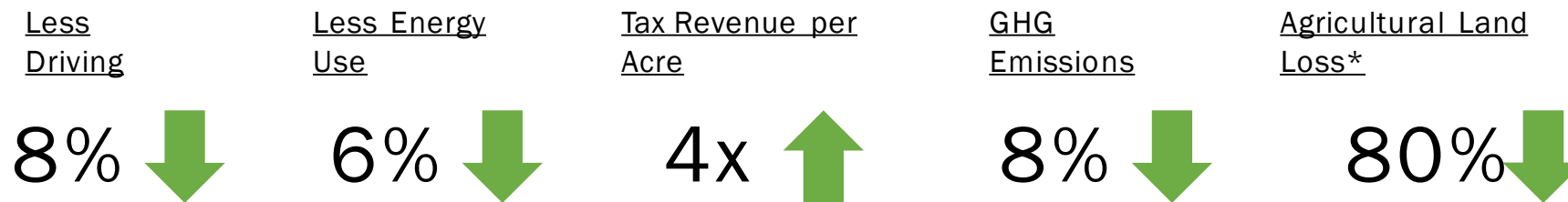
Painted Parcels – With Smart Growth Scenario

GENESEE COUNTY SCENARIOS :

THE IMPACT OF SMART GROWTH POLICIES

Genesee County is at a tipping point. With the potential for thousands of new jobs to locate in the STAMP technology park, it is likely that demand for housing and commercial space in the County will increase substantially in the coming decades. How that demand is satisfied matters. As this scenario modeling process has shown, local land use policies will have a significant impact on the quality of life and economic wellbeing of county residents and business owners. If future development adheres to the current Smart Growth Boundaries, the county will be better off across several key performance measures such as vehicle miles traveled (VMT), greenhouse gas emissions, and fiscal health.

WHAT COULD CONTINUING WITH SMART GROWTH MEAN FOR GENESEE COUNTY?



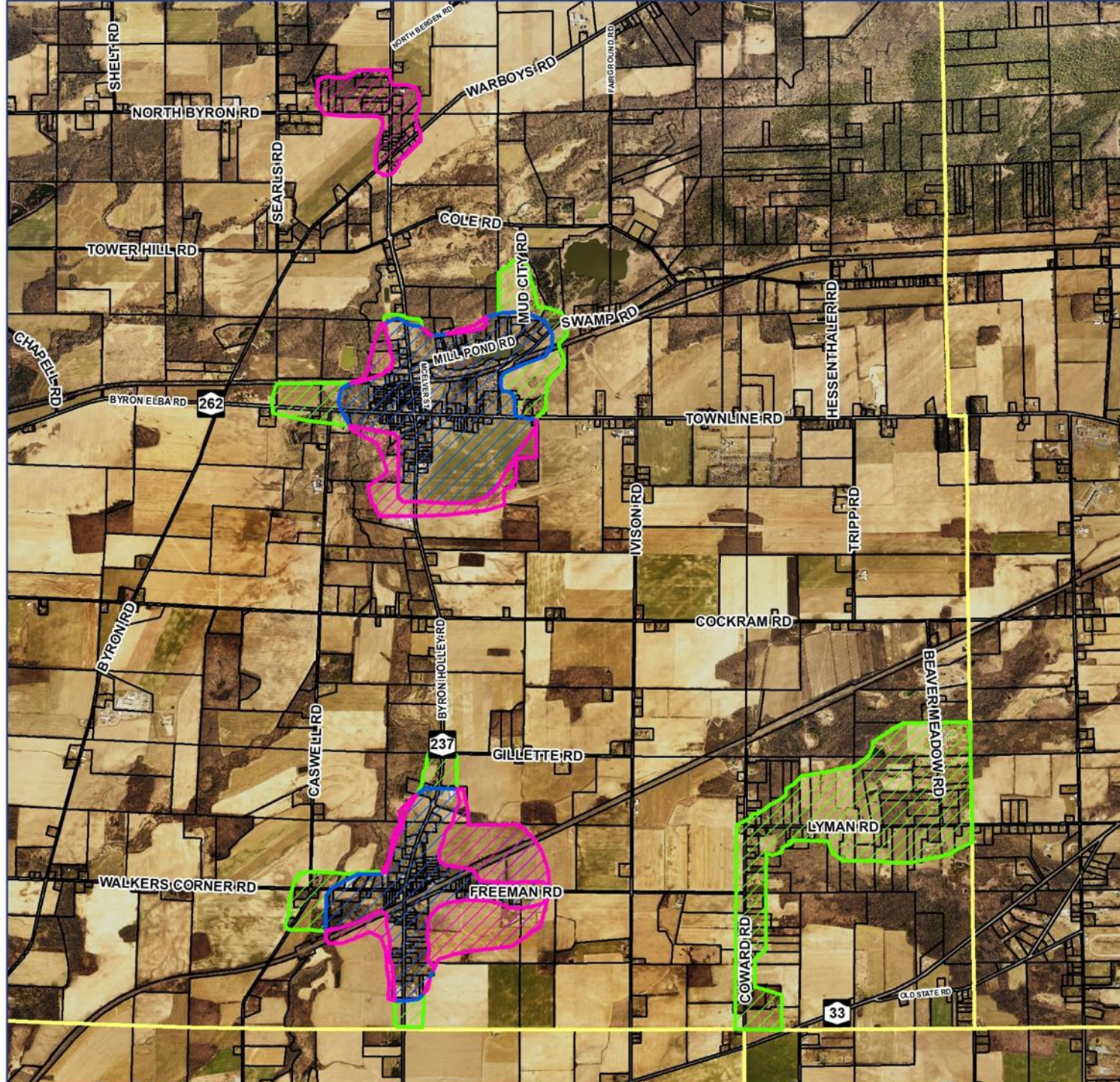
*relative to the "Without Smart Growth" scenario

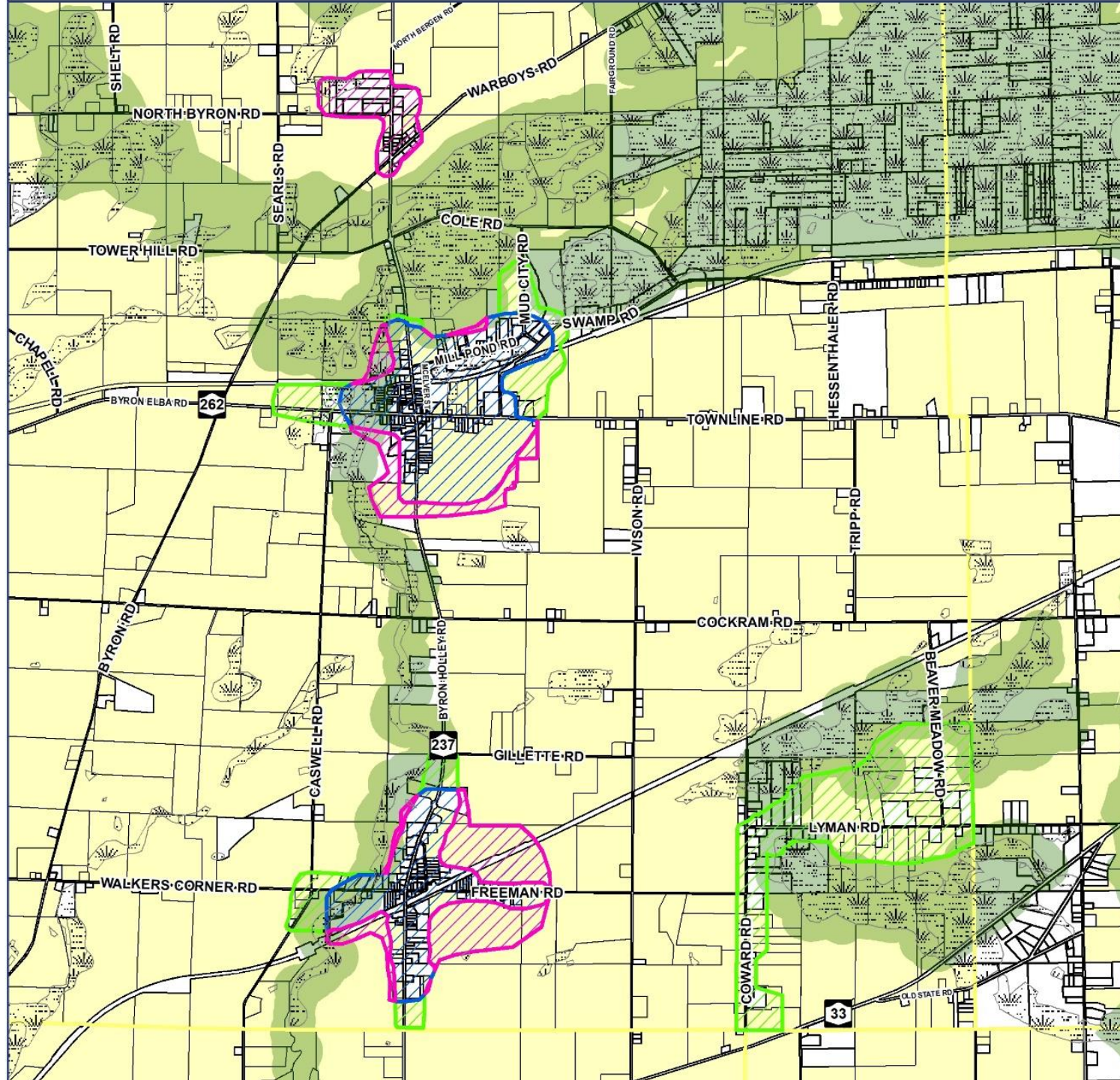
TOWN PROPOSED MAP AMENDMENTS

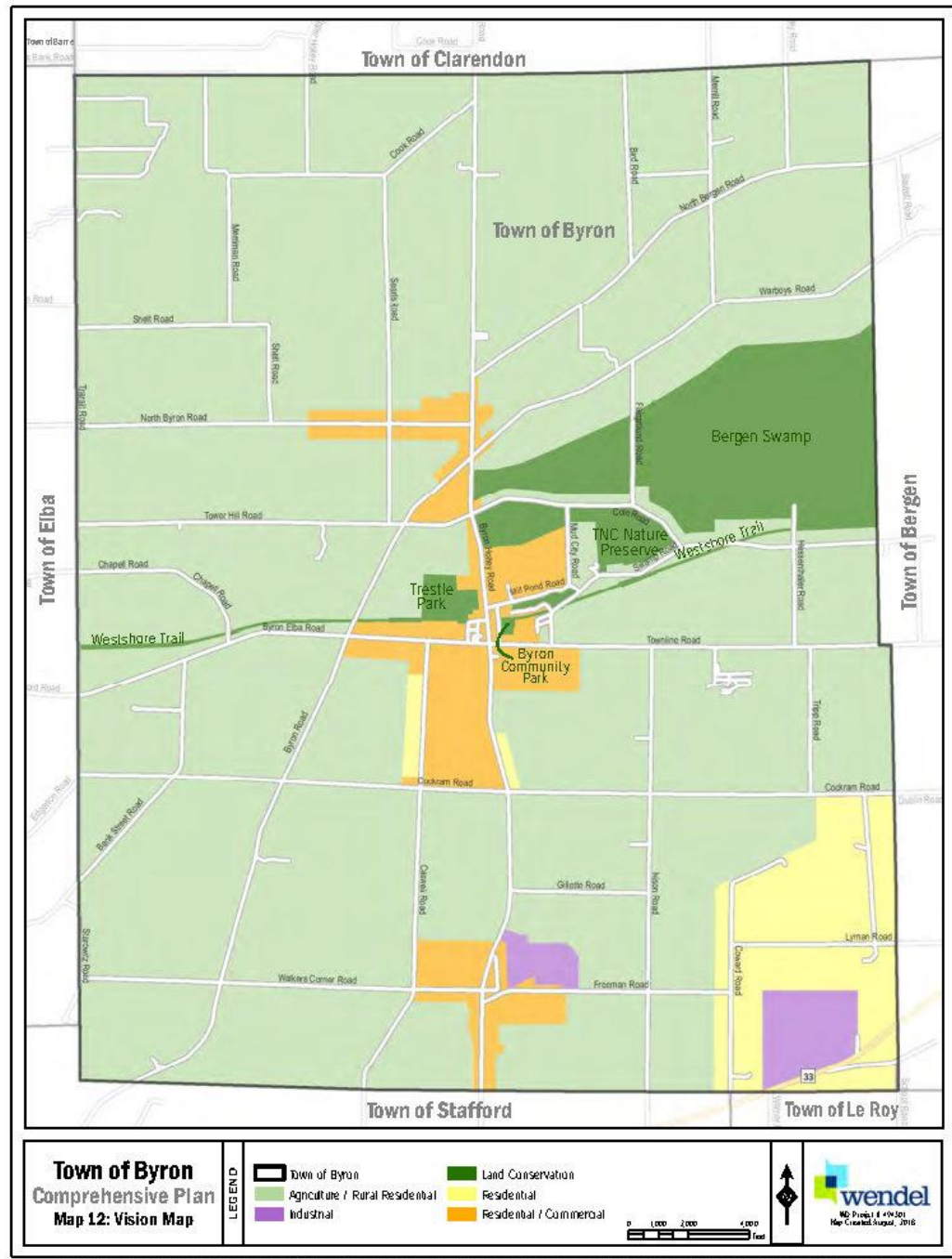
TOWN OF BYRON

- The Town of Byron requested modifications to its existing Smart Growth Priority Development Areas.

TOWN OF BYRON - SMART GROWTH PRIORITY DEVELOPMENT AREA					
	Total (acres)	Undeveloped (acres)	Agricultural District (acres)	Currently Farmed (acres)	Strategic Farmland (acres)
Current Areas	844	397	392	313	574
Proposed Areas	1,068	424	557	356	737
Proposed Net Change	224	27	165	43	163

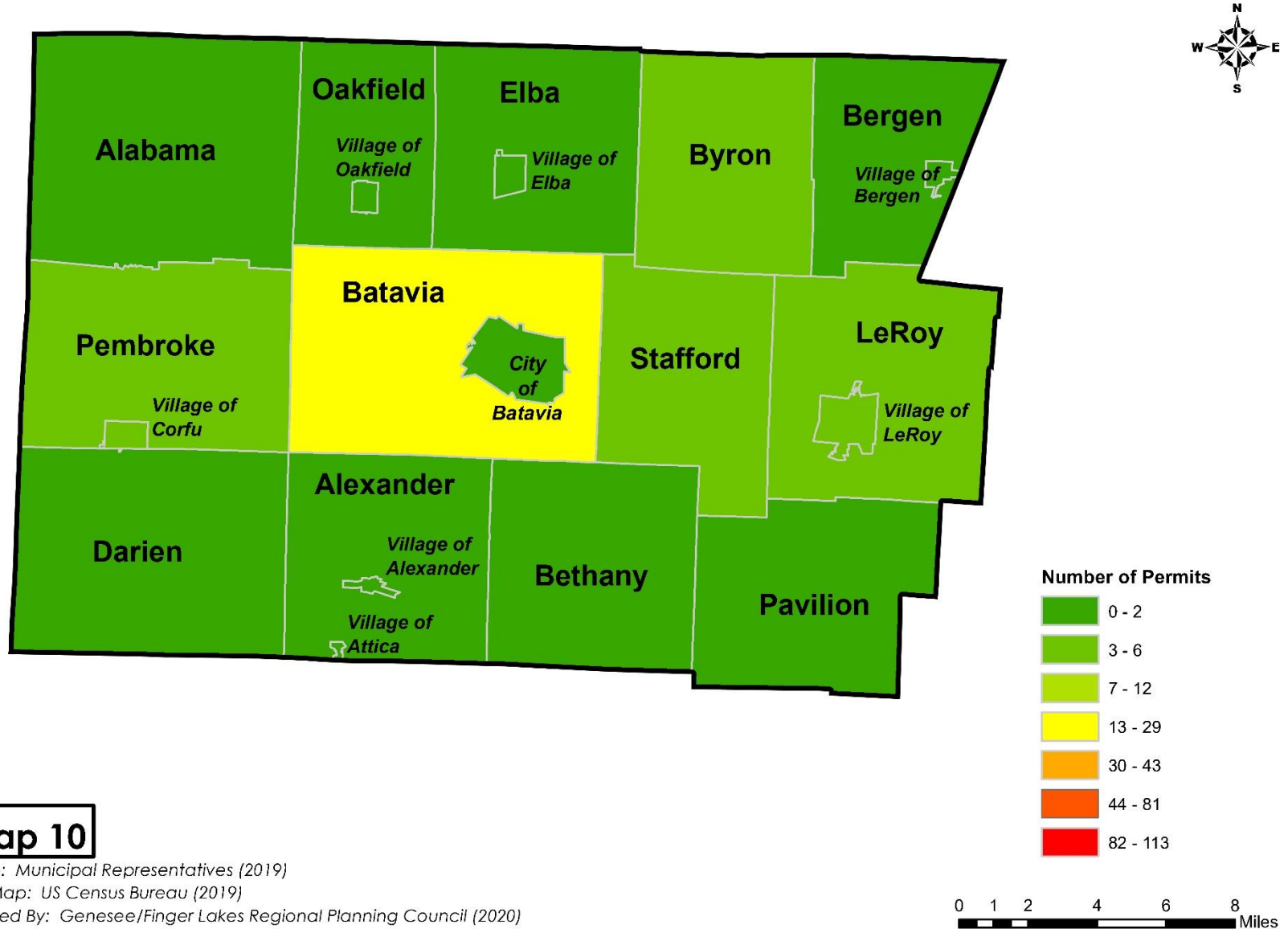






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Number of Residential Building Permits in Genesee County (2019)



Map 10

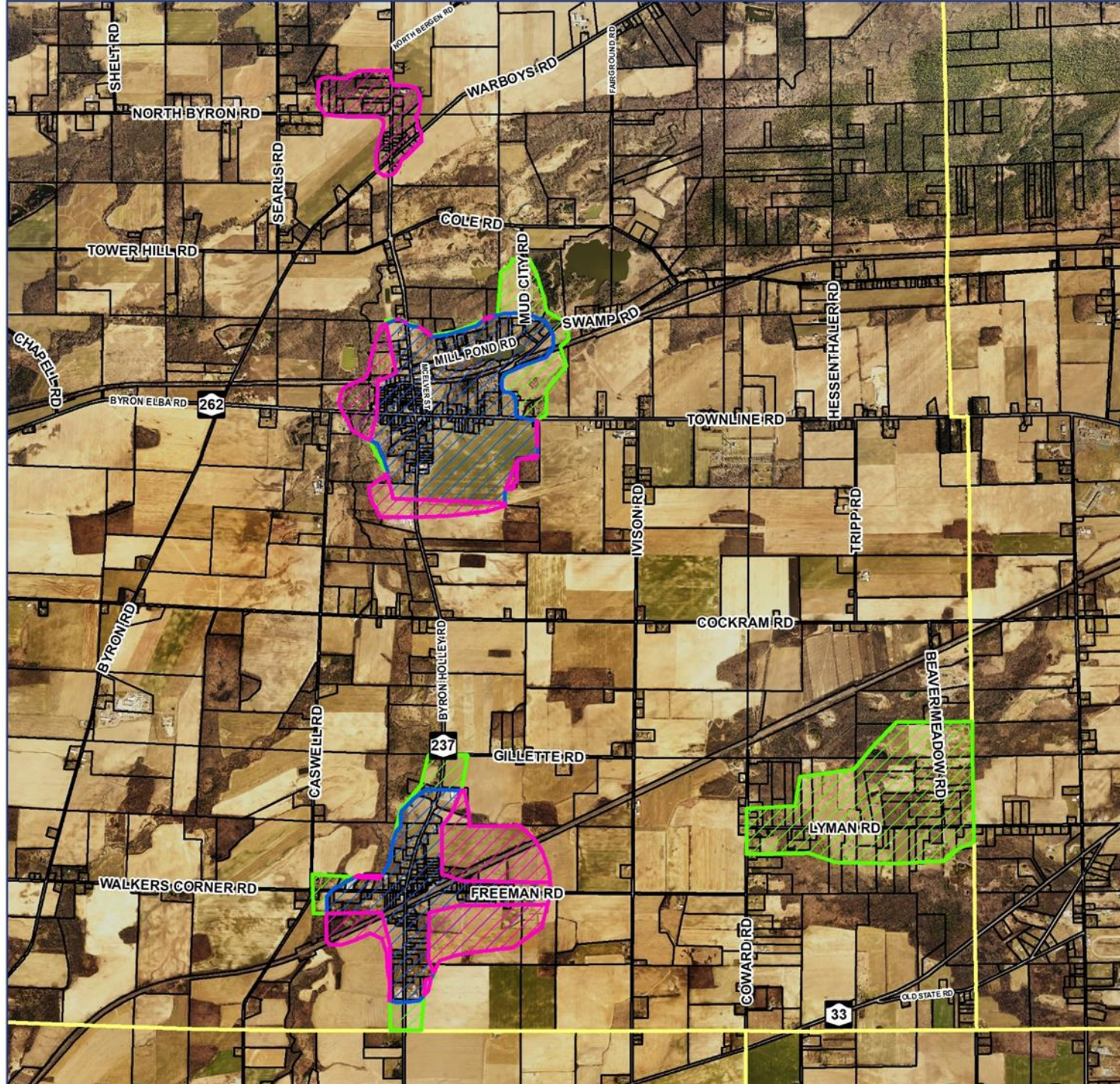
Source: Municipal Representatives (2019)

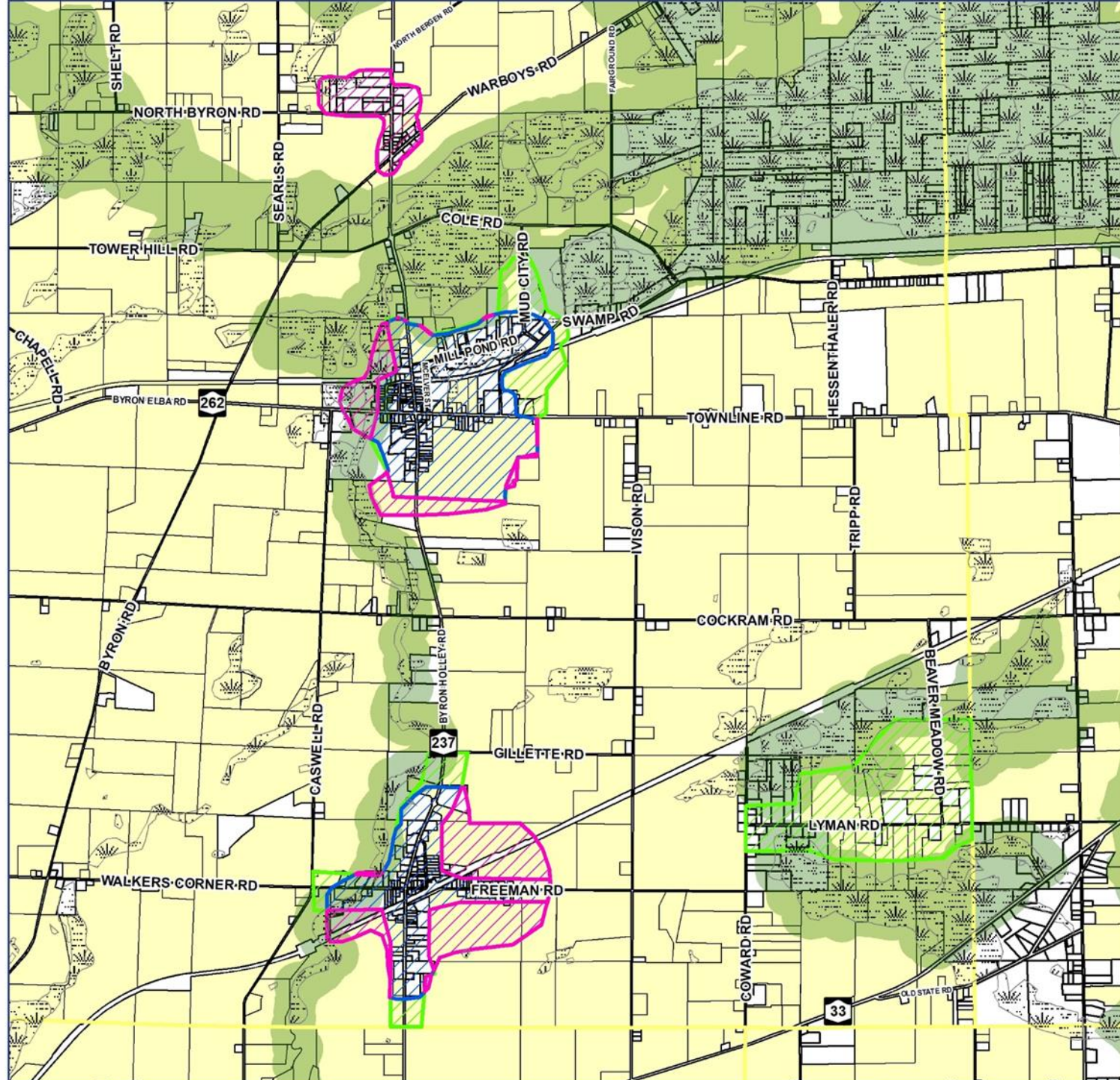
Base Map: US Census Bureau (2019)

Prepared By: Genesee/Finger Lakes Regional Planning Council (2020)

TOWN OF BYRON – 2022 REQUEST

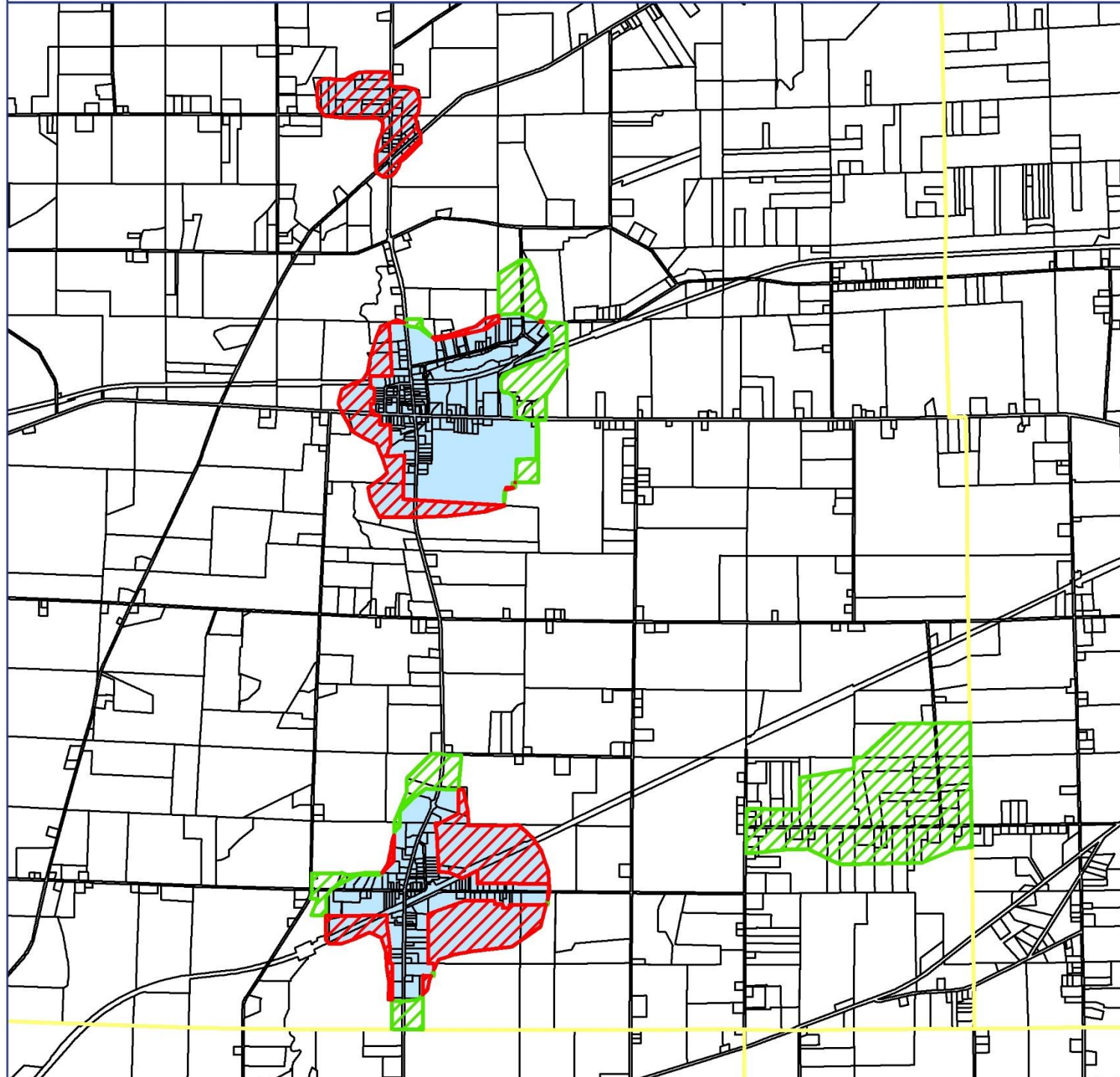
TOWN OF BYRON - SMART GROWTH PRIORITY DEVELOPMENT AREA					
	Total (acres)	Undeveloped (acres)	Agricultural District (acres)	Currently Farmed (acres)	Strategic Farmland (acres)
Current Areas	844	397	392	313	574
Proposed Areas (1st Proposal)	1,068	424	557	356	737
Proposed Areas (2nd Proposal)	946	397	494	313	638
Revised Net Change	102	0	102	0	64





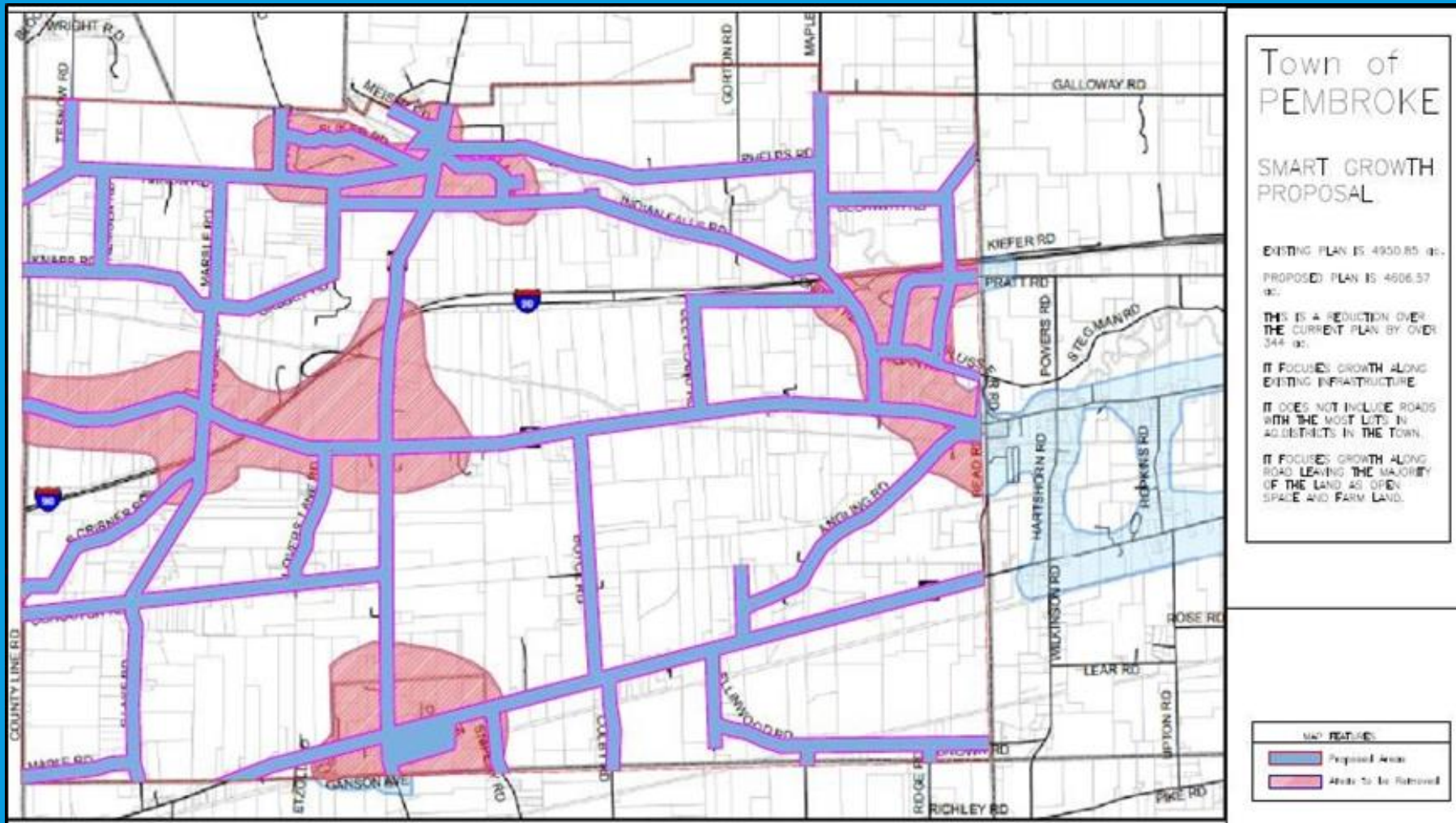
TOWN OF BYRON – 2022 RECOMMENDATION

TOWN OF BYRON - SMART GROWTH PRIORITY DEVELOPMENT AREA					
	Total (acres)	Undeveloped (acres)	Agricultural District (acres)	Currently Farmed (acres)	Strategic Farmland (acres)
Current Areas	844	397	392	313	574
Proposed Areas (Initial Proposal)	1,068	424	557	356	737
Proposed Areas (Revised Proposal)	946	397	494	313	638
Recommended Areas	932	375	490	306	630
Recommended Net Change	88	-22	98	7	56



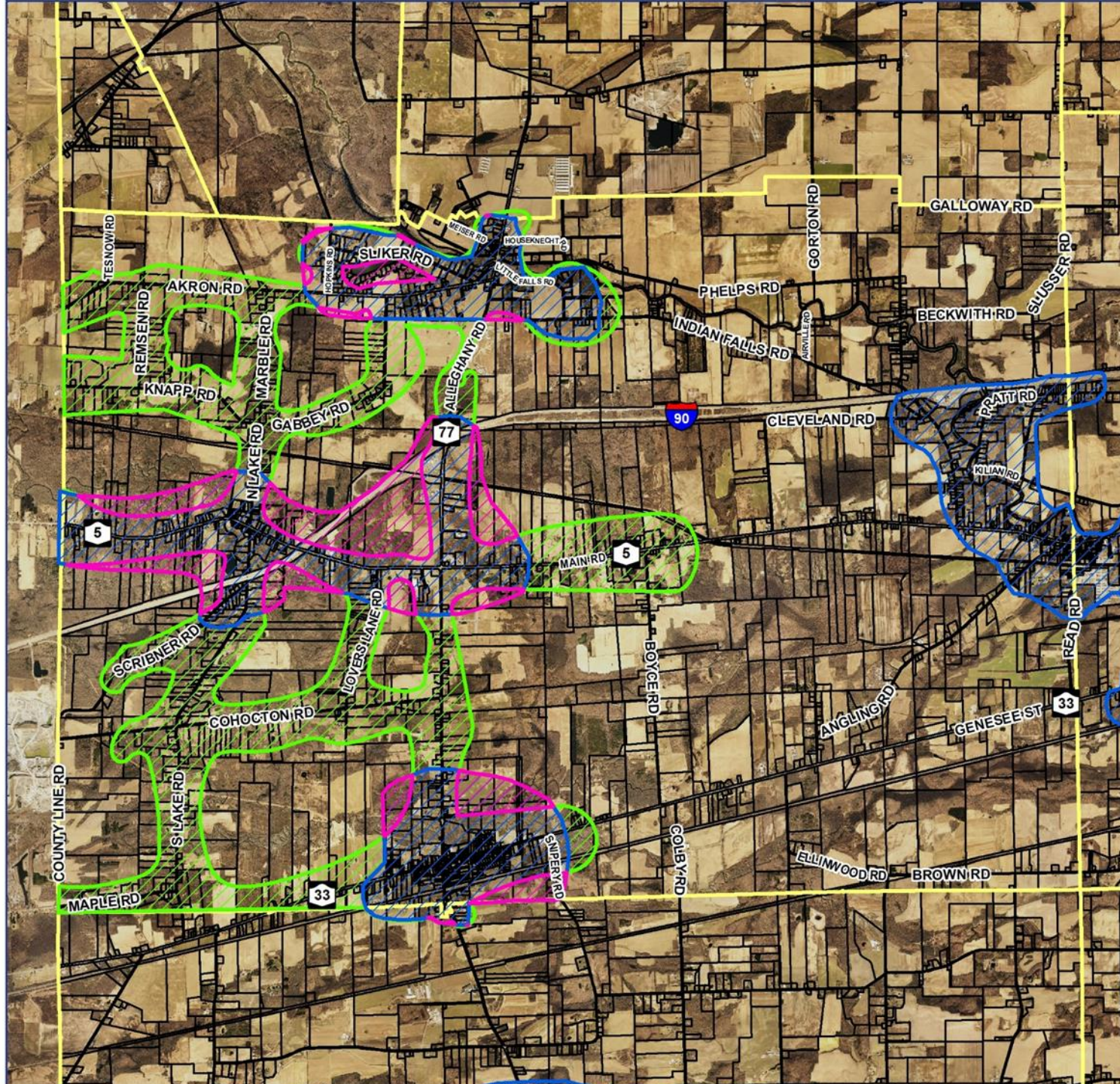
TOWN PROPOSED MAP AMENDMENTS

TOWN OF PEMBROKE



TOWN P

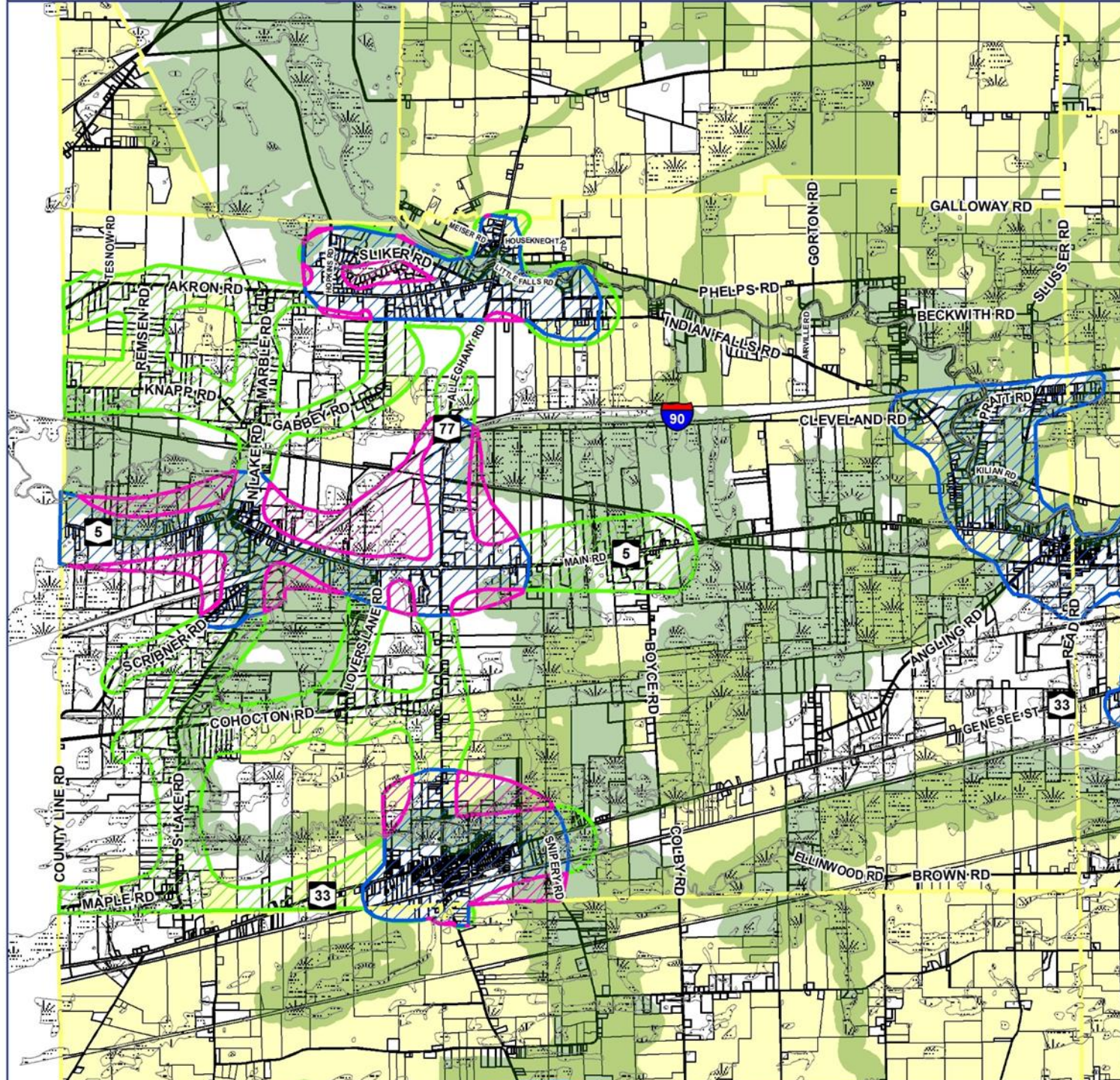
TOWN OF P



TOWN PROPOSED MAP AMENDMENTS

TOWN OF PEMBROKE

TOWN OF PEMBROKE - SMART GROWTH PRIORITY DEVELOPMENT AREA					
	Total (acres)	Undeveloped (without wetlands) (acres)	Agricultural District (acres)	Currently Farmed (acres)	Strategic Farmland (acres)
Current Areas	4,056	2,000	351	748	2,117
Proposed Areas	7,548	3,637	989	1,515	3,628
Proposed Net Change	3,492	1,637	638	762	1,511



Town of Pembroke

Map 13 - Future Land Use Plan

Legend

-  Town Boundaries
-  Roads
-  Railroads
-  Streams
- Future Land Use**
-  Agriculture
-  Open Space
-  Residential
-  Mixed Use
-  Limited Commercial
-  Community Service
-  Commercial/Light Industrial
-  Sensitive Environmental Overlay District (includes DEC Wetlands, FEMA Floodplains, 100' Stream Buffers, & Significant Woodlands)

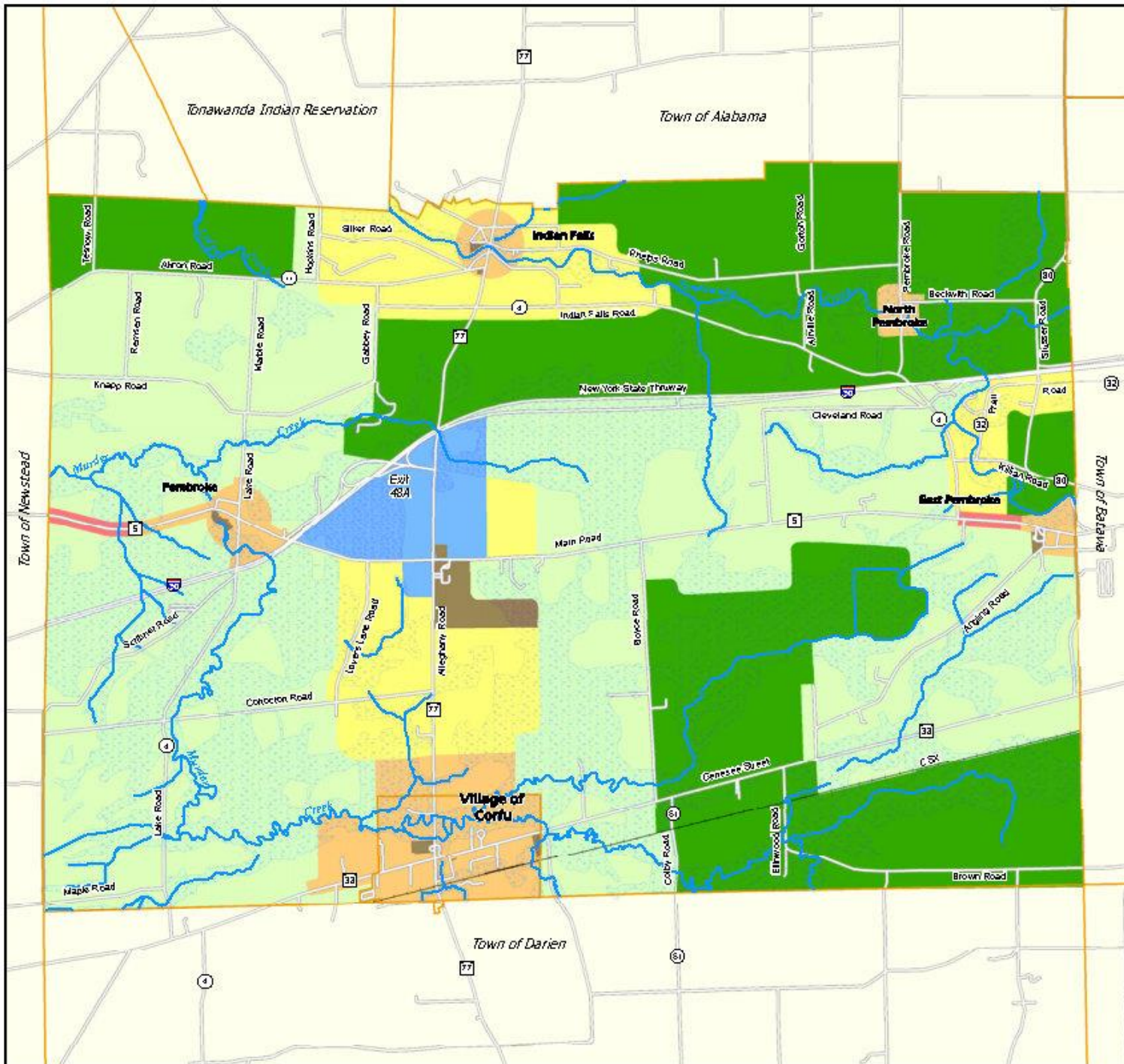


0 0.25 0.5 1 Miles



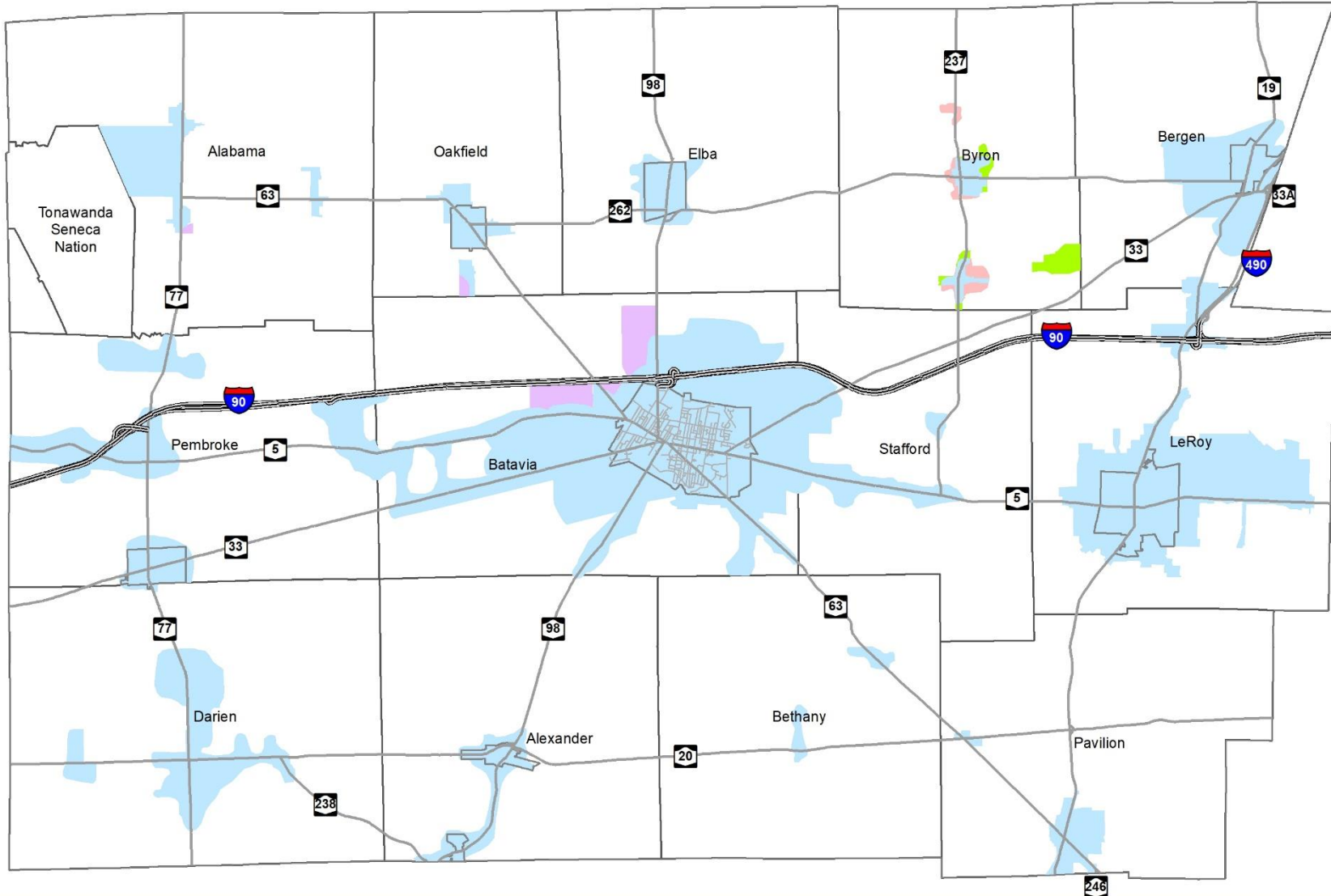
186 North Water Street
Rochester, NY 14604

Prepared October 2006



Map 2 Recommended Development Areas

GENESEE COUNTY SMART GROWTH PLAN 2022 Review Report



Current Boundaries		Recommended Modifications					Genesee County Department of Planning County Building 2	3837 West Main Street Road Batavia, New York 14020 (585) 815-7901 www.co.genesee.ny.us
Priority Development Areas	Reserved Development Areas	Priority Area Expansions	Recommended Deletions					

For additional Information or to make
additional comments:



Genesee County Department of Planning

County Building 2

3837 West Main Street Rd

Batavia, NY 14020

(585) 815-7901

(585) 345-3062 (fax)

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On the Web at: co.genesee.ny.us/departments/planning