



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **T-12-BAT-11-22**
Review Date **11/10/2022**

Municipality	BATAVIA, T.
Board Name	PLANNING BOARD
Applicant's Name	Hix Snedeker Companies LLC (Tractor Supply)
Referral Type	Subdivision: Final and Site Plan Review
Variance(s)	
Description:	Final Subdivision and Site Plan Review to build a new retail store (Tractor Supply).
Location	8727 Lewiston Rd. (NYS Rt. 63), Batavia
Zoning District	Commercial (C) District

PLANNING BOARD RECOMMENDS:

APPROVAL WITH MODIFICATION(S)

EXPLANATION:

The required modifications are as follows: 1) The applicant obtains a permit from NYS DOT for the proposed road/intersection; 2) given that the applicant will be disturbing more than an acre of land, the applicant completes a Stormwater Pollution Prevention Plan (SWPPP) and obtain a Stormwater Permit for Construction Activity from NYS Department of Environmental Conservation (DEC); and 3) Given that the project is located in an archaeological sensitive area, the applicant obtain documentation from the State Historic Preservation Office (SHPO) as to the project's impacts on archaeological resources. With these required modifications, the proposed store should pose no significant county-wide or inter-community impact. It is recommended that the applicant submits the attached application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that an address is assigned that meet Enhanced 9-1-1 standards. The applicant should note that the project is located outside of a Smart Growth Development Area and therefore a public water hookup is not guaranteed. The site is actively farmed with a long crop history, enrolled in the NYS Agricultural District Program and consist of over 90% prime farmland soils.

Director

November 10, 2022

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 343-1729

Clear Form

DEPARTMENT USE ONLY:

GCDP Referral # T-12-BAT-11-22



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

RECEIVED
Genesee County
Dept. of Planning
11/3/2022

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Town of Batavia Planning Board
Address 3833 West Main Street Road
City, State, Zip Batavia, NY, 14020
Phone (585) 343-1729 Ext. _____

2. APPLICANT INFORMATION

Name Hix Snedeker Companies LLC
Address 8727 Lewiston Rd
City, State, Zip Batavia, NY, 14020
Phone (716) 908-3289 Ext. _____ Email psorgi@hsmlegal.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|--|---|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input checked="" type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input checked="" type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____ | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

- A. Full Address 8727 Lewiston Rd Batavia NY 14020
- B. Nearest intersecting road Veterans Memorial Drive
- C. Tax Map Parcel Number 8.-1-7
- D. Total area of the property 52.44+/- Area of property to be disturbed 5.08+/-
- E. Present zoning district(s) Commercial

5. REFERRAL CASE INFORMATION:

- A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
NA
- C. Please describe the nature of this request Major Subdivision and Retail Building for Tractor Supply

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input checked="" type="checkbox"/> Location map or tax maps | <input type="checkbox"/> Photos |
| <input checked="" type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input type="checkbox"/> Other: _____ |
| <input checked="" type="checkbox"/> SEQR forms | <input checked="" type="checkbox"/> Agricultural data statement | |

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Daniel Lang Title CEO/ZEO Phone (585) 343-1729 Ext. 222
Address, City, State, Zip 3833 West Main St. Rd. Batavia NY 14020 Email dlang@townofbatavia.com

Building and Zoning Application Permit No. _____

Town of Batavia 3833 West Main Rd. Batavia NY 14020 PH. 585-343-1729

Date 11 / 01 / 22 Zone C Flood Zone NO Wellhead Protection NO Corner Lot NO

New Construction Fence Pond Sign Alteration(s) Addition Demolition

Accessory Bldg. Mobile Home Fill Permit Home Occupation Land Separation Site Plan Approval

Special Use Permit Temporary Use Subdivision Zoning Variance Request Other Specify: _____

Tax Map No. 8.-1-7

Owners Name Call Farms Inc. Phone No. (____) 585-343-1026

Address 8127 Lewiston Rd, Batavia, NY 14020 Project Road Width 36 ft

Applicants Name Hix Snedeker Companies, LLC Project Address 8727 Lewiston Rd., Town of Batavia

E Mail Address psorgi@hsmlegal.com Phone No (____) 716-908-3289

Description of Project: Development of Tractor Supply Store with accessory uses and related site infrastructure on 5.08± acres portion of 52.44± acres parcel.

Existing Use Vacant Land / agricultural Proposed Use Tractor Supply Store

Estimated Cost Building NA Plumbing NA Mechanical NA Miscellaneous NA

SEQR CLASSIFICATION Type 1 Type 2 Unlisted

Review completed by Planning Board Zoning Board of Appeals

Permit Fee \$ _____ Application Date ____/____/____ Permit Expires On ____/____/____

Issuing Officer _____ Date ____/____/____

IN SIGNING THIS DOCUMENT I HEARBY GIVE THE RIGHT OF AN ON SITE INSPECTION TO THE TOWN OF BATAVIA CODE ENFORCEMENT OFFICIAL OR THEIR DESIGNE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PREFORMANCE OF CONSTRUCTION.

I, Peter J. Sorgi, Esq., Project Attorney, as Owner or Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge.



November 1, 2022

Signature of Owner or Authorized Agent

Date

(see attached copy of Authorization of Applicant which attached applicable portion of contract to purchase land) - *Exhibit 1*

*see attached FEAF at Exhibit 2
site plans, renderings + SWPPP submitted herewith*

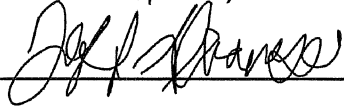
Exhibit 1 to Site Plan Application

Applicant / Contract Vendee
Authorization

AUTHORIZATION

Hix Snedeker Companies, LLC, as contract vendee of a portion of real property located at 8727 Lewiston Road in Town of Batavia, New York, bearing SBL No. 8.-1-7, by virtue of Purchase and Sale Agreement with Call Farms, Inc., the Property Owner, a redacted copy of the applicable pages of which being attached as Schedule A and expressly incorporated hereto, hereby authorizes Hopkins Sorgi & McCarthy PLLC (Project Attorney) and Dynamic Engineering Consultants, PC (Project Engineer) to execute any required documentation along with applications for any approvals/permits required from the Town of Batavia and other governmental agencies in connection with the proposed development of the aforementioned real property, including but not limited to variance applications, environmental assessment forms, subdivision applications and site plan applications.

Hix Snedeker Companies, LLC



Print name: Jeff Albanese

Title: Development Manager

Date: 10/5/22

Schedule A

PURCHASE AND SALE AGREEMENT

This Purchase and Sale Agreement (this "Agreement") is made and entered into by and between **CALL FARMS, INC.**, a New York corporation (hereinafter referred to as "Seller"), and **HIX SNEDEKER COMPANIES, LLC**, an Alabama limited liability company (hereinafter referred to as "Buyer").

WITNESSETH

1. **Property.** Seller hereby agrees to sell and convey to Buyer, and Buyer hereby agrees to purchase and take from Seller, under and subject to the terms, conditions and provisions hereof, that certain real property located in the [Town of Batavia] Genesee County, New York, and identified generally as 6.97 acres, more or less, located at 8287 Lewiston Road, being a portion of Tax Parcel Number 182400 8.-1-7, as shown on the map attached hereto and made a part hereof as Exhibit "A", together with all appurtenances, rights of way, privileges, leases, easements and other rights benefiting or pertaining thereto, any and all improvements, if any, located thereon, and all right, title and interest of the Seller in and to any land lying in any right-of-way adjoining such property to the centerline thereof (the "Property").

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the respective dates set forth below.

SELLER:

Date: 6/4/22

CALL FARMS, INC.,
a New York corporation

By: Timothy R. Call Pres
Its: President

BUYER:

Date: 5/9/22

HIX SNEDEKER COMPANIES, LLC,
an Alabama limited liability company

By: H. Kay Hill
Its: Member

EXHIBIT "A"
PROPERTYDESCRIPTION

See Attached.

Su for zoomed in depiction

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Area Property Type Use Code Tax Map Area View Filter Property Value Debt Location Update Filter

NY 14020

LEWISTON RD BATAVIA, NY 14020

>01-1-7

CULTURAL
US CROPS

8,800 SF (101 ACRES)
>01.17 TOTAL ACRES

FARMS INC

LEWISTON RD BATAVIA, NY 14020

900

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Property Detail A More



Lat: 43.01531 Lon: -78.21302

Heat Map



28°F Sunny

Exhibit 2 to Site Plan Application

Full Environmental Assessment Form
per SEQR

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Tractor Supply Store		
Project Location (describe, and attach a general location map): 8727 Lewiston Road, Town of Batavia, NY; SBL No. 8.-1-7		
Brief Description of Proposed Action (include purpose or need): The Project Sponsor seeks to construct a new Tractor Supply Store to replace existing, nearby Tractor Supply Store, on westernmost 5.08± acres of an existing 52.44± acres parcel on Lewiston Road. The Store is proposed to be 23,957± square feet with a 3,744± square feet garden center, 17,991± square feet fenced outdoor display area, an outdoor propane sales area and related parking and site improvements. As part of this Project, subdivision of the existing parcel into four lots is proposed with a new road proposed extending from Lewiston Road, proposed to be dedicated to the Town of Batavia as a Public Road: 1. 1.89± acres: Front lot: to be developed commercially (use unknown); 2. 5.08± acres: Tractor Supply Lot; 3. 9.45 acres: Rear Lot 1 -- to be developed commercially (use unknown); and 4. 32.32±: Rear Lot 2 -- to be developed commercially (use unknown).		
Name of Applicant/Sponsor: Hix Snedeker Companies, LLC	Telephone: 251-243-0708	
	E-Mail: jalbanese@hixsnedeker.com	
Address: 805 Tirone Street		
City/PO: Daphne	State: Alabama	Zip Code: 36526
Project Contact (if not same as sponsor; give name and title/role): Peter J. Sorgi, Esq., Project Attorney; Hopkins Sorgi & McCarthy PLLC	Telephone: 716.908.3289	
	E-Mail: psorgi@hsmlegal.com	
Address: 726 Main Street, Suite B		
City/PO: East Aurora	State: New York	Zip Code: 14052
Property Owner (if not same as sponsor): Call Farms, Inc.	Telephone: 585.3431026	
	E-Mail: Peter@myt acres.com	
Address: 8127 Lewiston Road		
City/PO: Batavia	State: New York	Zip Code: 14020

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board: Dedication of Public Road	11.2022
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Batavia Planning Board: Site Plan and Major Subdivision Approvals	11.2022
c. City, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	Town of Batavia Zoning Board of Appeals: Two Area Variances	10.2022
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Batavia Building Department: Building Permits; Town of Batavia Sewer and Water	1.2023
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Genesee County: Ag Data Statement	10.2022
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT: Highway Work Permit; NYS DEC: SPDES; NYSOPRHP: Archeology; NYS Ag &	11.2022
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<i>Markets</i>	
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

C -- Commercial

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Batavia City School District

b. What police or other public protection forces serve the project site?

Genesee County Sheriff Department; NYS Police

c. Which fire protection and emergency medical services serve the project site?

Town of Batavia Fire Department

d. What parks serve the project site?

Kiwanis Park; Lambert Park; MacArthur Park; Centennial Park; DeWitt Recreation Area and Austin Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? 52.44± acres

b. Total acreage to be physically disturbed? 4.26± acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 52.44± acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Commercial for front 2 proposed lots; TBD for rear 2 proposed lots

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 4

iv. Minimum and maximum proposed lot sizes? Minimum 1.89± Maximum 32.32±

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated 2
- Anticipated commencement date of phase 1 (including demolition) 6 month 0 year
- Anticipated completion date of final phase TBD month TBD year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

First Phase is development of front 2 parcels (1.89± spec -- will remain vacant until user found; 5.08± -- Tractor Supply Store). First Phase of Road to service front 2 parcels. Second Phase of two lots with development and road extension TBD (to be retained by current property owner).

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1 planned at _____

ii. Dimensions (in feet) of largest proposed structure: <35 feet height; 126.7 feet width; and 187.3 feet length

iii. Approximate extent of building space to be heated or cooled: _____ 23,957 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: Stormwater Management Basin

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: Stormwater Runoff

iii. If other than water, identify the type of impounded/contained liquids and their source.
NA

iv. Approximate size of the proposed impoundment. Volume: _____ TBD million gallons; surface area: _____ TBD acres

v. Dimensions of the proposed dam or impounding structure: _____ TBD height; _____ TBD length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):
TBD

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 3,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Town of Batavia
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 2,400 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Batavia Wastewater Treatment Plant
- Name of district: Town of Batavia
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

Yes No
 Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
Sewer Lines to be extended along proposed road to proposed lots. _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or 4.25± acres (impervious surface)
 _____ Square feet or 5.08± acres (parcel size)

ii. Describe types of new point sources. Structures, Sidewalks, Parking, Loading and Access Areas (note: above calculations for Tractor Supply Site Only).

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
Stormwater will be treated by the on-site stormwater management facility, then released at a controlled rate via overland flow to the east.

- If to surface waters, identify receiving water bodies or wetlands: _____
NA
- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
Heavy equipment during construction, be conditions localized and temporary.

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
NA

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
NA

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
TBD, but not substantial

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
National Grid

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>TBD, but typically 7AM-4PM</u> • Saturday: <u>TBD, but typically 7AM-4PM</u> • Sunday: <u>TBD -- contractor specific</u> • Holidays: <u>TBD -- contractor specific</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>TBD, but typically 8AM-8PM</u> • Saturday: <u>TBD, but typically 8AM-8PM</u> • Sunday: <u>TBD, but typically 9AM-7PM</u> • Holidays: <u>varies / closed on major holidays</u>
--	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Typically, 7AM to 4PM construction days, for construction only. During operation, slight increase.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Building and pole mounted fixtures approximately 20-25 feet mounting height. All footcandles will be minimized at property boundaries and in accordance with Town laws and regulations.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ TBD tons per _____ TBD (unit of time)
- Operation: _____ TBD tons per _____ TBD (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Recycling and disposal as required by Town of Batavia and accepted practices.
- Operation: Recycling and disposal as required by Town of Batavia and accepted practices.

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Recycling and disposal as required by Town of Batavia and accepted practices.
- Operation: Recycling and disposal as required by Town of Batavia and accepted practices.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): NYS Thruway to rear of site

ii. If mix of uses, generally describe:

Mostly vacant land with houses on frontage lots, nearby commercial / retail, NYS Thruway to rear of parcel and agricultural operation across Lewiston Road.

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	4.26	+ 4.26
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	52.44	46.04	-6.40
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: open space / lawn / landscaped area at Tractor Supply site	0	0	+ 2.14

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 4.5-10 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Lima Silt Loam (0-3% slopes)	_____	40 %
Ontario Loam (0-3% slopes)	_____	20 %
Ontario Loam (3-8% slopes)	_____	40 %

d. What is the average depth to the water table on the project site? Average: _____ 8 - 13.5 feet

e. Drainage status of project site soils: Well Drained: _____ 60 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ 40 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Principal Aquifer (per NYSDEC EAF Mapper)

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Typical for area such as deer and birds _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: GENE002

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site: _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: DeWitt Recreation Area; Austin Park ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State and Local Parks iii. Distance between project and resource: _____ 3.70 and 2.10 miles.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

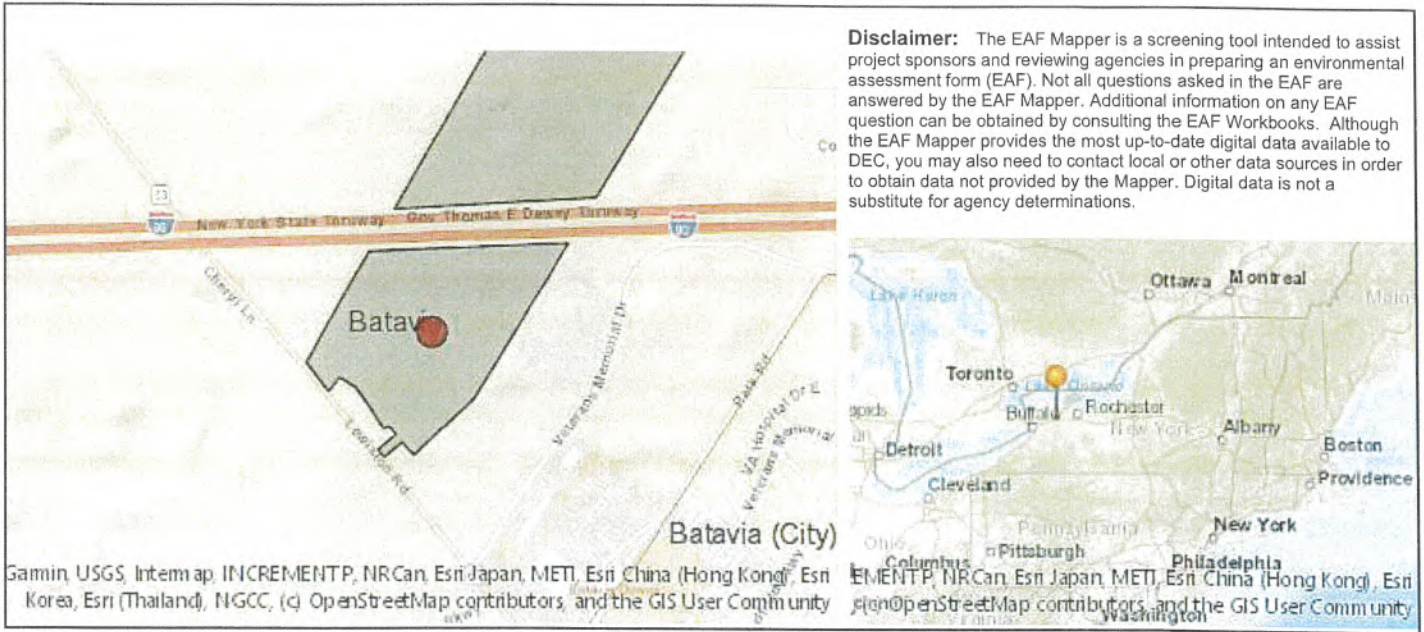
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Hix Snedeker Companies, LLC Date 10.4.2022

Signature  Peter J. Sorgi, Esq. Title Project Attorney



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	GENE002
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Agricultural Data Statement

Date 11-1-2022

Instructions: This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant	Owner if Different from Applicant
Name: <u>Hix Snedeker Companies, LLC</u> Address: <u>805 Tirone Street</u> <u>Daphne, AL 36526</u>	Name: <u>Call Farms, Inc.</u> Address: <u>8127 Lewiston Road</u> <u>Batavia, NY 14020</u>

1. Type of Application: Special Use Permit; Site Plan Approval ; Use Variance;
(circle one or more) Subdivision Approval
2. Description of proposed project: Four Lot Subdivision with proposed right of way to be dedicated to Town of Batavia. Per attached proposed subdivision map at Exhibit 1, Lot A is a proposed Tractor Supply Store on approximately 5.08 acres which requires site plan approval from Town of Batavia. Lots B, C and D do not have proposed uses at this point.
3. Location of project: Address: 8727 Lewiston Road
 Tax Map Number (TMP) SBL No. 8.-1-7
4. Is this parcel within an Agricultural District? NO YES (Check with your local assessor if you do not know)
5. If YES, Agricultural District Number 2 (GENE002)
6. Is this parcel actively farmed? NO YES
7. List all farm operations within 500 feet of your parcel. Attach additional sheets if necessary.

Name: <u>Call Farms, Inc.</u> Address: <u>8127 Lewiston Road, Town of Batavia</u> <u>SBL No. 8.-1-47</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	Name: <u>Call Farms, Inc.</u> Address: <u>0 Lewiston Road, Town of Batavia</u> <u>SBL No. 8.-1-48</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES
Name: <u>Call Farms, Inc.</u> Address: <u>0 Lewiston Road, Town of Batavia</u> <u>SBL No. 8.-1-49</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	Name: <u>Robert Call</u> Address: <u>0 Lewiston Road, Town of Batavia</u> <u>SBL No. 8.-2-99</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES

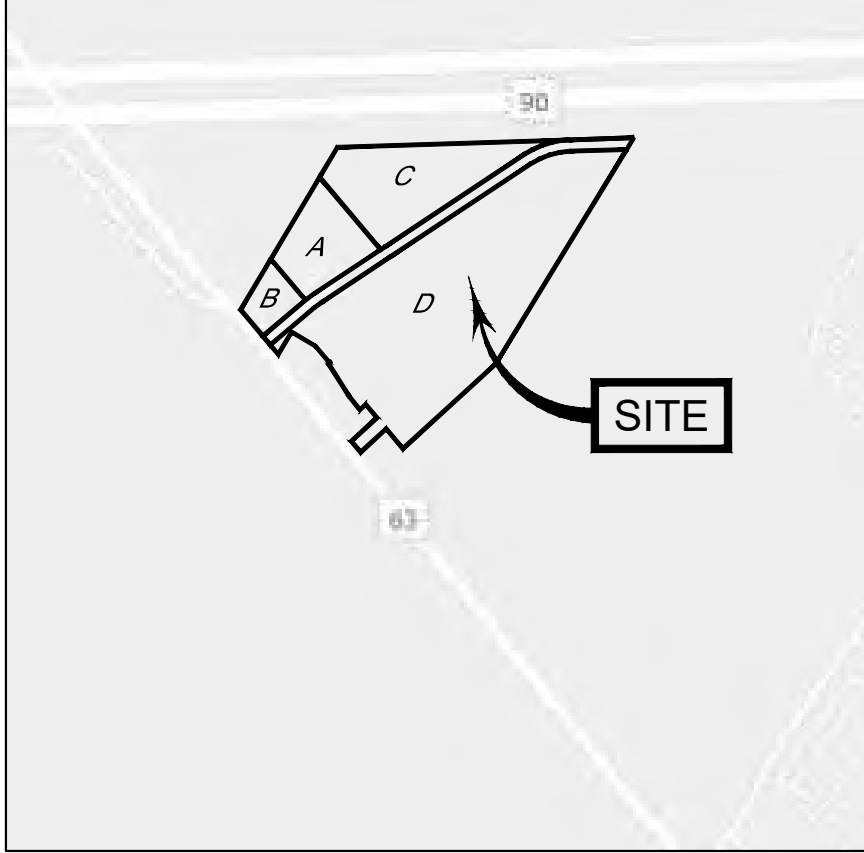
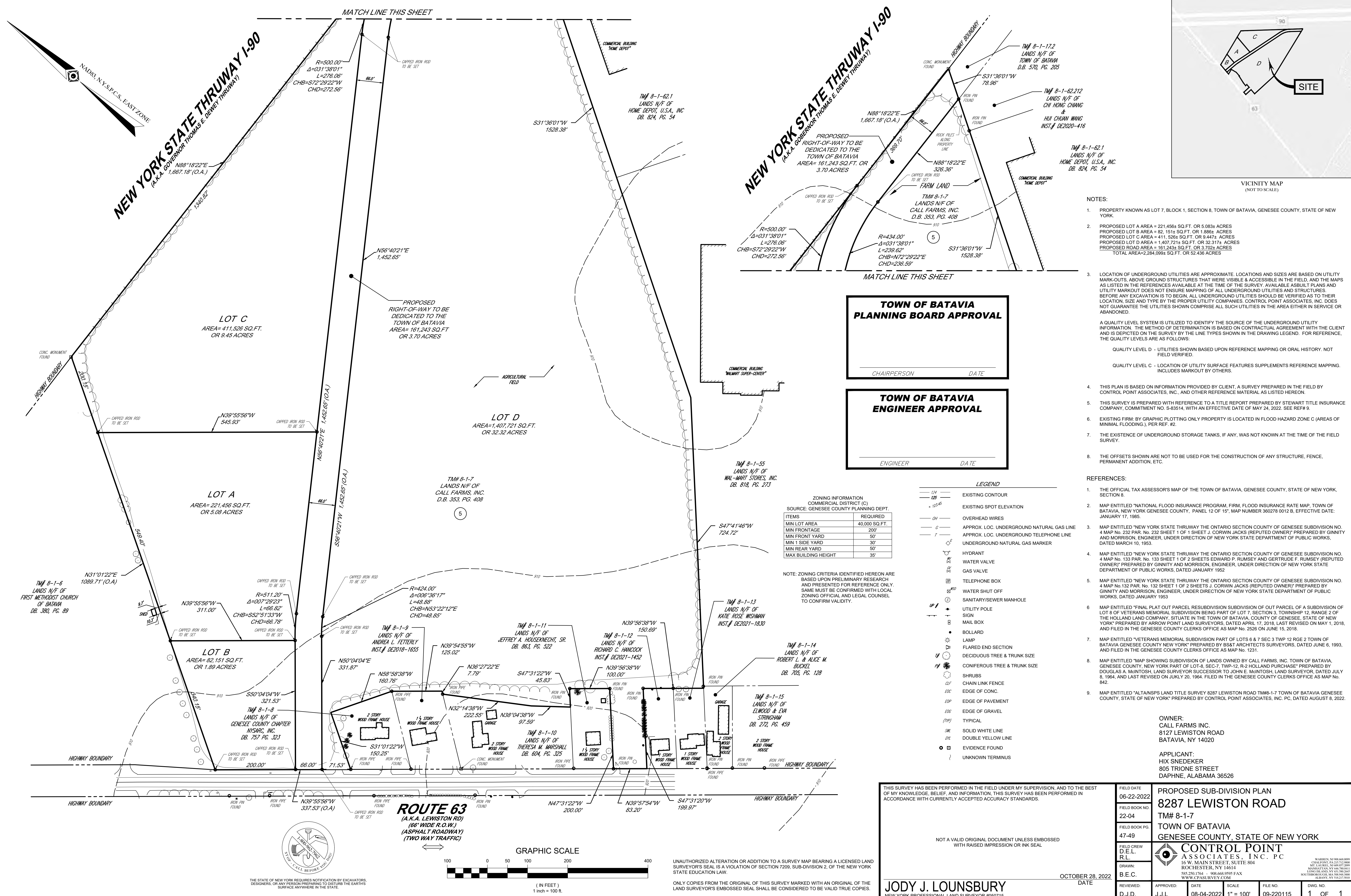
PS
 Signature of Applicant → see attached authorization

P. S.
 ← Signature of Owner (if other than applicant)

Reviewed by: _____ Date _____
 Signature of Municipal Official

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

CONTROL POINT ASSOCIATES, INC. PC - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT OR THE INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.



- NOTES:
- PROPERTY KNOWN AS LOT 7, BLOCK 1, SECTION 8, TOWN OF BATAVIA, GENESEE COUNTY, STATE OF NEW YORK.
 - PROPOSED LOT A AREA = 221,456± SQ.FT. OR 5.083± ACRES
PROPOSED LOT B AREA = 82,151± SQ.FT. OR 1.886± ACRES
PROPOSED LOT C AREA = 411,526± SQ.FT. OR 9.441± ACRES
PROPOSED LOT D AREA = 1,407,721± SQ.FT. OR 32.317± ACRES
PROPOSED ROAD AREA = 161,243± SQ.FT. OR 3.702± ACRES
TOTAL AREA = 2,264,099± SQ.FT. OR 52.436± ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY STEWART TITLE INSURANCE COMPANY, COMMITMENT NO. S-83514, WITH AN EFFECTIVE DATE OF MAY 24, 2022. SEE REF# 9.
 - EXISTING FIRM, BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE C (AREAS OF MINIMAL FLOODING.), PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

**TOWN OF BATAVIA
PLANNING BOARD APPROVAL**

CHAIRPERSON _____ DATE _____

**TOWN OF BATAVIA
ENGINEER APPROVAL**

ENGINEER _____ DATE _____

ZONING INFORMATION
COMMERCIAL DISTRICT (C)
SOURCE: GENESEE COUNTY PLANNING DEPT.

ITEMS	REQUIRED
MIN LOT AREA	40,000 SQ.FT.
MIN FRONTAGE	200'
MIN FRONT YARD	50'
MIN SIDE YARD	30'
MIN REAR YARD	50'
MAX BUILDING HEIGHT	35'

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

LEGEND

---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	OVERHEAD WIRES
---	APPROX. LOC. UNDERGROUND NATURAL GAS LINE
---	APPROX. LOC. UNDERGROUND TELEPHONE LINE
---	UNDERGROUND NATURAL GAS MARKER
---	HYDRANT
---	WATER VALVE
---	GAS VALVE
---	TELEPHONE BOX
---	WATER SHUT OFF
---	SANITARY/SEWER MANHOLE
---	UTILITY POLE
---	SIGN
---	MAIL BOX
---	BOLLARD
---	LAMP
---	FLARED END SECTION
---	DECIDUOUS TREE & TRUNK SIZE
---	CONIFEROUS TREE & TRUNK SIZE
---	SHRUBS
---	CHAIN LINK FENCE
---	EDGE OF CONC.
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	TYPICAL
---	SOLID WHITE LINE
---	DOUBLE YELLOW LINE
---	EVIDENCE FOUND
---	UNKNOWN TERMINUS

- REFERENCES:
- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF BATAVIA, GENESEE COUNTY, STATE OF NEW YORK, SECTION 8.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF BATAVIA, NEW YORK GENESEE COUNTY, PANEL 12 OF 15", MAP NUMBER 360278 0012 B, EFFECTIVE DATE: JANUARY 17, 1995.
 - MAP ENTITLED "NEW YORK STATE THRUWAY THE ONTARIO SECTION COUNTY OF GENESEE SUBDIVISION NO. 4 MAP No. 232 PAR. No. 232 SHEET 1 OF 1 SHEET J. CORWIN JACKS (REPUTED OWNER) PREPARED BY GINNY AND MORRISON, ENGINEER, UNDER DIRECTION OF NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DATED MARCH 10, 1953.
 - MAP ENTITLED "NEW YORK STATE THRUWAY THE ONTARIO SECTION COUNTY OF GENESEE SUBDIVISION NO. 4 MAP No. 133 PAR. No. 133 SHEET 1 OF 2 SHEETS EDWARD P. RUMSEY AND GERTRUDE P. RUMSEY (REPUTED OWNER) PREPARED BY GINNY AND MORRISON, ENGINEER, UNDER DIRECTION OF NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DATED JANUARY 1952.
 - MAP ENTITLED "NEW YORK STATE THRUWAY THE ONTARIO SECTION COUNTY OF GENESEE SUBDIVISION NO. 4 MAP No. 132 PAR. No. 132 SHEET 1 OF 2 SHEETS J. CORWIN JACKS (REPUTED OWNER) PREPARED BY GINNY AND MORRISON, ENGINEER, UNDER DIRECTION OF NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, DATED JANUARY 1953.
 - MAP ENTITLED "FINAL PLAT OUT PARCEL RESUBDIVISION SUBDIVISION OF OUT PARCEL OF A SUBDIVISION OF LOT 8 OF VETERANS MEMORIAL SUBDIVISION BEING PART OF LOT 7, SECTION 3, TOWNSHIP 12, RANGE 2 OF THE HOLLAND LAND COMPANY, SITUATE IN THE TOWN OF BATAVIA, COUNTY OF GENESEE, STATE OF NEW YORK" PREPARED BY ARROW POINT LAND SURVEYORS, DATED APRIL 17, 2018, LAST REVISED ON MAY 1, 2018, AND FILED IN THE GENESEE COUNTY CLERKS OFFICE AS MAP No. 1231.
 - MAP ENTITLED "VETERANS MEMORIAL SUBDIVISION PART OF LOTS 6 & 7 SEC 3 TWP 12 RGE 2 TOWN OF BATAVIA GENESEE COUNTY NEW YORK" PREPARED BY BS&T ARCHITECTS SURVEYORS, DATED JUNE 6, 1993, AND FILED IN THE GENESEE COUNTY CLERKS OFFICE AS MAP No. 1231.
 - MAP ENTITLED "MAP SHOWING SUBDIVISION OF LANDS OWNED BY CALL FARMS, INC. TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK PART OF LOT 6, SEC-7, TWP-12, R-2 HOLLAND PURCHASE PREPARED BY DOUGLAS A. MCINTOSH, LAND SURVEYOR SUCCESSOR TO JOHN E. MCINTOSH, LAND SURVEYOR, DATED JULY 8, 1964, AND LAST REVISED ON JULY 20, 1964. FILED IN THE GENESEE COUNTY CLERKS OFFICE AS MAP No. 842.
 - MAP ENTITLED "ALTANSPS LAND TITLE SURVEY 8287 LEWISTON ROAD TMS# 8-1-7 TOWN OF BATAVIA GENESEE COUNTY, STATE OF NEW YORK" PREPARED BY CONTROL POINT ASSOCIATES, INC. PC, DATED AUGUST 8, 2022.

OWNER:
CALL FARMS INC.
8127 LEWISTON ROAD
BATAVIA, NY 14020

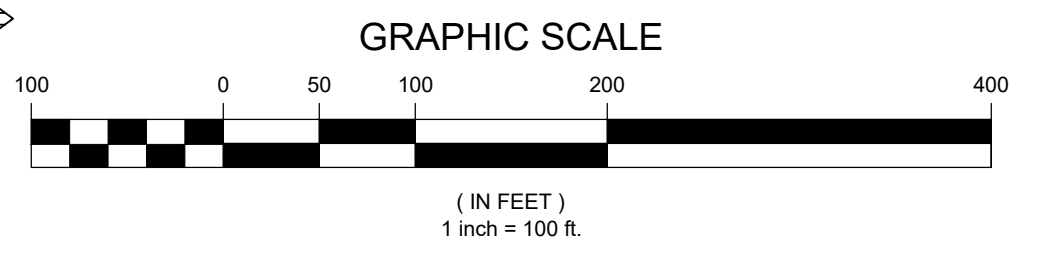
APPLICANT:
HIX SNEDEKER
805 TRIONE STREET
DAPHNE, ALABAMA 36526

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR INK SEAL.

JODY J. LOUNSBURY
NEW YORK PROFESSIONAL LAND SURVEYOR #050715

FIELD DATE	06-22-2022	PROPOSED SUB-DIVISION PLAN
FIELD BOOK NO.	22-04	8287 LEWISTON ROAD
FIELD BOOK PG.	47-49	TM# 8-1-7
FIELD CREW	D.E.L.	TOWN OF BATAVIA
DRAWN:	B.E.C.	GENESEE COUNTY, STATE OF NEW YORK
DATE:	08-04-2022	CONTROL POINT ASSOCIATES, INC. PC
APPROVED:	J.J.L.	16 W. MAIN STREET, SUITE 804 ROCHESTER, NY 14614
DATE:	08-04-2022	585.250.1764 • 908.668.9595 FAX WWW.CPASURVEY.COM
SCALE:	1" = 100'	WARREN, NY 908.668.0099 MILWAUKEE, WI 908.668.0099 MINNEAPOLIS, MN 908.668.0099 LONG BEACH, CA 908.668.0099 SOUTH BEND, IN 908.668.0099 ALBANY, NY 908.668.0099
FILE NO.	09-220115	DWG. NO.
DWG. NO.	1	1 OF 1



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PRELIMINARY AND FINAL MAJOR SITE AND SUBDIVISION PLAN

FOR

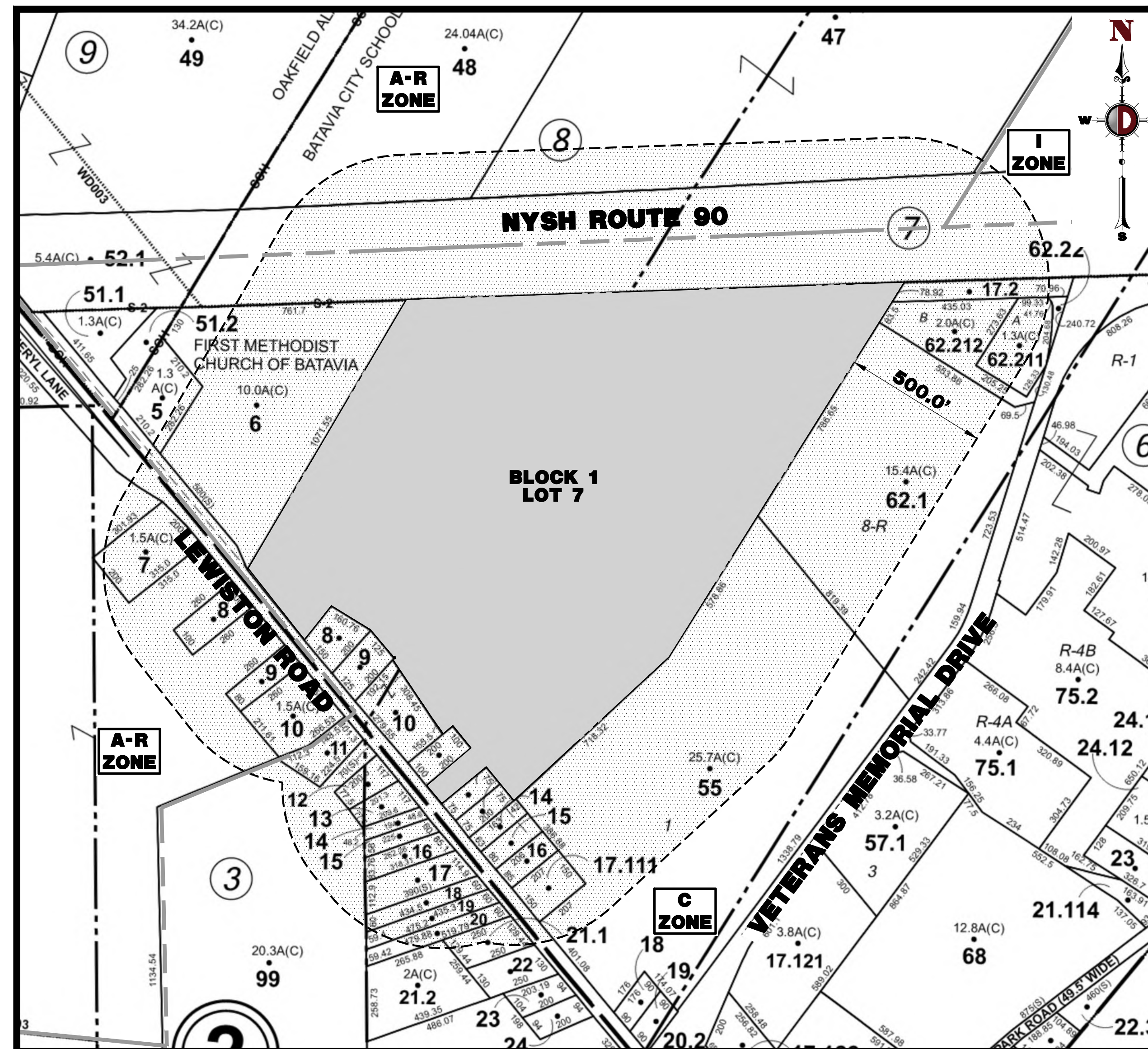
HIX SNEDEKER

PROPOSED TRACTOR SUPPLY

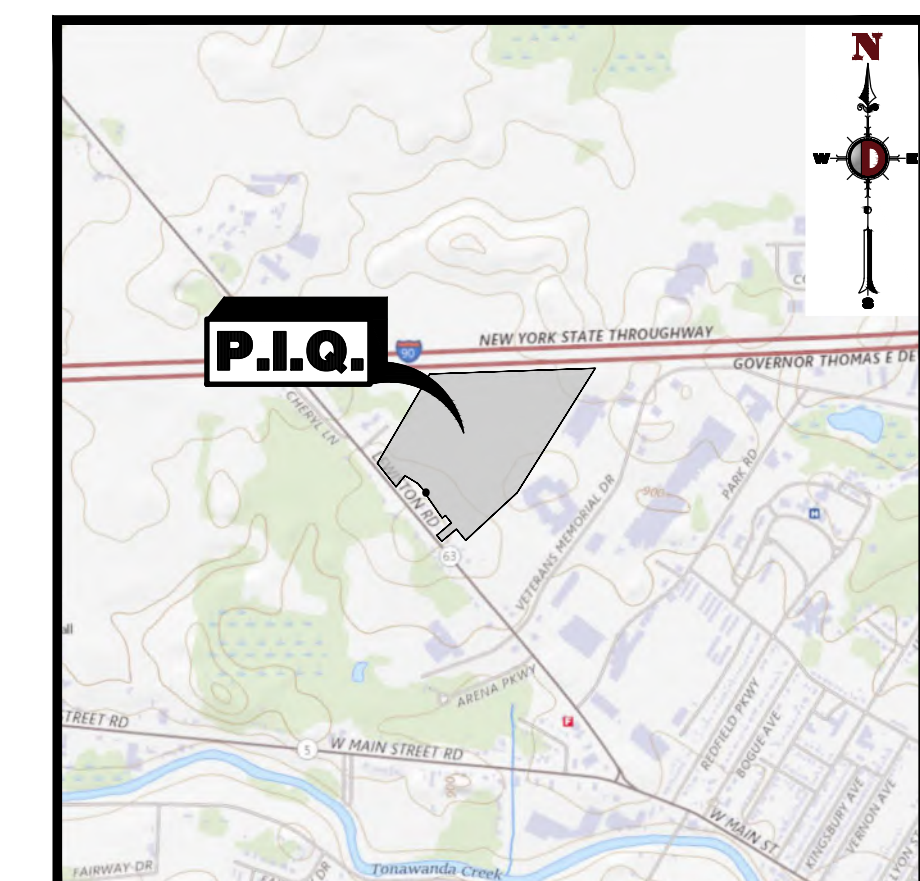
BLOCK 1, LOT 7; TAX MAP SHEET #8 - LATEST REV. DATED 06/26/2018
8287 LEWISTON ROAD,
TOWN OF BATAVIA
GENESEE COUNTY, NEW YORK

500' PROPERTY OWNERS LIST

PROPERTY OWNER	SIGEN	PROPERTY OWNER	SIGEN
BENDERSON DEVELOPMENT INC 570 DELAWARE AVE BATELCO, NY 14202 ATTN: ACCOUNTS PAYABLE	1824008-2-212	VERICE ALLEN 8592 LEWISTON RD BATAVIA, NY 14202	1824008-1-116
BENDERSON DEVELOPMENT INC 570 DELAWARE AVE BATELCO, NY 14202 ATTN: ACCOUNTS PAYABLE	1824008-2-211	LYNN KLUMPT 8301 LEWISTON RD BATAVIA, NY 14202	1824008-2-115
MARSHALL FARON 8308 LEWISTON RD BATAVIA, NY 14202	1824008-2-20	WILLIAM SUTTON SR 8390 LEWISTON RD BATAVIA, NY 14202	1824008-1-114
MARY FRENTIP 8304 LEWISTON RD BATAVIA, NY 14202	1824008-2-19	DOVIN SERRANO 8380 LEWISTON RD BATAVIA, NY 14202	1824008-2-112
BO WHITE 307 WASHINGTON AVE UPRR BATAVIA, NY 14202	1824008.2-2-18	ROBERT CALL 8127 LEWISTON RD BATAVIA, NY 14202	1824008-2-99
LYDA FISHER 8307 LEWISTON RD BATAVIA, NY 14202	1824008-1-17.111	SCOTT MALDY 8274 LEWISTON RD BATAVIA, NY 14202	1824008-2-111
BETTY GARDLEY 8300 LEWISTON RD BATAVIA, NY 14202	1824008-2-17	JEFFREY HOUSEKNECHT SR 8363 LEWISTON RD BATAVIA, NY 14202	1824008-1-111
MARK SCHLAGEL 8294 LEWISTON RD BATAVIA, NY 14202	1824008-2-16	JOHN MCHALA 8369 LEWISTON RD BATAVIA, NY 14202	1824008-2-110
WAL-MART REAL ESTATE BUSINESS TRUST P.O. BOX 8050 MC CORMICK BENTONVILLE, AR 72717-8050 ATTN: PROPERTY TAX DEPT.	1824008-1-55	RONALD STEPP 130 BROOKEDGE DR HAMILTON, NY 14464	1824008-2-9
MICHAEL BROWLEY 8294 LEWISTON RD BATAVIA, NY 14202	1824008-2-7	JANDEA FETTERLY 8343 LEWISTON RD BATAVIA, NY 14202	1824008-1-9
ARVIN SIVEL 8293 LEWISTON RD BATAVIA, NY 14202	1824008-1-13	ARC CLOW 18 MAIN ST MOUNT MORRIS, NY 14510	1824008-1-8
CHELSEA PERMAN 8284 LEWISTON RD BATAVIA, NY 14202	1824008-2-13	DAVID ZAREMSKI 8248 LEWISTON RD BATAVIA, NY 14202	1824008-2-8
RICHARD HANCOCK 8280 LEWISTON RD BATAVIA, NY 14202	1824008-1-12	USA AND ITS ASSIGNS 4250 FEDERAL DR BATAVIA, NY 14202	1824008-1-146
IONEDIA PRINT P.O. BOX 32100 CORCORAN FL 32932	1824008-2-95	CALL FARMS INC 8137 LEWISTON RD BATAVIA, NY 14202	1824008-1-48
JAMES WOODOFF 8215 LEWISTON RD BATAVIA, NY 14202	1824008-1-5	CALL FARMS INC 8137 LEWISTON RD BATAVIA, NY 14202	1824008-1-47
HOME DEPOT USA, INC P.O. BOX 102842 ATLANTA, GA 30346 ATTN: PROPERTY TAX DEPT STORE	1824008-1-62.1	TOWN OF BATAVIA 3875 W MAIN ST RD BATAVIA, NY 14202	1824008-1-172
FIRST METHODIST CHURCH OF BATAVIA 8227 LEWISTON RD BATAVIA, NY 14202	1824008-1-6	NYS THRUWAY AUTHORITY 455 CANTON RD, SUITE 800 CHELKONKA, NY 14225-0121 ATTN: BATAVIA DIVISION	1824008-1-522
DM CHANG 517 TORRELLA RD LA HABRA HEIGHTS, CA 90631	1824008-1-62.212	TOWN OF BATAVIA 3833 W MAIN ST RD BATAVIA, NY 14202	1824008-1-62.22
CALL FARMS INC 8127 LEWISTON RD BATAVIA, NY 14202	1824008-1-7	SO ASSOCIATES, LLC 7 HERM WAY HARDREE FALLS, NY 14472	1824008-1-62.211



AREA MAP
1" = 250'



KEY MAP
1" = 2000'

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 Plot: P:\Projects\2022\10\27\22\102722\102722.dwg, Date: 10/27/22, Time: 11:49 AM, User: mooremain

TOWN OF BATAVIA:	
PLANNING BOARD CHAIR	DATE
TOWN ENGINEER	DATE

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
 40 MAIN STREET, 3RD FLOOR
 TOMS RIVER, NJ 08753
 WWW.DYNAMICCEC.COM

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 Allentown, Pennsylvania: 1.610.261.0100 | Austin, Texas: 1.512.344.0200 | Houston, Texas: 1.281.398.4400 | Denver, Colorado: 1.303.921.8270
 Newtown, Pennsylvania: 1.307.485.0270 | Philadelphia, Pennsylvania: 1.215.253.4888 | Baltimore, Pennsylvania: 1.412.398.4400

40 Main Street - 3rd Floor
 Toms River, NJ 08753
 T: 732.876.0000
 F: 732.974.9521
 www.dynamiccec.com

TITLE: **COVER SHEET**

PROJECT: **HIX SNEDEKER PROPOSED TRACTOR SUPPLY**
 BLOCK 1, LOT 7
 8287 LEWISTON ROAD
 TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB No: 2451-99-053 DATE: 10/26/2022

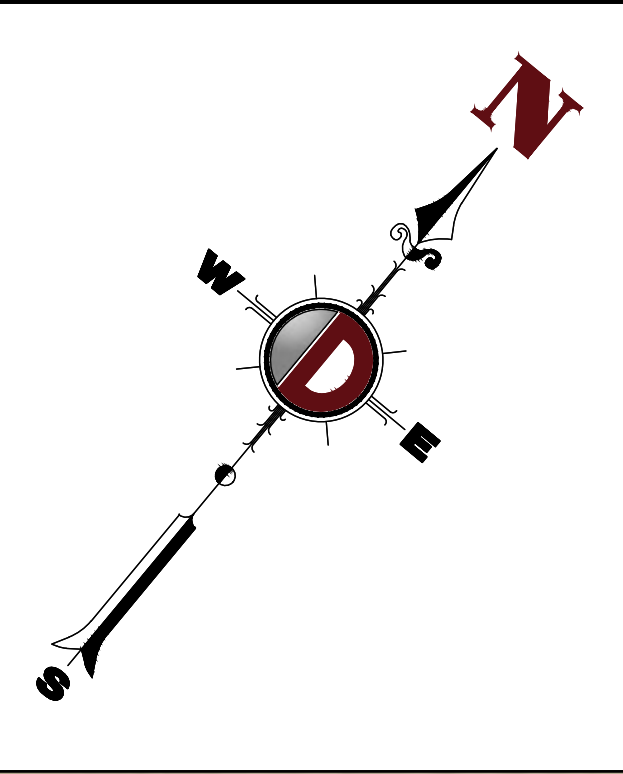
DESIGNED BY: MFP SCALE (H) AS (V) SHOWN

CHECKED BY: RJM SHEET No: 1 OF 18

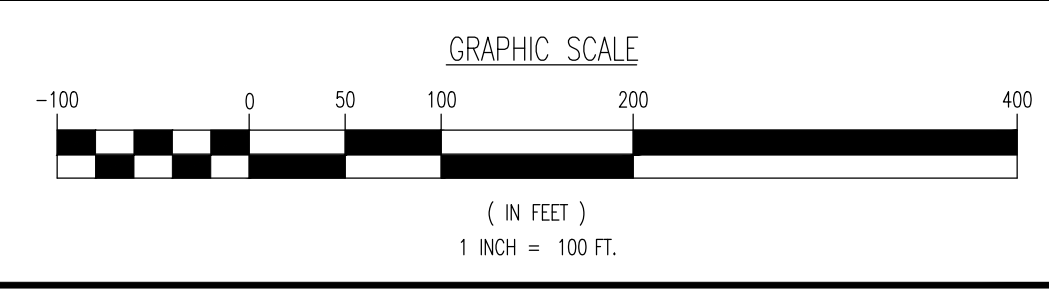
CHECKED BY: JOSHUA M. SEWALD JOHN A. PALUS

PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 097639 PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 087502

PROTECT YOURSELF
 ALL STATE ENGINEERS MUST BE LICENSED AND REGISTERED WITH THE STATE ENGINEERING BOARD.
 PLEASE DO NOT BE DECEIVED BY UNLICENSED ENGINEERS.
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Plotted: 10/27/22 - 11:49 AM By: mmoreland, Product Ver: 24.1s (MS Tech)
 P.L. 24.1s, Project: 2451-99-053, Status: In Progress, User: mmoreland, Path: \\server\projects\2451-99-053\Drawings\2451-99-053-001.dwg, ---> 02_AERIAL_MAP



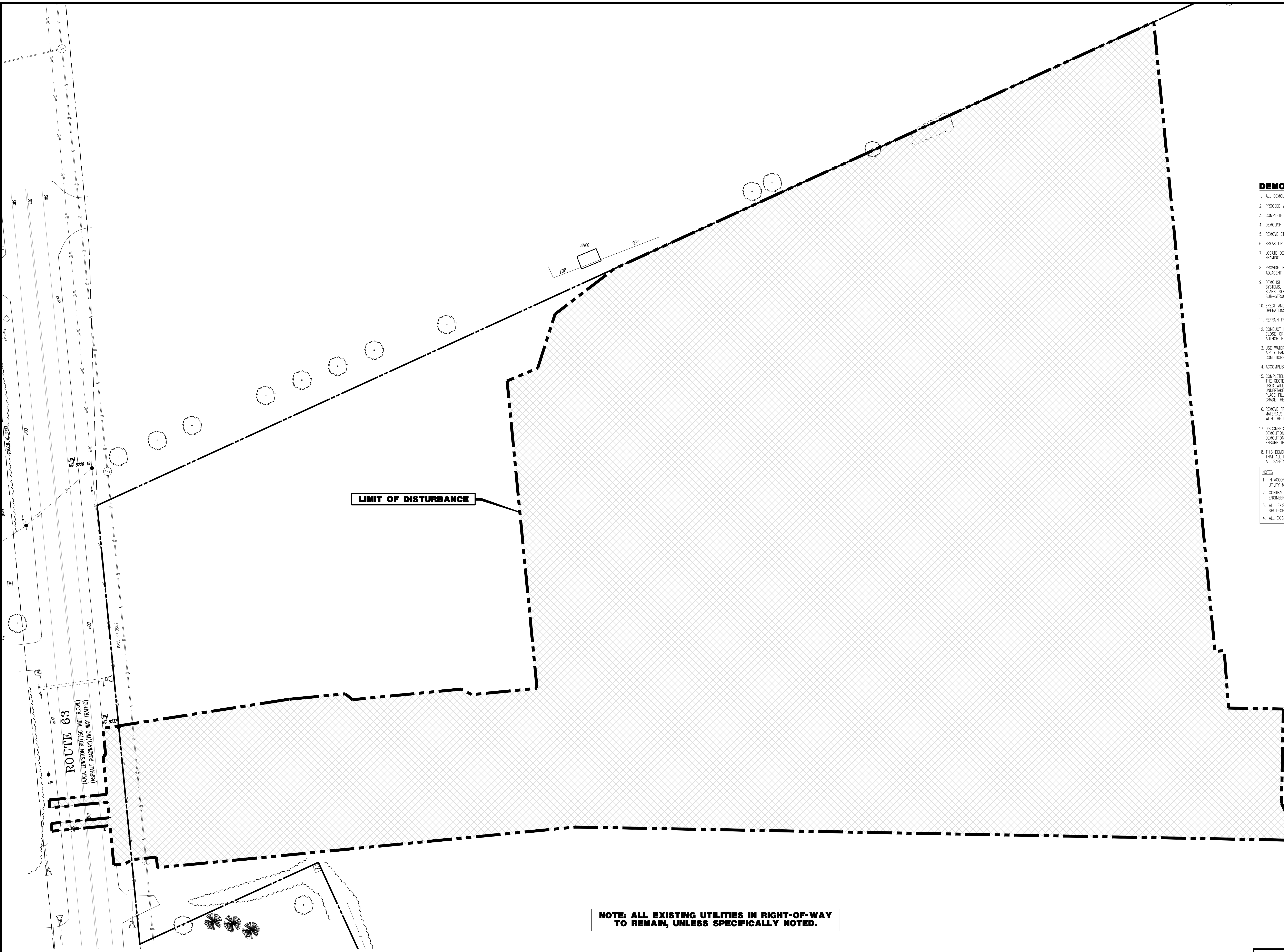
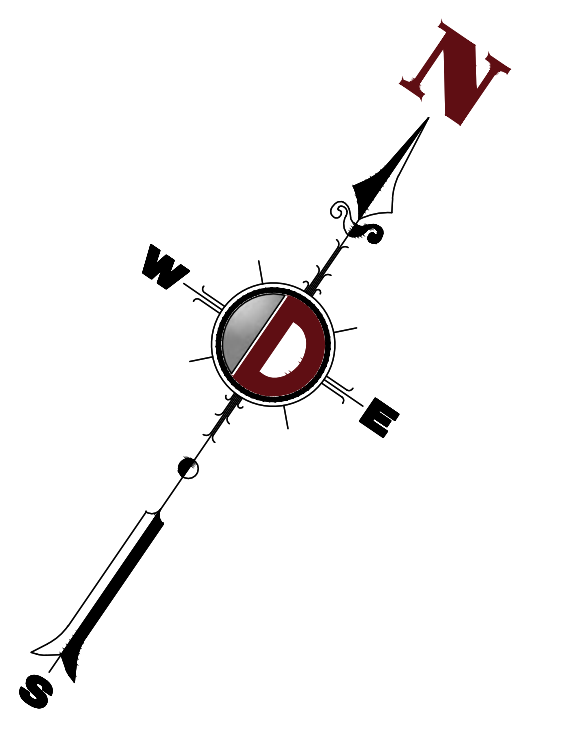
THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 09/22/18. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.
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 Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania
 Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania | Allentown, Pennsylvania

TITLE: AERIAL MAP		DATE: 10/26/2022
PROJECT: HIX SNEDEKER PROPOSED TRACTOR SUPPLY BLOCK 1, LOT 7 6287 LEWISTON ROAD TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK		SCALE: (H) 1"=100' (V) ---
JOB No: 2451-99-053	DESIGNED BY: MP	SHEET No.: 2
DRAWN BY: MFZ	CHECKED BY: RJM	OF 18
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087639	JOHN A. PALUS PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087502	Rev. # Q

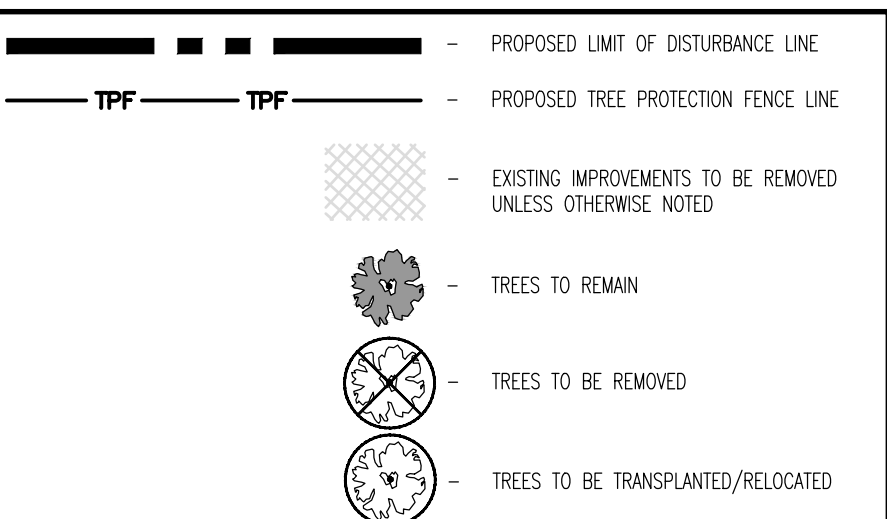
APPROVAL SIGNATURE:
 STEVEN J. MOUNTAIN, P.E.
 TOWN OF BATAVIA - TOWN ENGINEER
 _____ DATE _____



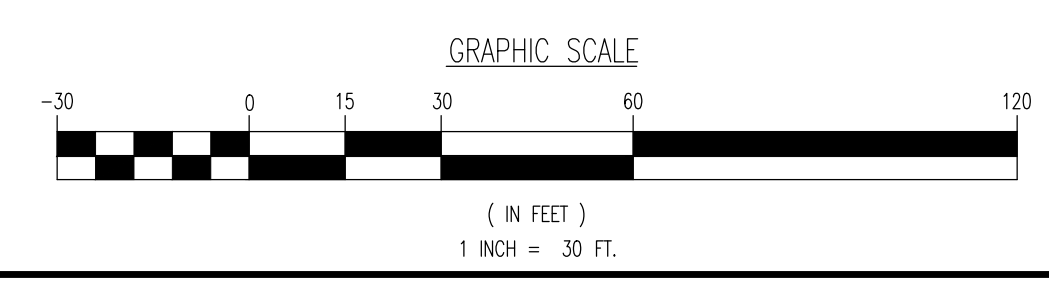
- ### DEMOLITION NOTES
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
 4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
 5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
 6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
 7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
 8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
 9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REMOVE STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, EQUAL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
 10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
 11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND SOIL BEING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 15. COMPLETELY FILL BELOW GROUND AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FRESH ORGANIC MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STORES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL PRIOR TO PLACEMENT OF FILL MATERIALS. UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FRESH FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOGS DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONDITIONS AND TO PROVIDE SURFACE DRAINAGE.
 16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE TOWN DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
 18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

- ### NOTES
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

DEMOLITION PLAN LEGEND



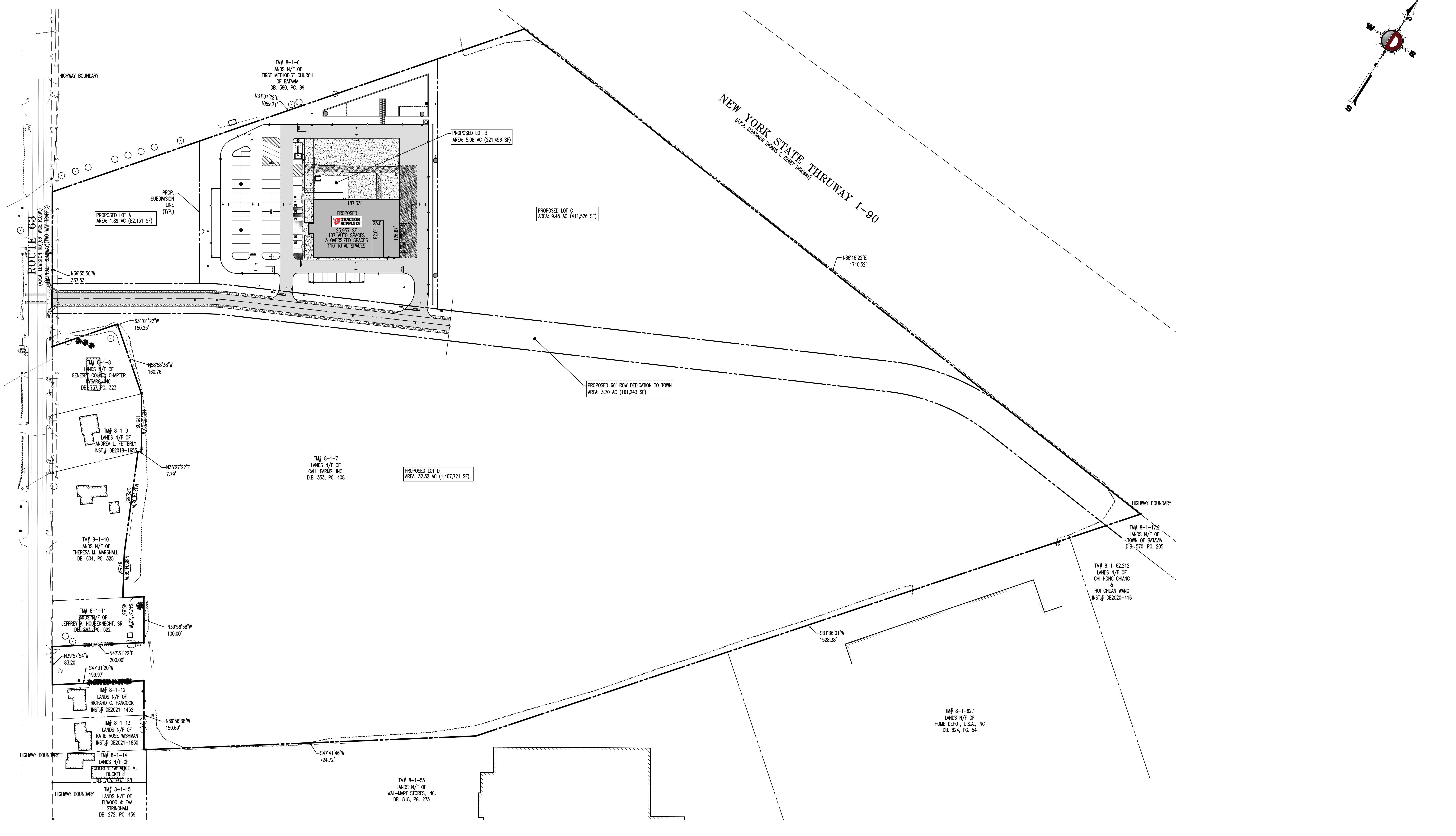
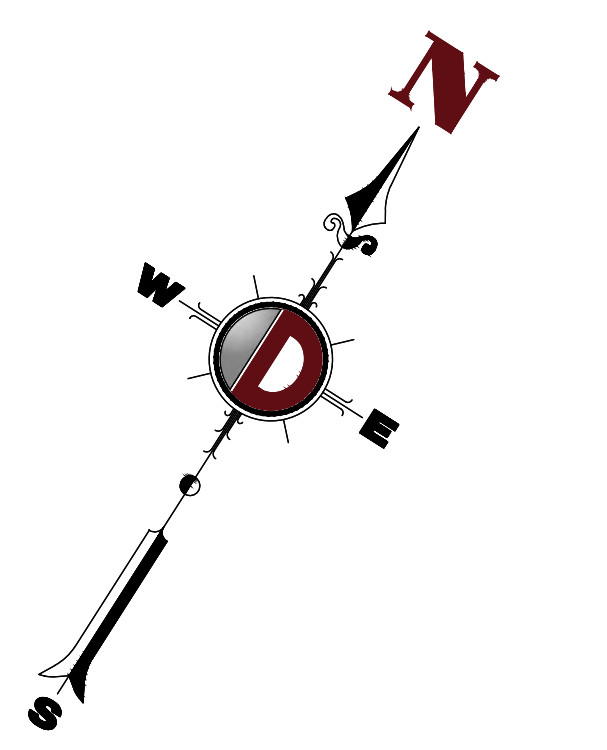
NOTE: ALL EXISTING UTILITIES IN RIGHT-OF-WAY TO REMAIN, UNLESS SPECIFICALLY NOTED.



Printed: 10/27/22, 11:50 AM, By: mmountain, Product Ver: 24.1s (MS Tech)
 File: P:\Users\mmountain\OneDrive\Documents\2022\2022-03-03 Demolition Plan.dwg, Date: 10/27/22, 11:50 AM, By: mmountain, Product Ver: 24.1s (MS Tech)
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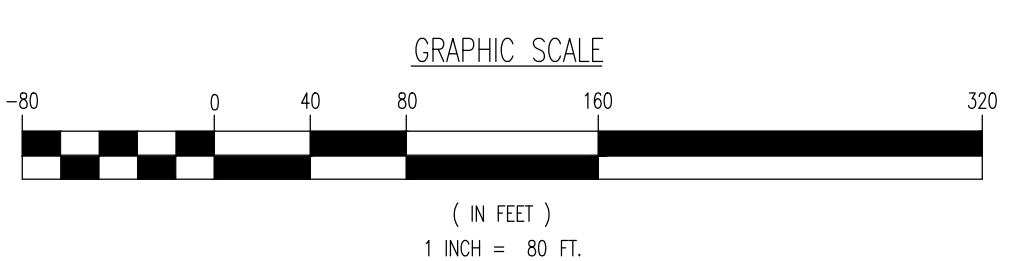
APPROVAL SIGNATURE:
 STEVEN J. MOUNTAIN, P.E.
 TOWN OF BATAVIA - TOWN ENGINEER
 DATE

 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING		40 Main Street - 3rd Floor Tonawanda, NY 14270 T: 716.876.0000 F: 716.876.9501 www.dynamicce.com
TITLE: DEMOLITION PLAN		
PROJECT: HIX SNEDEKER PROPOSED TRACTOR SUPPLY BLOCK 1, LOT 7 8287 LEWISTON ROAD TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK	JOB No: 2451-99-053 DATE: 10/28/2022 DRAWN BY: MFZ SCALE (H) 1"=30' (V) SHEET No: 3 OF 18	APPROVAL SIGNATURE: JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087639
APPROVAL SIGNATURE: JOHN A. PALUS PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087502	APPROVAL SIGNATURE: [Signature] PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087502	APPROVAL SIGNATURE: [Signature] PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087502



Plot No. 10/31/22 - 1:500 A.M. By: mcmountain, Product Ver: 24.1s (LMS Tech)
File: D:\Projects\2022\10_31_22_OA_Overall_Site_Plan.dwg
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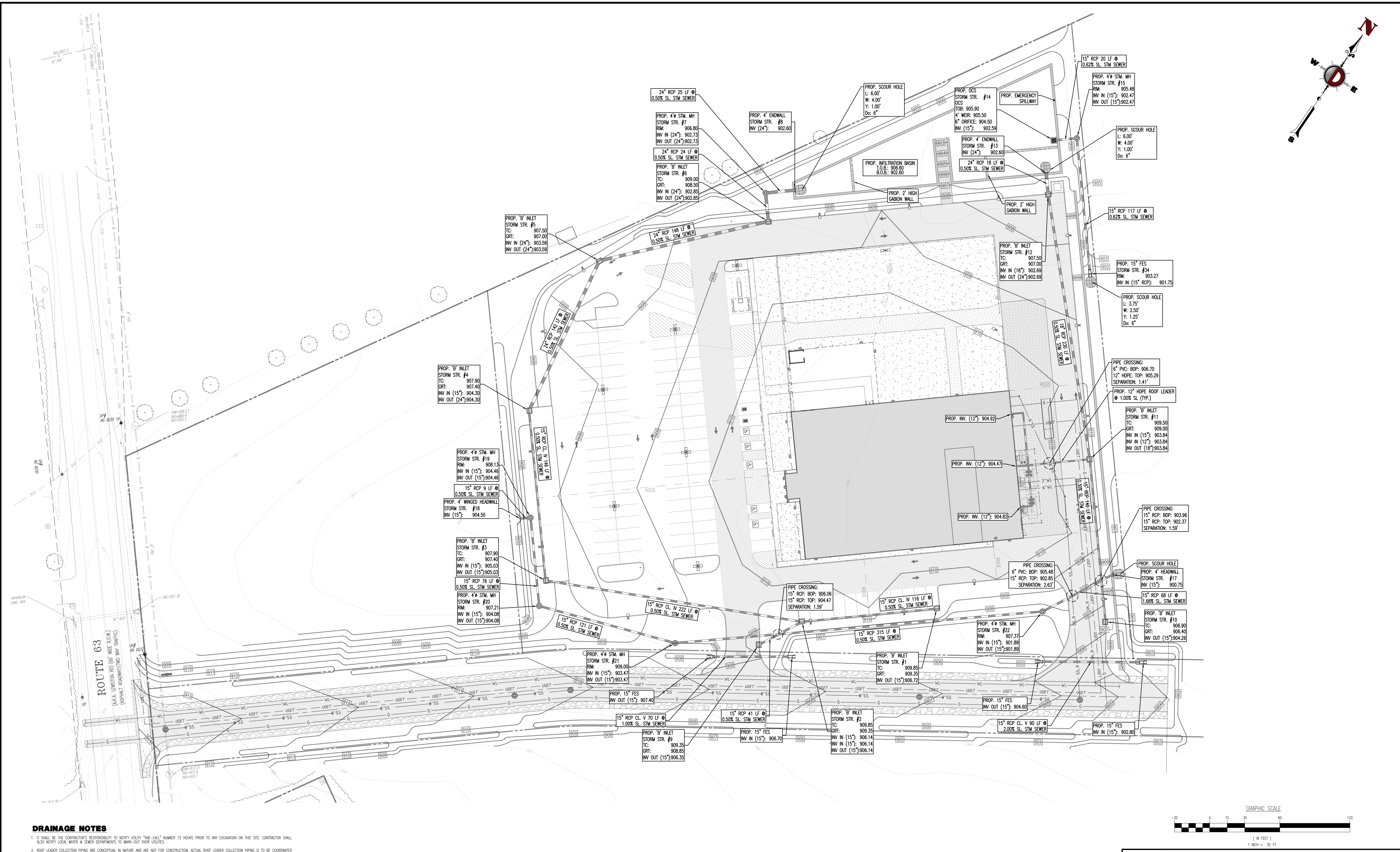
APPROVAL SIGNATURE:
STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER
DATE



Rev.	Date	Comments

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DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING	
TITLE: OVERALL SITE PLAN	
PROJECT: HIX SNEDEKER PROPOSED TRACTOR SUPPLY BLOCK 1, LOT 7 6287 LEWISTON ROAD TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK	JOB No: 2451-99-053 DATE: 10/26/2022
DESIGNED BY: MFZ	SCALE (H) 1"=80'
CHECKED BY: RJM	SHEET No: 4
PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087502	
JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087639	JOHN A. PALUS PROFESSIONAL ENGINEER NEW YORK LICENSE No. 087502
FOR MORE INFORMATION, VISIT OUR WEBSITE: WWW.CALIBRI.COM	

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DRAINAGE NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE SANITARY STORM PIPE TO CONFORM TO ASTM C-557, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-900 TO BE UTILIZED TO PROVIDE A SILENT JOINT, WHERE SPECIFICALLY INDICATED. REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306 (12"-30" PIPE) AND ASTM F2881 (36"-48" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F2881. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-900 TO BE UTILIZED TO PROVIDE A SILENT JOINT, WHERE SPECIFICALLY INDICATED. REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306 (12"-30" PIPE) AND ASTM F2881 (36"-48" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F2881. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-900 TO BE UTILIZED TO PROVIDE A SILENT JOINT, WHERE SPECIFICALLY INDICATED. REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

GRADING/UTILITY GRAPHIC LEGEND			
PROPERTY LINE (PRICE IN QUESTION)		OFF-SITE PROPERTY LINES	
EXIST. LOT POLE	EXIST. MONITORING WELL	PROPR. WATER VALVE	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
EXIST. BUILDING LIGHT	EXIST. FIRE HYDRANT	PROPR. GAS VALVE	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
EXIST. SHED BOX LIGHT	EXIST. WATER VALVE	PROPR. STORM CLEANOUT	EXIST. SANITARY SEWER LINE
EXIST. COBRA LIGHT POLE	EXIST. GAS METER	PROPR. AREA LIGHT	PROPR. SANITARY SEWER LINE
EXIST. TRAFFIC SIGNAL POLE	EXIST. ELECTRIC METER	PROPR. OUTLET CONTROL STRUCTURE	PROPR. SANITARY SEWER LINE
EXIST. MANHOLE	EXIST. ELECTRIC BOX	PROPR. SANITARY SEWER MANHOLE	PROPR. SANITARY SEWER LINE
EXIST. "A" INLET	EXIST. CLEAN OUT	PROPR. "A" INLET	PROPR. SANITARY SEWER LINE
EXIST. "B" INLET	EXIST. WELL	PROPR. "B" INLET	PROPR. SANITARY SEWER LINE
EXIST. "C" INLET	EXIST. WATER SHUT OFF VALVE	PROPR. "C" INLET	PROPR. SANITARY SEWER LINE
EXIST. HOSE INLET	EXIST. FLARED END SECTION	PROPR. HOSE INLET	PROPR. SANITARY SEWER LINE
EXIST. FLARED END SECTION	EXIST. HEADWALL	PROPR. FLARED END SECTION	PROPR. SANITARY SEWER LINE
EXIST. HEADWALL	EXIST. UTILITY POLE	PROPR. HEADWALL	PROPR. SANITARY SEWER LINE
EXIST. UTILITY POLE			

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 Newmarket, Pennsylvania • 1.307.465.0274 | Pittsburgh, Pennsylvania • 1.215.233.4888 | Bethlehem, Pennsylvania • 1.610.398.4400

TITLE: DRAINAGE PLAN

PROJECT: HIX SNEDEKER PROPOSED TRACTOR SUPPLY
 BLOCK 1, LOT 7
 8287 LEWISTON ROAD
 TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

DATE: 10/26/2022

JOB NO: 2451-99-053

SCALE: (H) 1"=30'
(V) 1"=6"

DESIGNED BY: MFZ

CHECKED BY: RJM

DATE: 10/26/2022

PROJECT YOURSELF

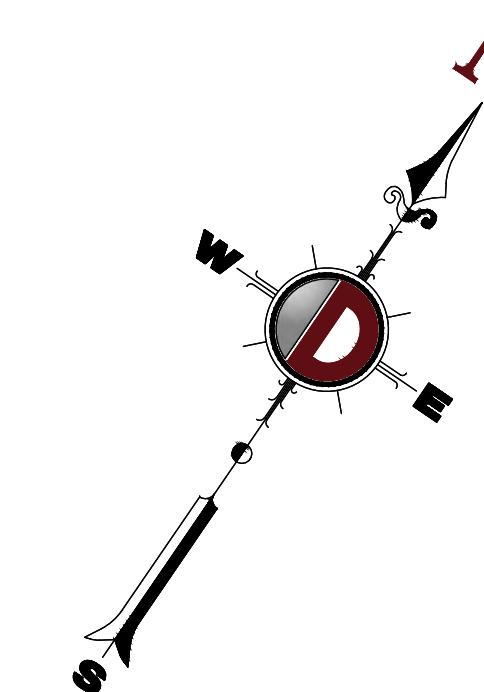
JOSHUA M. SEWALD PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 097639

JOHN A. PALUS PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 087502

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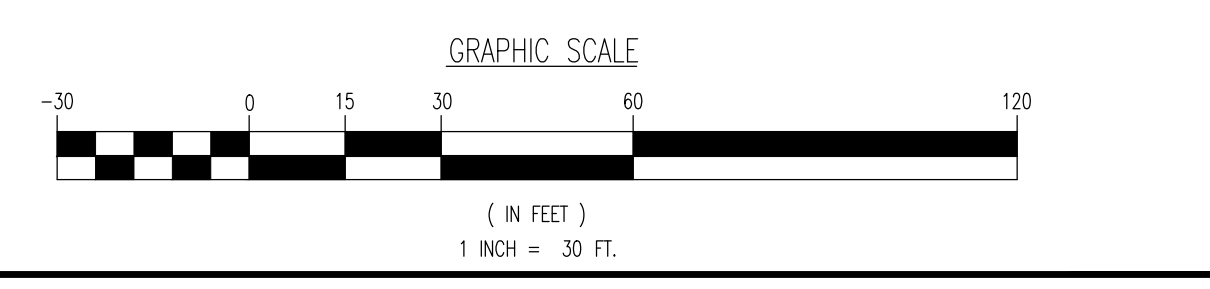
OF 18

Plotfile: 10/27/22 - 11:50 AM, By: mooreman, PLOT: 2451-99-053.dwg, Path: C:\Users\mooreman\AppData\Local\Temp\10/27/22\11:50:45\2451-99-053.dwg, Date: 10/27/22 11:50:45 AM, Scale: 1:30 (H), 1:6 (V), Sheet: 7 of 18, Project: Hix Sneider Proposed Tractor Supply, Block 1, Lot 7, 8287 Lewiston Road, Batavia, NY, Project Engineer: Joshua M. Sewald, Professional Engineer, New York License No. 097639, Check Engineer: John A. Palus, Professional Engineer, New York License No. 087502.



GRADING/UTILITY GRAPHIC LEGEND

---	PROPERTY LINE (PARCEL IN QUESTION)
---	OFF-SITE PROPERTY LINES
---	EXIST. CABLE LINE
---	PROP. CABLE LINE
---	EXIST. ELECTRIC LINE
---	PROP. ELECTRIC LINE
---	EXIST. FIBER OPTIC LINE
---	PROP. FIBER OPTIC LINE
---	EXIST. GAS LINE
---	PROP. GAS LINE
---	EXIST. OVERHEAD WIRES
---	PROP. OVERHEAD WIRES
---	EXIST. TELEPHONE LINE
---	PROP. TELEPHONE LINE
---	EXIST. WATER LINE
---	PROP. WATER LINE
---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
---	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
---	EXIST. SANITARY SEWER LINE
---	PROP. SANITARY SEWER LINE
---	EXIST. STORM DRAIN LINE
---	PROP. STORM DRAIN LINE
---	EXIST. MAJOR CONTOUR & ELEVATION
---	PROP. FINISH GRADE CONTOUR & ELEVATION
---	PROP. DIRECTION OF DRAINAGE FLOW ARROW
---	EXIST. SPOT ELEVATIONS
---	EXIST. GUTTER ELEV.
---	EXIST. TOP OF CURB ELEV.
---	EXIST. FINISH FLOOR ELEV.
---	EXIST. GARAGE FLOOR ELEV.
---	PROP. GRADE SPOT ELEV.
---	PROP. TOP OF CURB & FINISHED GRADE ELEV.
---	PROP. FINISHED FLOOR ELEV.
---	PROP. TOP OF WALL & FINISHED GRADE & LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
---	PROP. TOP OF EXTENDED CURB (OR FINISHED GRADE @ END OF CURB) (OR FINISHED GRADE @ END OF DRIVE) (OR FINISHED GRADE @ END OF DRIVE)
---	EXIST. GUY WIRE
---	EXIST. LIGHT POLE
---	EXIST. BUILDING LIGHT
---	EXIST. STREET LIGHT
---	EXIST. TRAFFIC SIGNAL POLE
---	EXIST. MANHOLE
---	EXIST. "A" INLET
---	EXIST. "B" INLET
---	EXIST. "C" INLET
---	EXIST. YARD INLET
---	EXIST. FLARED END SECTION
---	EXIST. HEADWALL
---	EXIST. MONITORING WELL
---	APPROX. TEST PIT LOCATION
---	EXIST. FIRE HYDRANT
---	EXIST. WATER VALVE
---	EXIST. GAS VALVE
---	EXIST. GAS METER
---	EXIST. ELECTRIC METER
---	EXIST. ELECTRIC BOX
---	EXIST. CLEAN OUT
---	EXIST. WELL
---	EXIST. WATER SHUT OFF VALVE
---	EXIST. TELEPHONE BOX
---	EXIST. CABLE TO BOX
---	EXIST. UTILITY POLE
---	PROP. WATER VALVE
---	PROP. GAS VALVE
---	PROP. STORM CLEANOUT
---	PROP. SANITARY CLEANOUT
---	PROP. AREA LIGHT
---	PROP. OUTLET CONTROL STRUCTURE
---	PROP. DRAINAGE MANHOLE
---	PROP. SANITARY SEWER MANHOLE
---	PROP. "A" INLET
---	PROP. "B" INLET
---	PROP. "C" INLET
---	PROP. YARD INLET
---	PROP. FLARED END SECTION
---	PROP. HEADWALL



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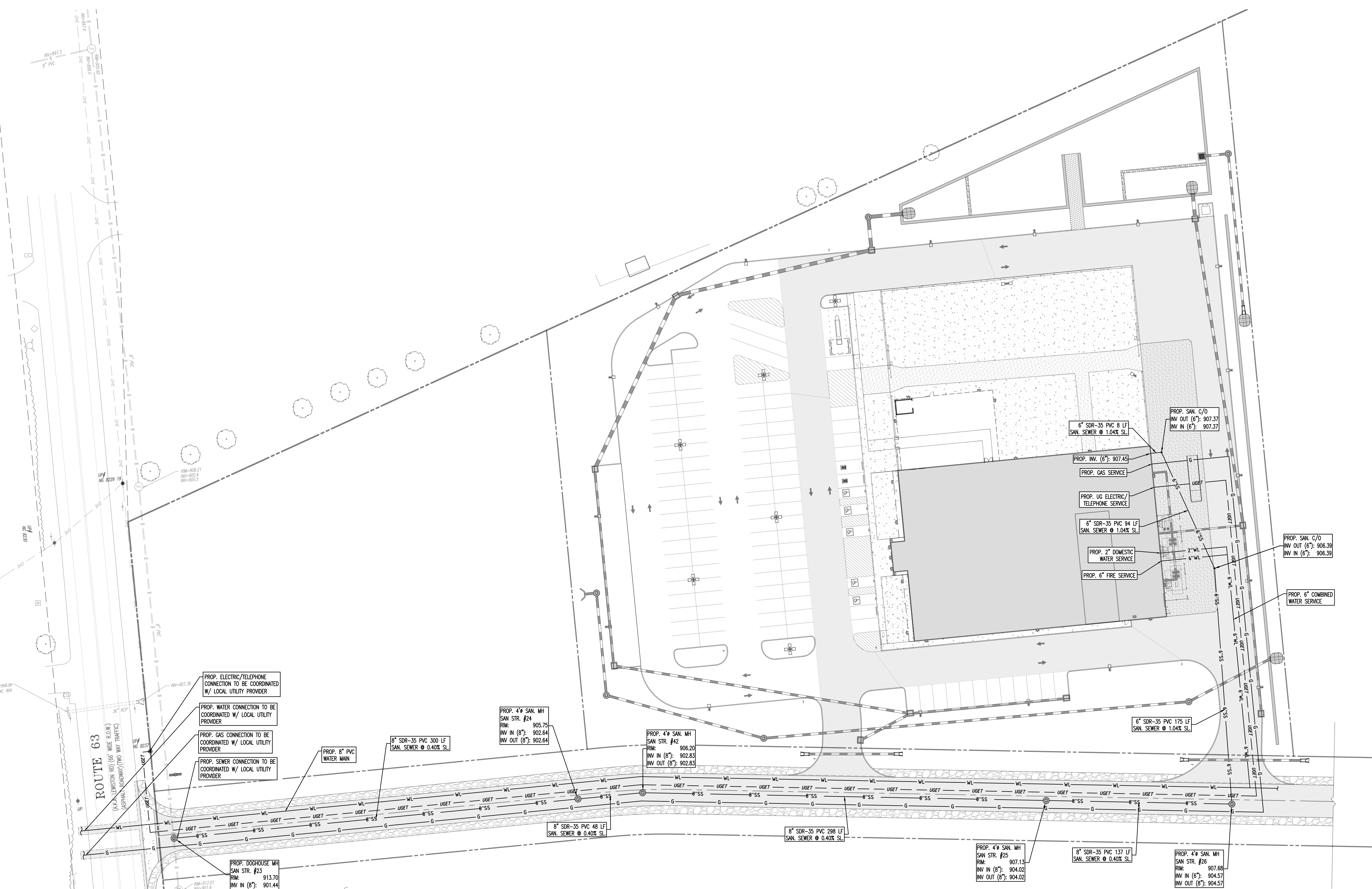
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Towaco, NJ 07095
TEL: 201.964.9200
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TITLE: UTILITY PLAN	JOB No: 2451-99-053	DATE: 10/28/2022
PROJECT: HIX SNEDEKER PROPOSED TRACTOR SUPPLY	DRAWN BY: MFZ	SCALE (H) 1"=30'
BLOCK 1, LOT 7 8267 LEWISTON ROAD TOWNSHIP OF BATAVIA, GENESEE COUNTY, NEW YORK	DESIGNED BY: MP	SHEET No: 8
	CHECKED BY: RUM	OF 18

JOSHUA M. SEWALD PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 097639	JOHN A. PALUS PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 087502
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UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST HIGHEST POINT OF CONNECTION AND PROCEED UP GRADIENT. INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPROPRIATENESS REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE (DIP) MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWERS CROSSING OVER SEWER LINES.
- ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SERVO COAT, OR APPROVED EQUIV.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN STRUCTURES AND APPURTENANCES DURING CONNECTION.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE DETERMINED BY ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AGENCY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.

- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELIPTICAL STORM PIPE TO CONFORM TO ASTM C-557, CLASS HE-8, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND WORKING OR PRESTRESSING JOINT SEALANTS IN ACCORDANCE WITH ASTM C-890 TO BE UTILIZED TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-1465.
- SEWER DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2336. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2336 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLIT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2336 AND ASTM F4477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2336 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2807. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCENTED FOR BY THE CONTRACTOR ACCORDINGLY.

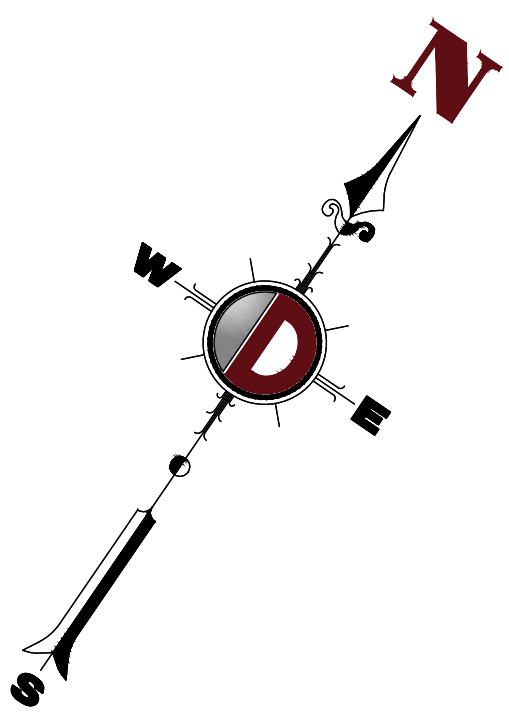
EXISTING UTILITY NOTES

EXISTING UTILITY SERVICE NOTES: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE, OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

EXISTING GAS SERVICE NOTES: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE, OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

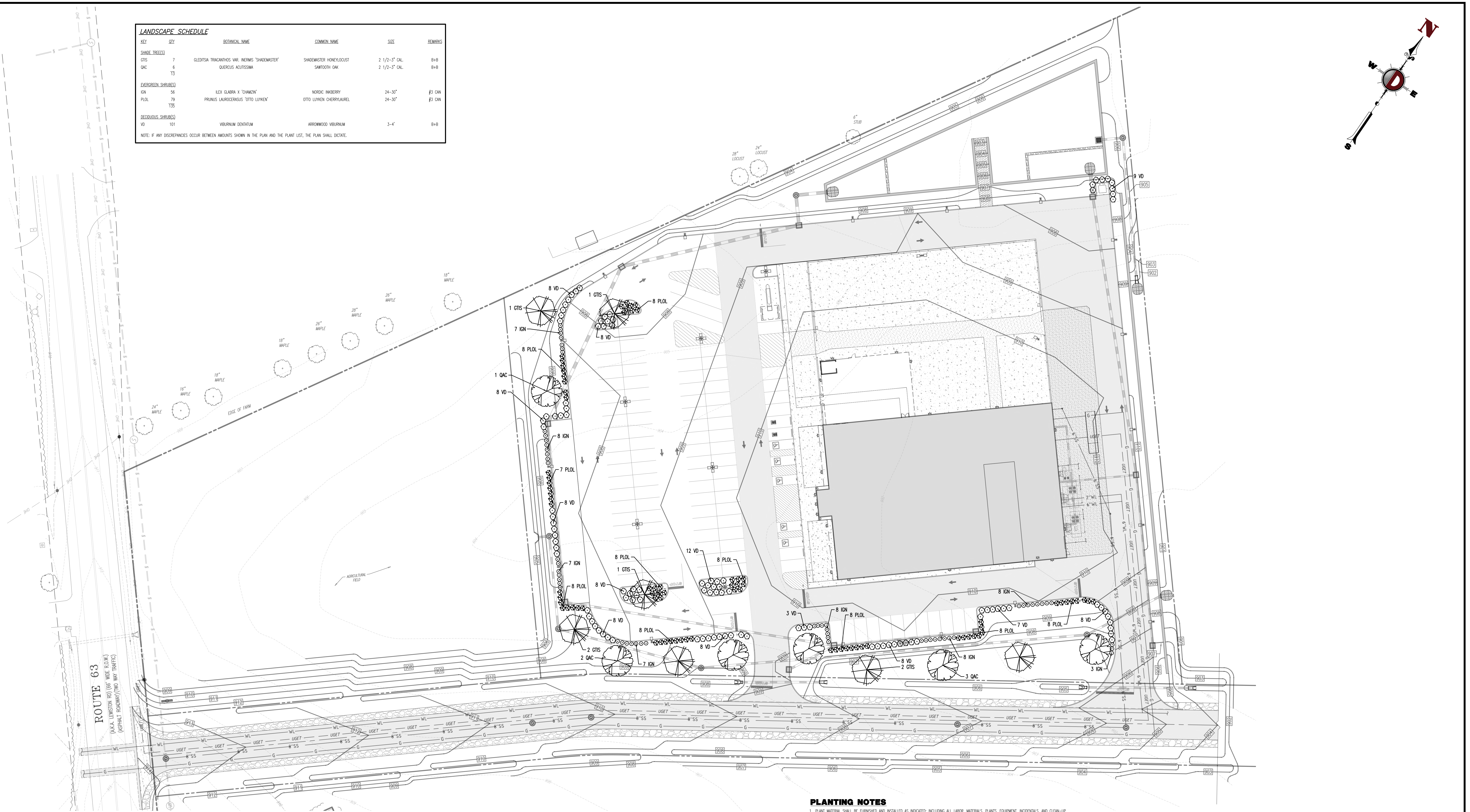
SANITARY SEWER SERVICE NOTES: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE, CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

Product Ver: 24.1s (AMS Tech)
Plan: 2451-99-053-UTL Utility Plan
Date: 10/27/22 11:51 AM By: mserrano
Title: 2451-99-053-UTL Utility Plan
Sheet No: 8 of 18



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
GTS	7	GLIEDUSA THOMASII VAR. INTERNIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2"-3" CAL.	B+8
OAC	6	QUERCUS ACUTICOSTA	SWITCHY OAK	2 1/2"-3" CAL.	B+8
OVERGREEN SHRUBS					
IGN	55	ILEX GLABRA V. 'CAMINO'	NORVIC INEBERRY	24"-30"	#1 CAN
PLOL	79	PRUNUS LAUROCEGALUS 'OTTO LYXEN'	OTTO LYXEN CHERRYLAUREL	24"-30"	#1 CAN
DECIDUOUS SHRUBS					
VD	101	VERBENUM DENTATUM	ARROWWOOD VERBENUM	3'-4"	B+8

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.



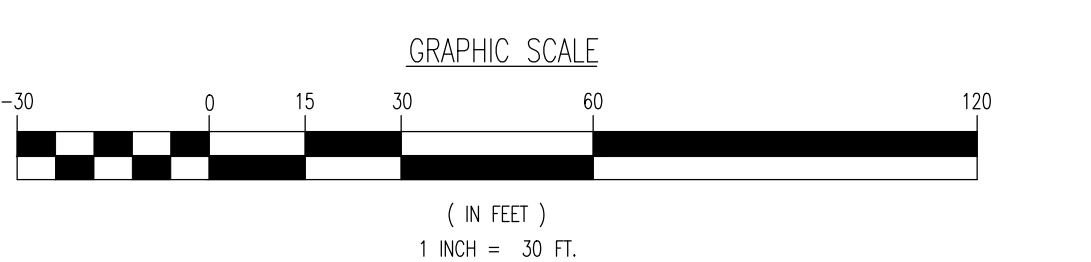
PLANTING SPECIFICATIONS

- SCOPE OF WORK
A. THIS WORK SHALL CONSIST OF PREPARING, CLEANING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND ANY OTHER APPEARANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
B. CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
C. CONTRACTOR SHALL REPORT ANY SOIL OR NUTRIENT DEFICIENCIES DETECTED DURING PLANTING TO BE IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
D. CONTRACTOR SHALL GUARANTEE A 100% GROWTH GUARANTEE FOR ALL PLANTS PLANTED. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST GROWING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE PERIOD OF THREE MONTHS FROM THE DATE OF DELIVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE FOR ALL PLANTS PLANTED.
E. PLANTS SHALL NOT BE PLANTED IN AREAS WHERE THEY WOULD BE EXPOSED TO UNREASONABLE DAMAGE OR TRAFFIC.
F. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601 (REV. 2001) 'AMERICAN STANDARD FOR MATURE SHRUBS - PERMANENTLY PLANTED'. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
G. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
H. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
I. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
J. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL GUARANTEE A 100% GROWTH GUARANTEE FOR ALL PLANTS PLANTED. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST GROWING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE PERIOD OF THREE MONTHS FROM THE DATE OF DELIVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE FOR ALL PLANTS PLANTED.
5. PLANTS SHALL NOT BE PLANTED IN AREAS WHERE THEY WOULD BE EXPOSED TO UNREASONABLE DAMAGE OR TRAFFIC.
6. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601 (REV. 2001) 'AMERICAN STANDARD FOR MATURE SHRUBS - PERMANENTLY PLANTED'. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
7. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
8. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
9. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
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19. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.
20. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH CURRENT AGRICULTURAL PRACTICES.

SEE SHEET 14 OF 18 FOR LANDSCAPE PLAN DETAILS



APPROVAL SIGNATURE:

STEVEN J. MOUNTAIN, P.E.
TOWN ENGINEER

DATE: _____

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LANDSCAPE PLAN

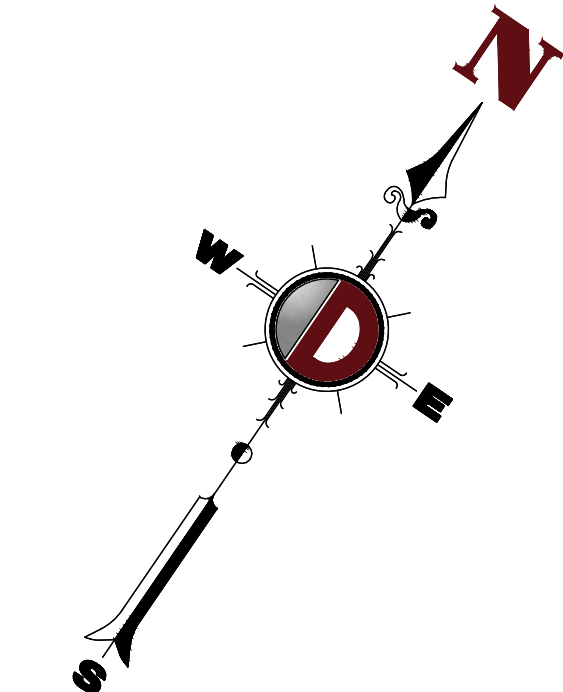
PROJECT: HIX SNEDEKER PROPOSED TRACTOR SUPPLY
BLOCK 1, LOT 7
6287 LEWISTON ROAD
TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 087639

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 087502

DATE: 10/28/2022
SCALE: (H) 1" = 30'
(V) 1" = 30'
SHEET NO. 9 OF 18

Product No. 10/21/22 - 1151 - All. By. mooseman, Inc. 23. Various projects for the individual US-533. Source: www.dyn.com. License: 2022-10-28-10-15-53. US LANDSCAPE PLAN



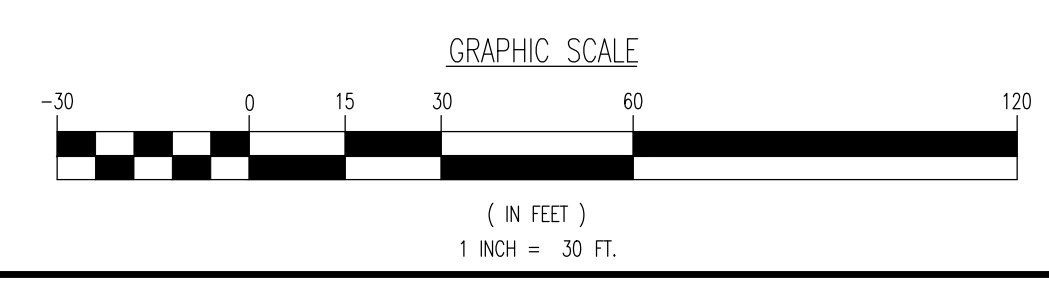
GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUARDER POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELLED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	8	W-GN	37.1	19	SINGLE	1.000	CREE MODULES	LMW20-4000-3509-0000TW	LMW20-4000-3509-0000TW.IES
	16	A-FTM	89	15	SINGLE	1.000	LITHONIA LIGHTING	DSK0 LED PS 40K FTM MOUNT	DSK0_LED_PS_40K_FT.MOUNT.IES
	2	W-TFM	73.2	15	SINGLE	1.000	LITHONIA LIGHTING	DSW01 LED 200 1000 40K FTM MOUNT	DSW01_LED_200_1000_40K_FT.MOUNT.IES
	8	W-T2S	73.2	15	SINGLE	1.000	LITHONIA LIGHTING	DSW01 LED 200 1000 40K T2S MOUNT	DSW01_LED_200_1000_40K_T2S.MOUNT.IES
	1	A-FTM-BB	89	15	BACK TO BACK	1.000	LITHONIA LIGHTING	DSK0 LED PS 40K FTM MOUNT	DSK0_LED_PS_40K_FT.MOUNT.IES
	2	A-TM	89	15	SINGLE	1.000	LITHONIA LIGHTING	DSK0 LED PS 40K TM MOUNT	DSK0_LED_PS_40K_TM.MOUNT.IES
	6	A-FTM-QUAD	89	15	4 @ 90 DEGREES	1.000	LITHONIA LIGHTING	DSK0 LED PS 40K FTM MOUNT	DSK0_LED_PS_40K_FT.MOUNT.IES

ISO CURVES ARE MAINTAINED AND SHOWN AT 1.0, 0.5 AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEGRADATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY					
LABEL	AVERAGE	MINIMUM	MAX. MIN.	MAX./MIN.	DESCRIPTION
PARKING AREA	4.39	23.4	0.1	43.90	AREA LIT UP WITHIN THE PAVEMENT ON SITE
PIQ AREA	2.99	25.4	0.1	NA	AREA LIT UP WITHIN THE PROPERTY LINE



APPROVAL SIGNATURE:
 STEVEN J. MOUNTAIN, P.E.
 TOWN OF BATAVIA - TOWN ENGINEER

DATE

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

TITLE: LIGHTING PLAN

PROJECT: **HIX SNEDEKER PROPOSED TRACTOR SUPPLY**
 BLOCK 1, LOT 7
 6287 LEWISTON ROAD
 TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB No: 2451-99-053 DATE: 10/28/2022

DRAWN BY: LVV SCALE (H) 1"=30' (V)

DESIGNED BY: MP SHEET No:

CHECKED BY: RJM

CHECKED BY: —

JOSHUA M. SEWALD PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 097639

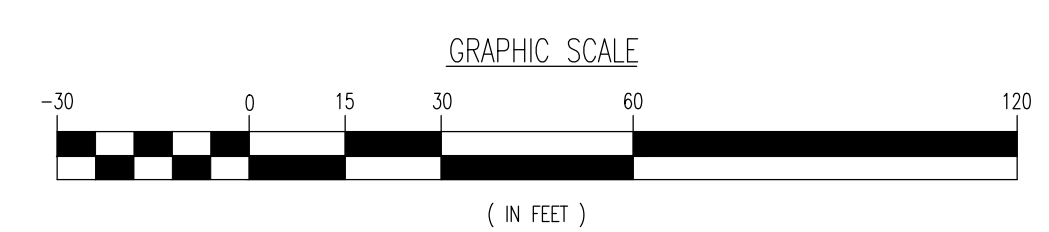
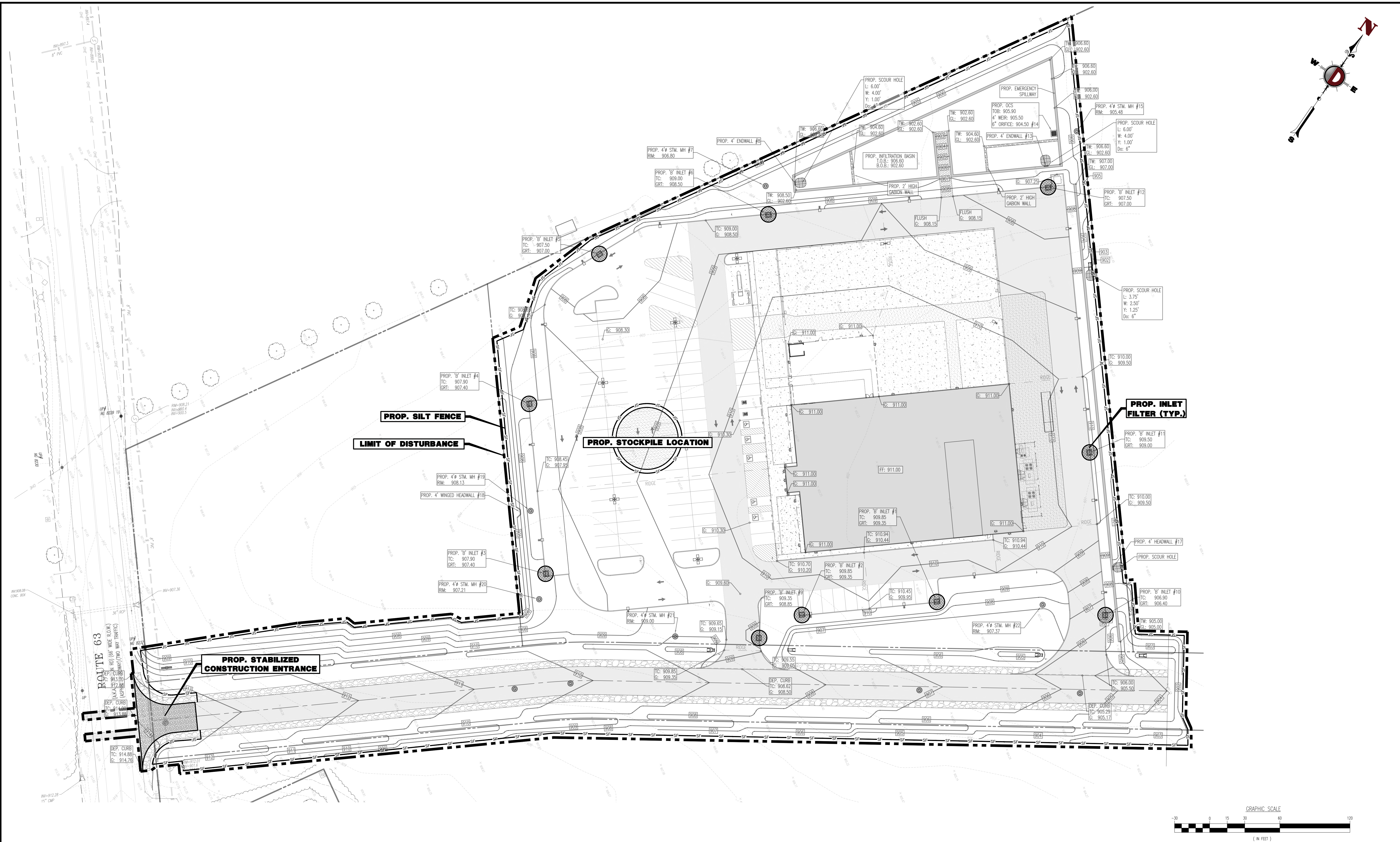
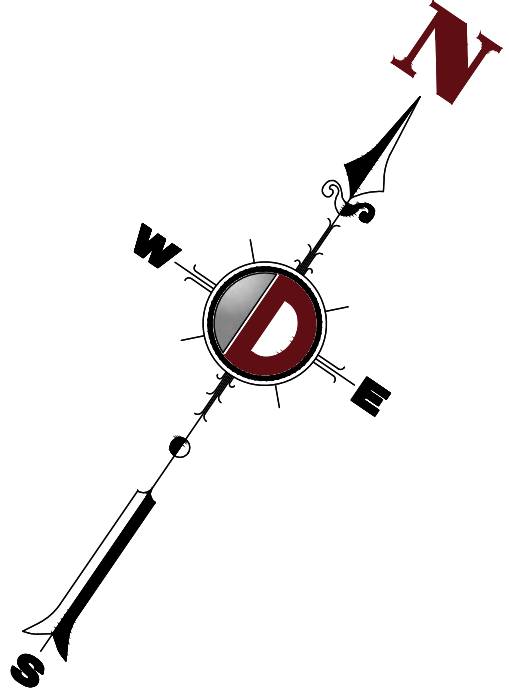
JOHN A. PALUS PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 087502

10

OF 18

Rev. # 0

Project: 10/27/22 - 1151 - AL. By: mmountain, Date: 10/28/22
 File: P:\Projects\102722\1151 - AL.dwg
 Plot: 10/28/22 10:00 AM
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LIMIT OF DISTURBANCE = 305,528 SF. (7.014 Ac.)

EROSION CONTROL LEGEND

- PROP. LIMIT OF DISTURBANCE LINE
- PROP. SILT FENCE LINE
- PROP. INLET FILTER

APPROVAL SIGNATURE:

STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER

DATE

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40 Main Street - 3rd Floor
Troy, NY 12180
T: 518.278.0000
F: 518.278.9521
www.dynamiceng.com

TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

PROJECT: **HIX SNEDEKER PROPOSED TRACTOR SUPPLY**
BLOCK 1, LOT 7
6287 LEWISTON ROAD
TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB No: 2451-99-053 DATE: 10/28/2022

DRAWN BY: MFZ SCALE (H) 1"=30' (V)

DESIGNED BY: MP SHEET No: 11 OF 18

CHECKED BY: RJM

CHECKED BY: —

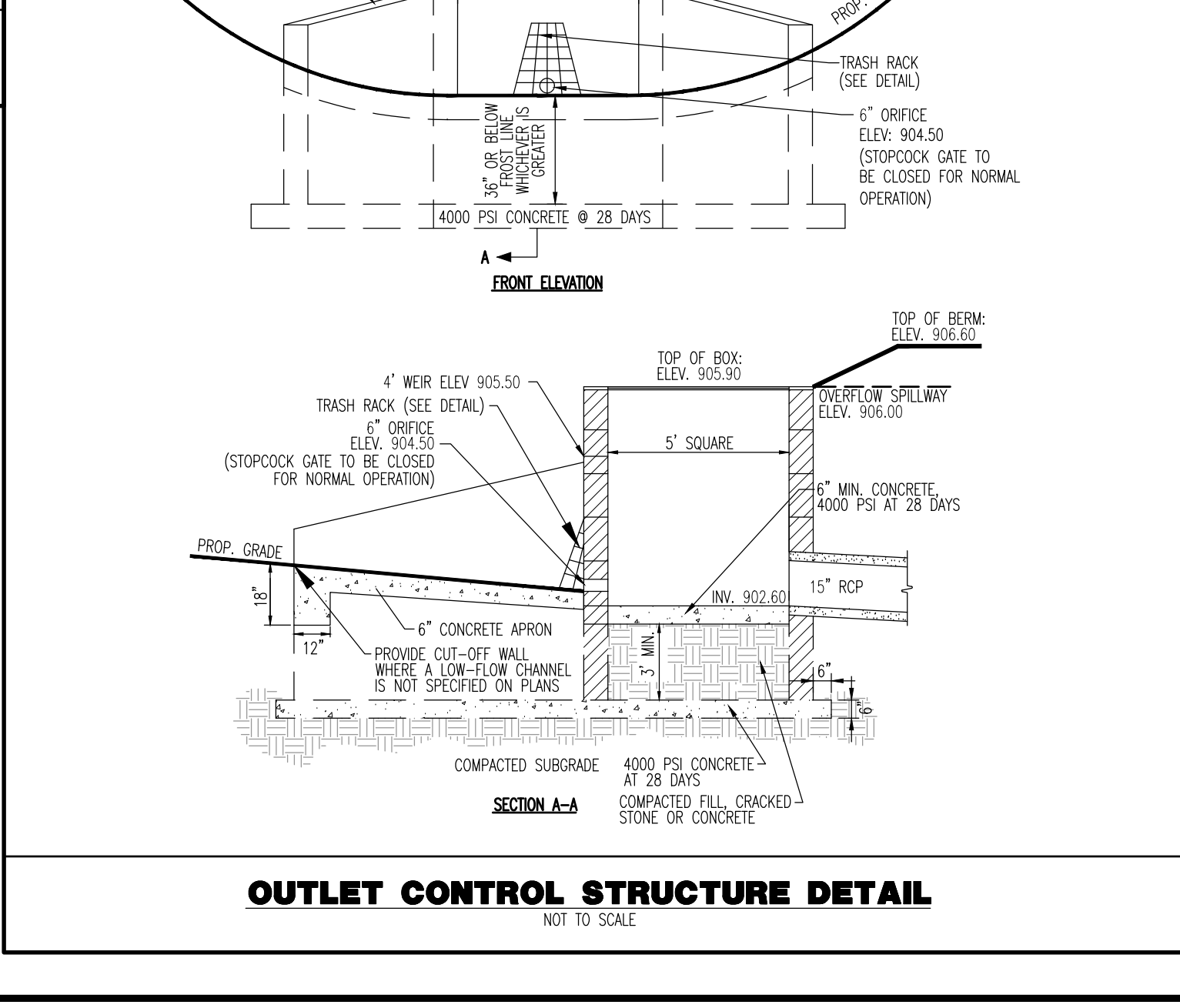
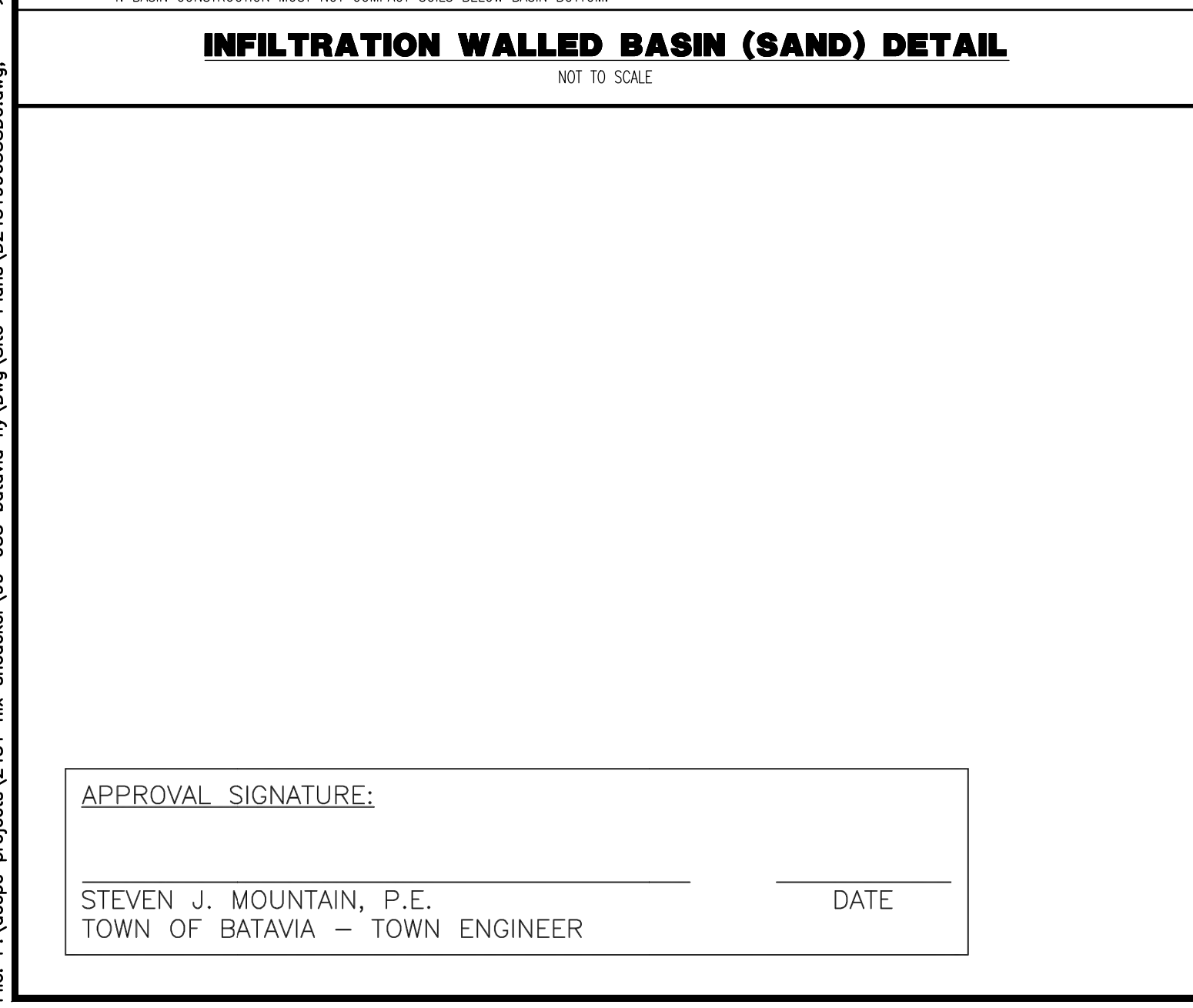
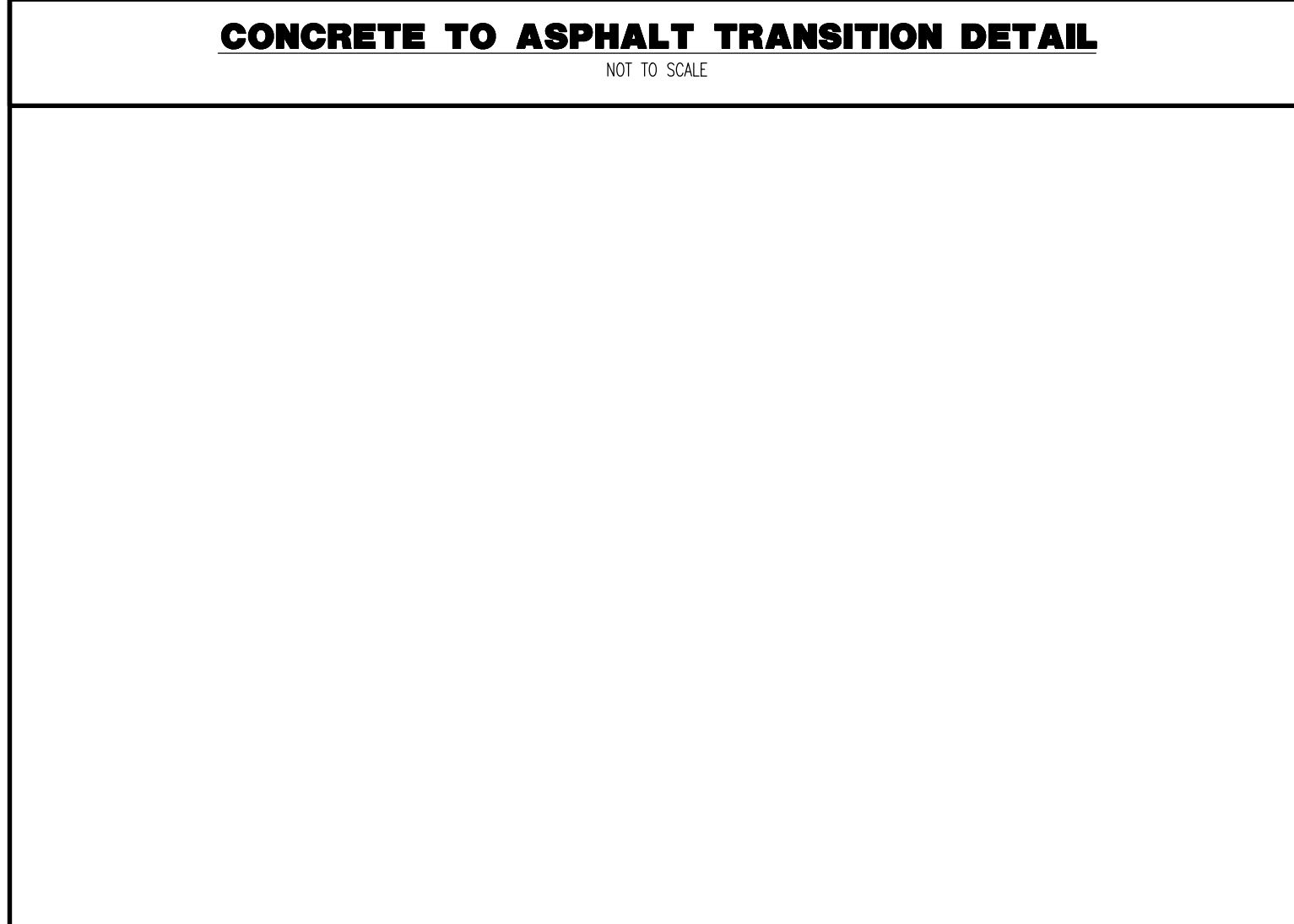
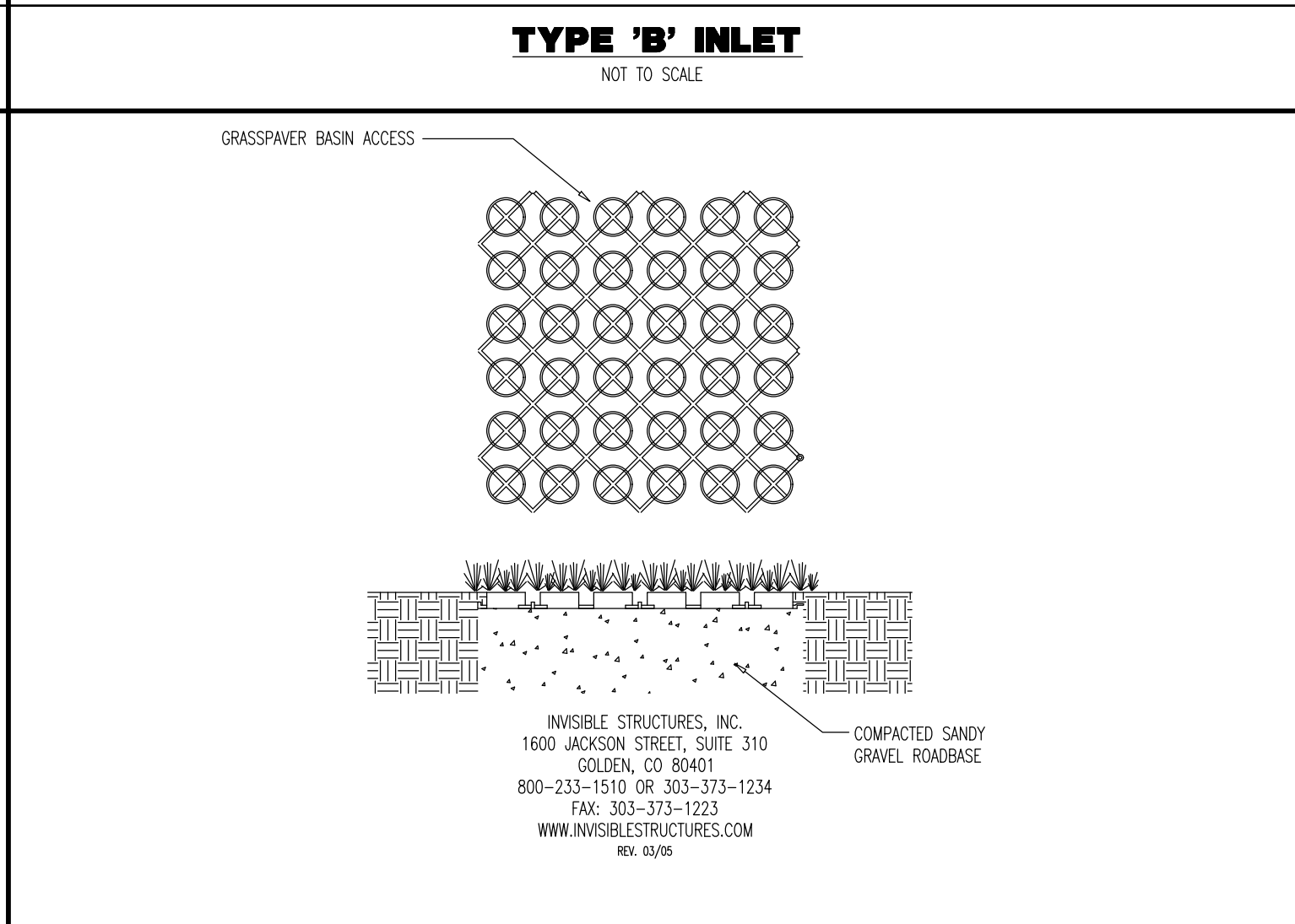
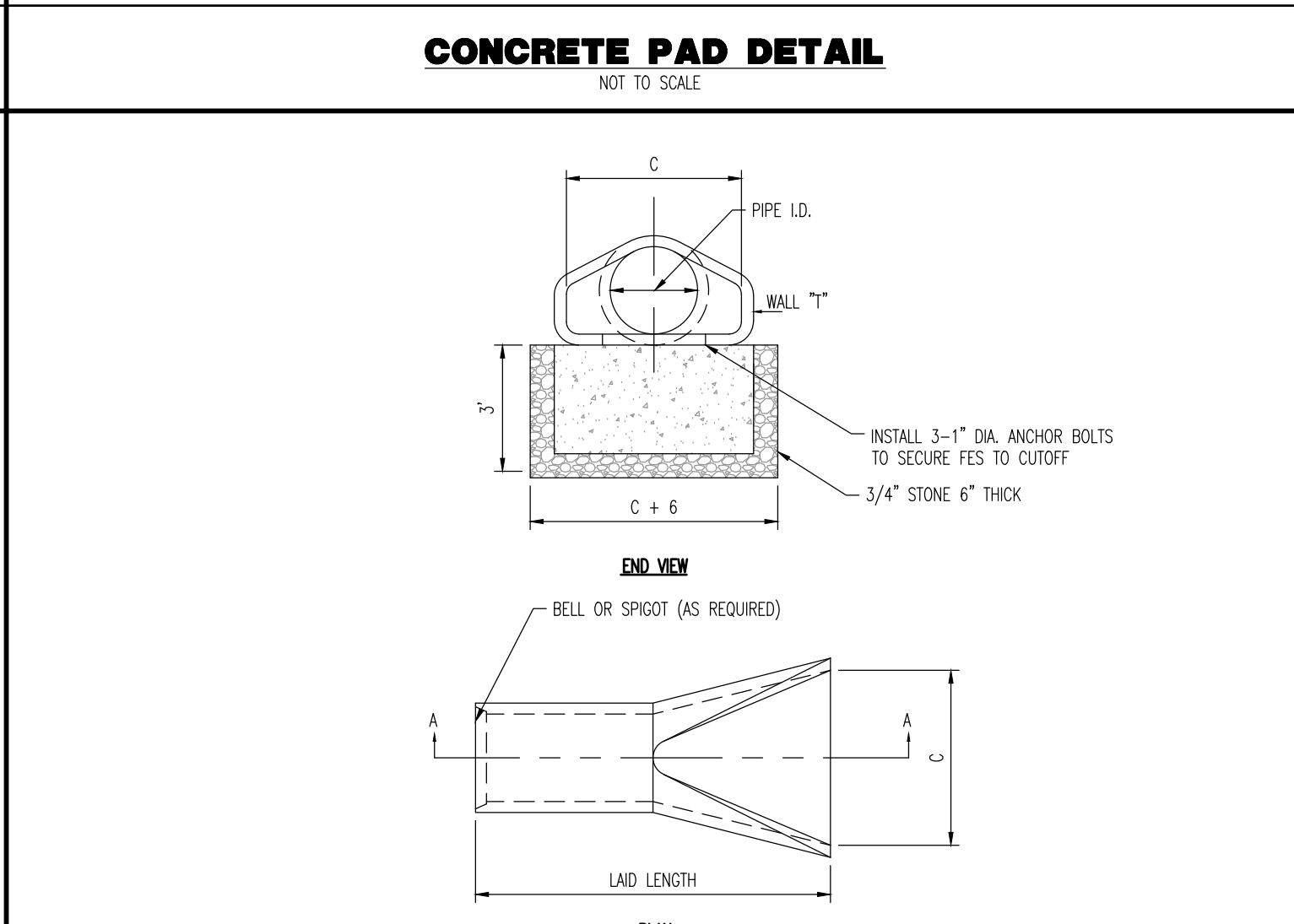
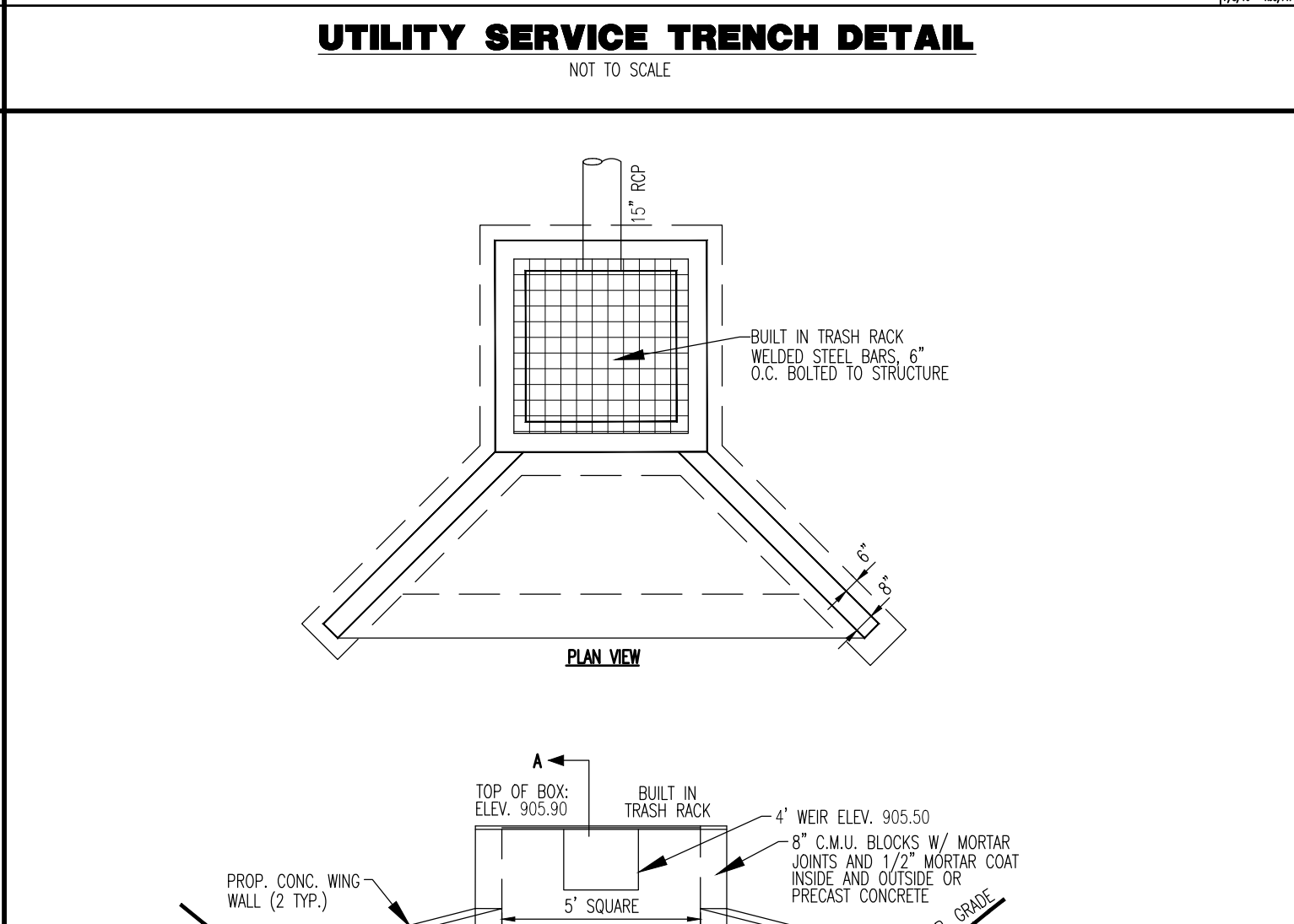
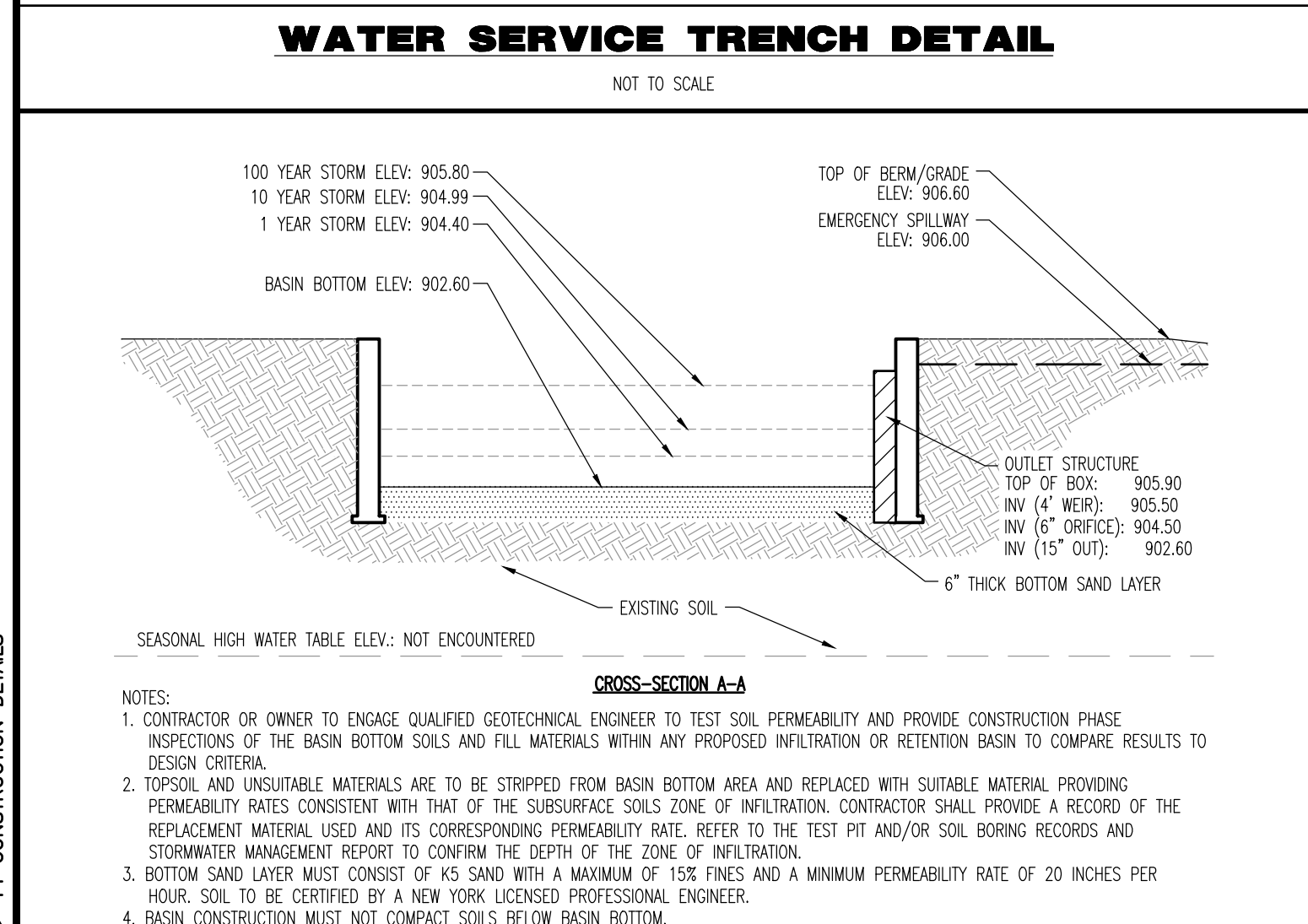
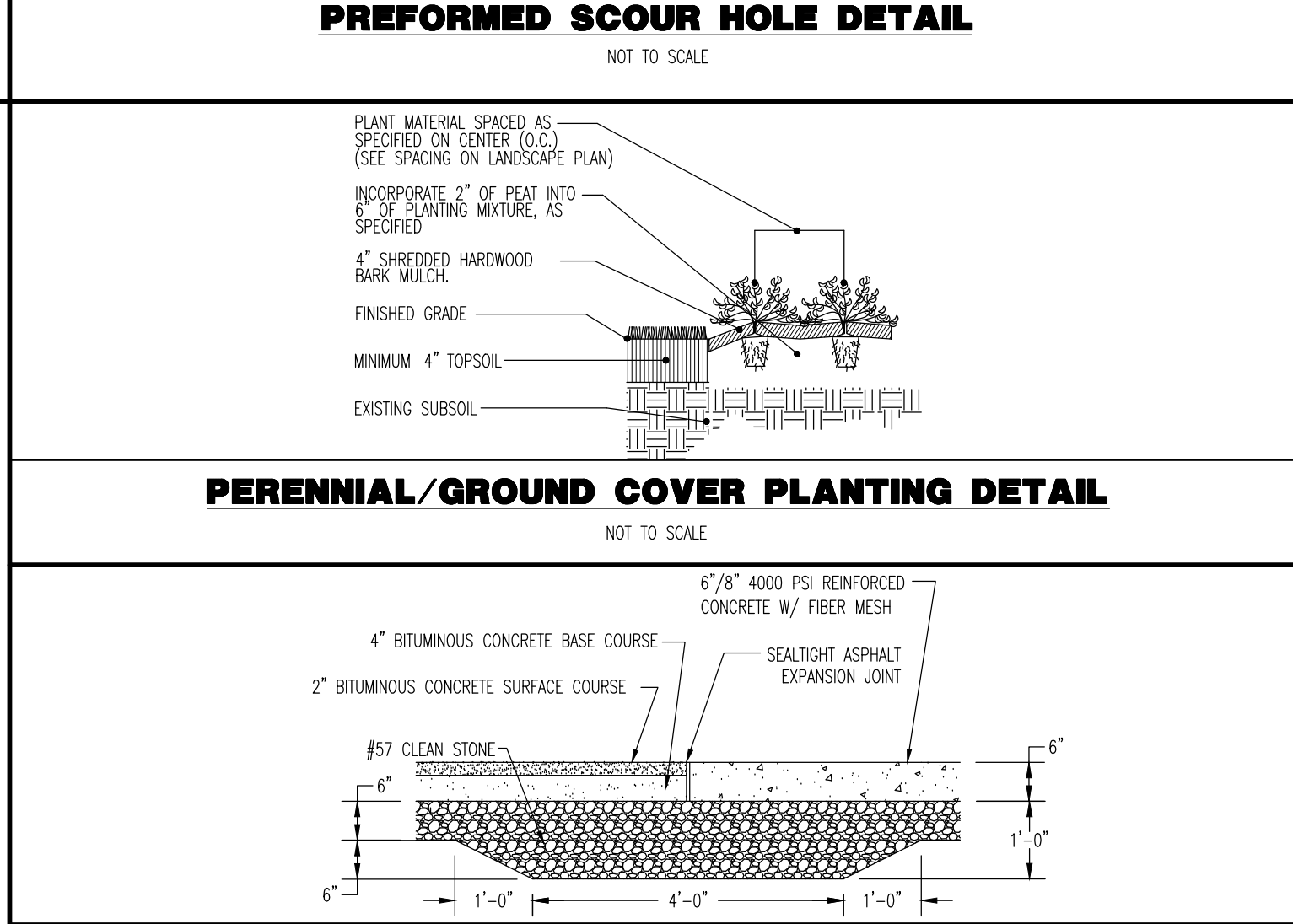
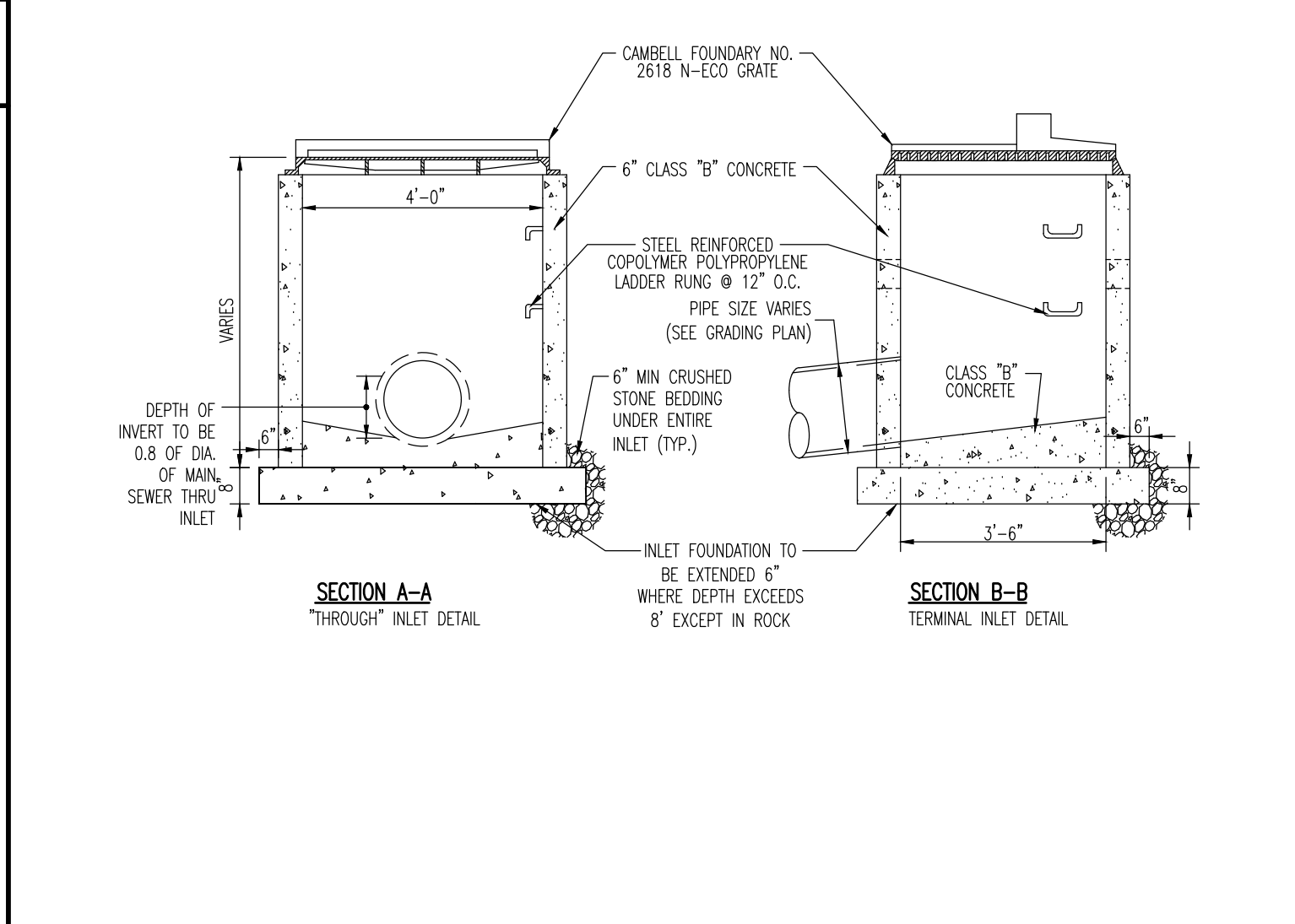
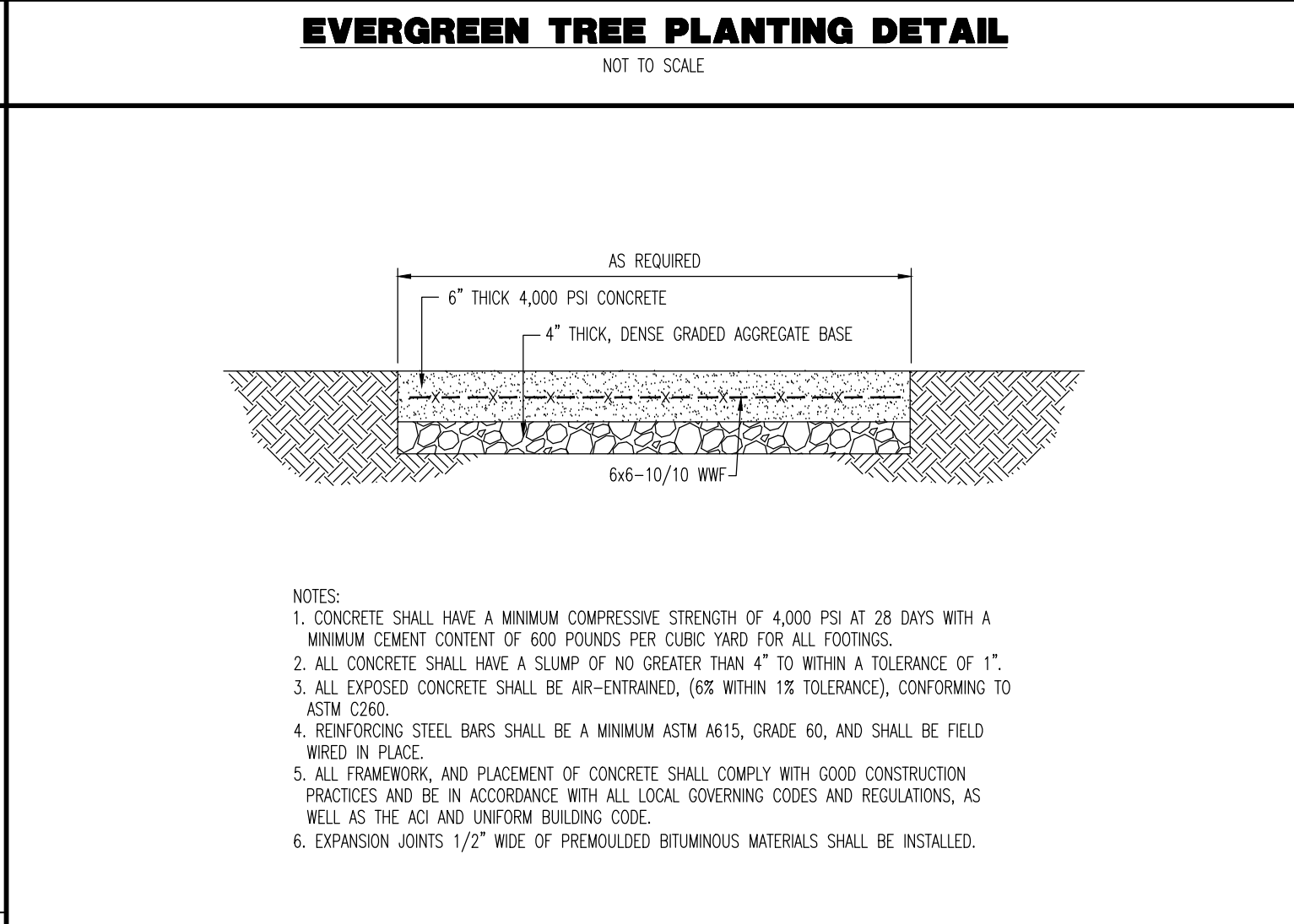
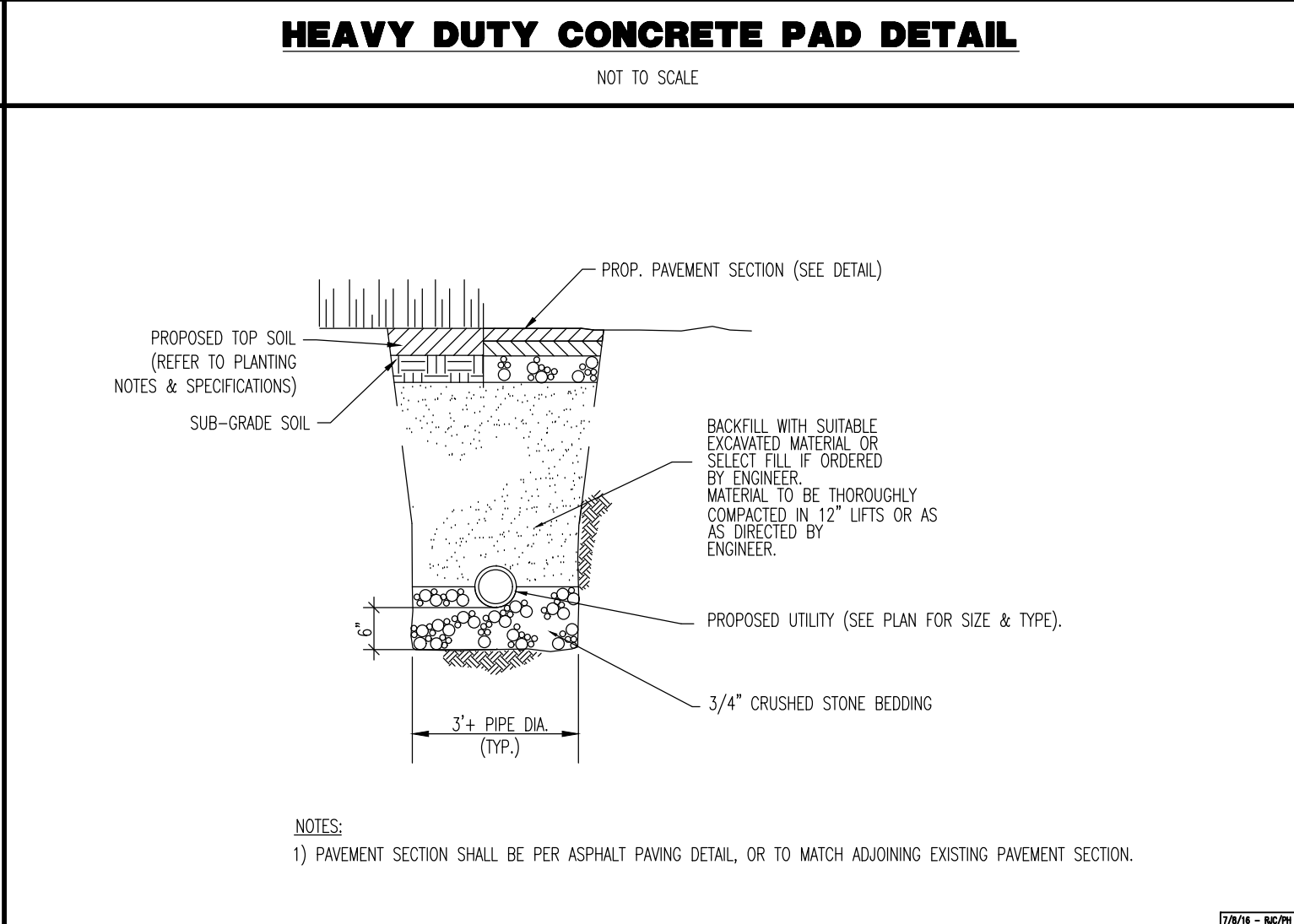
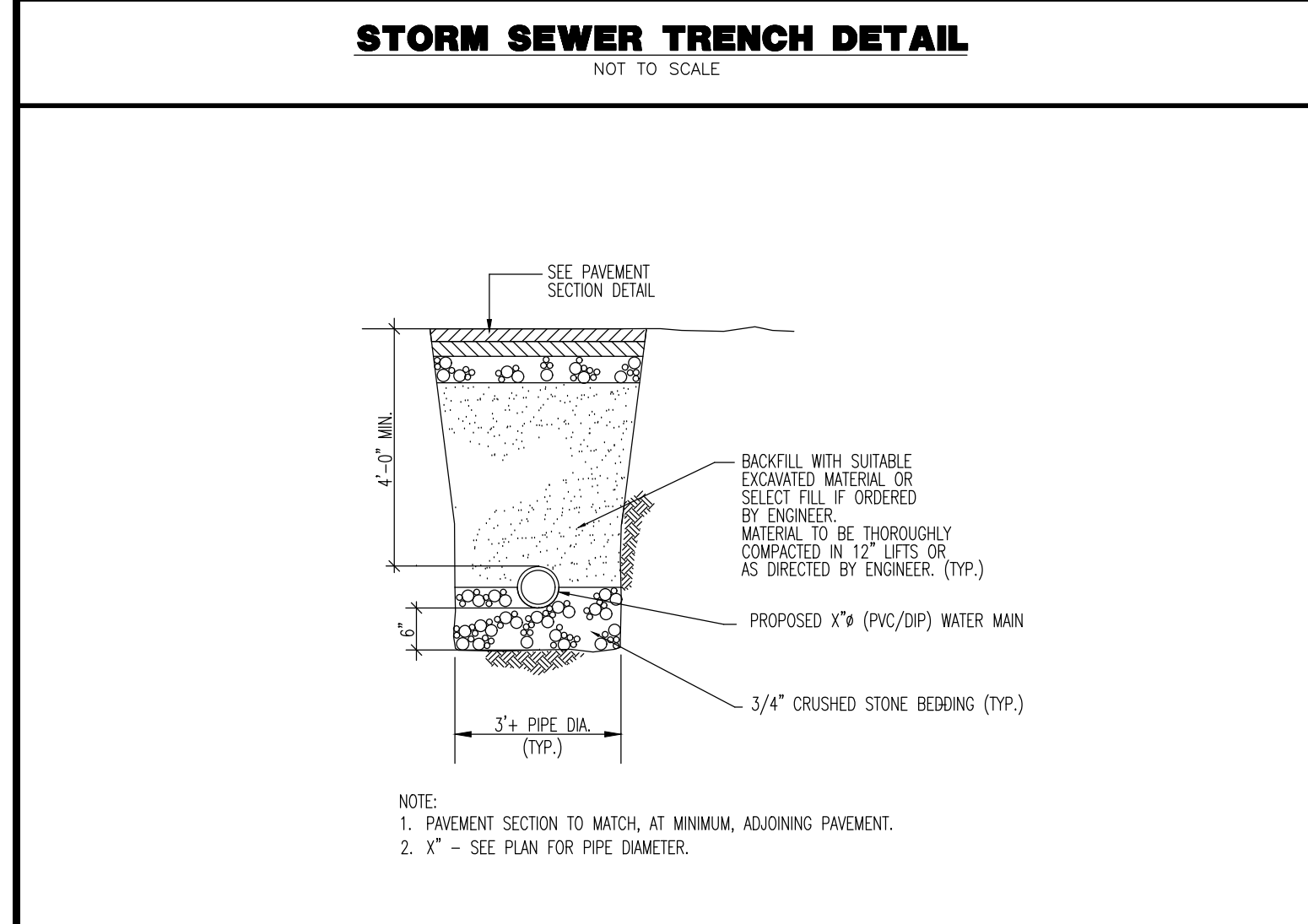
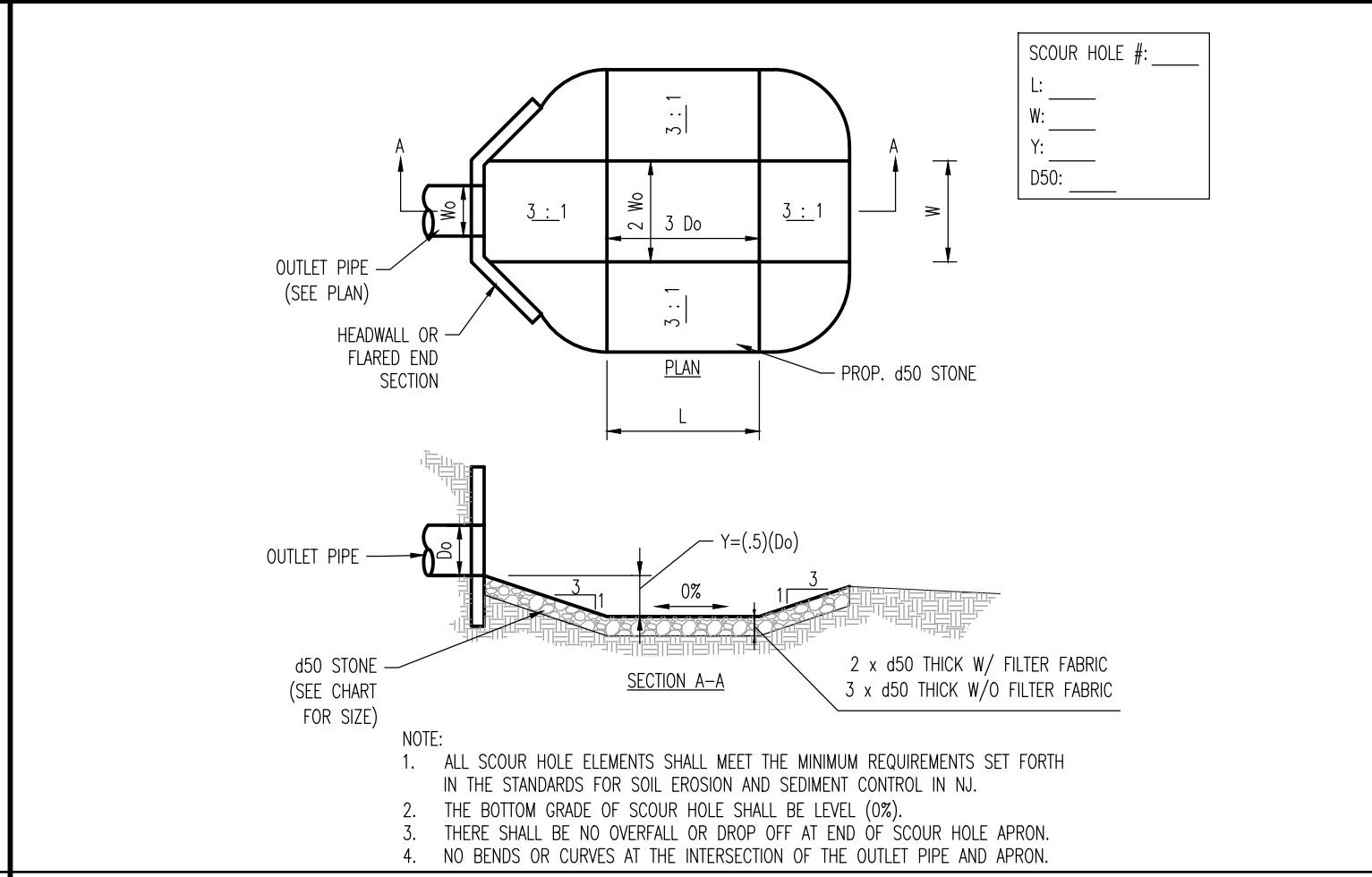
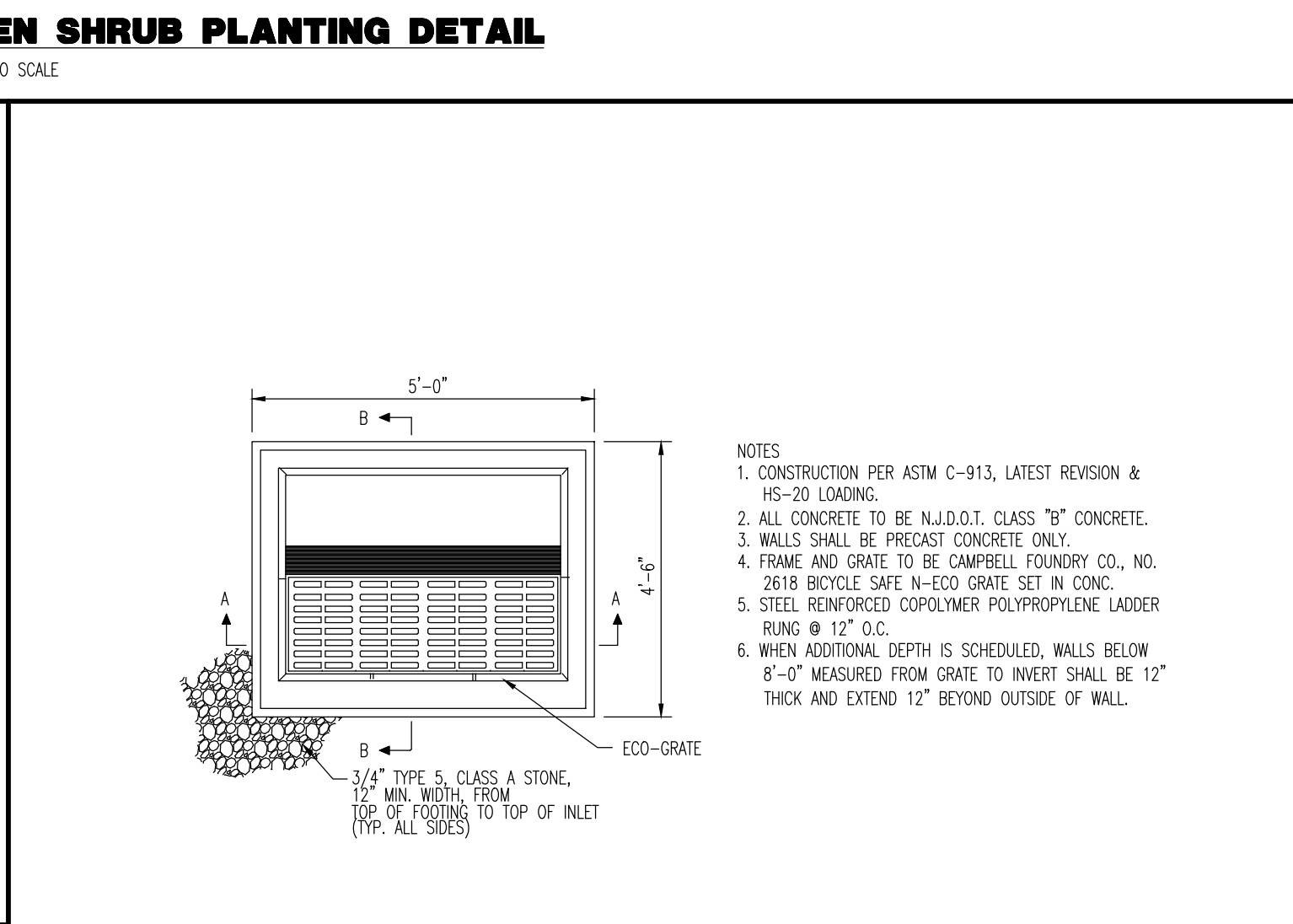
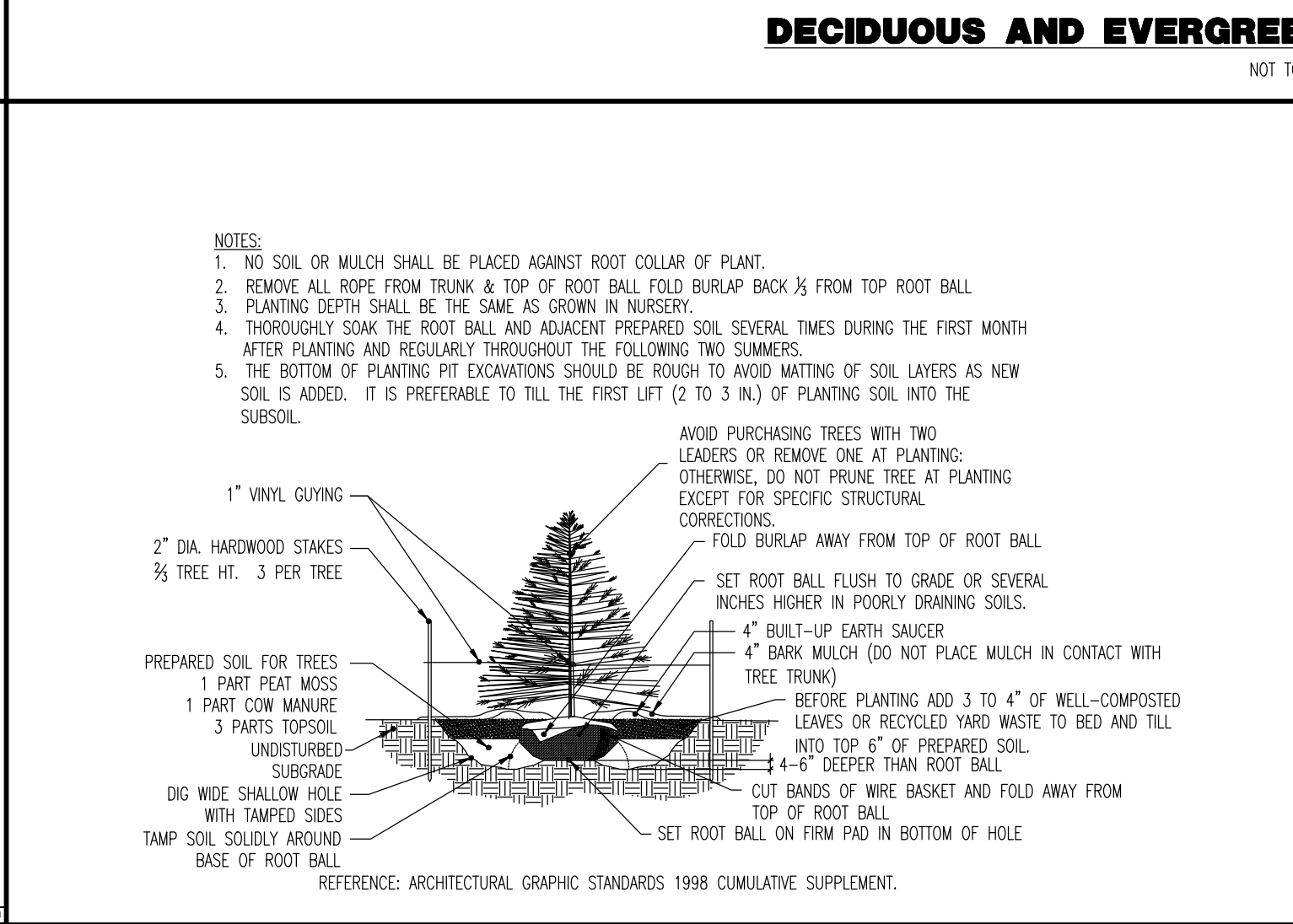
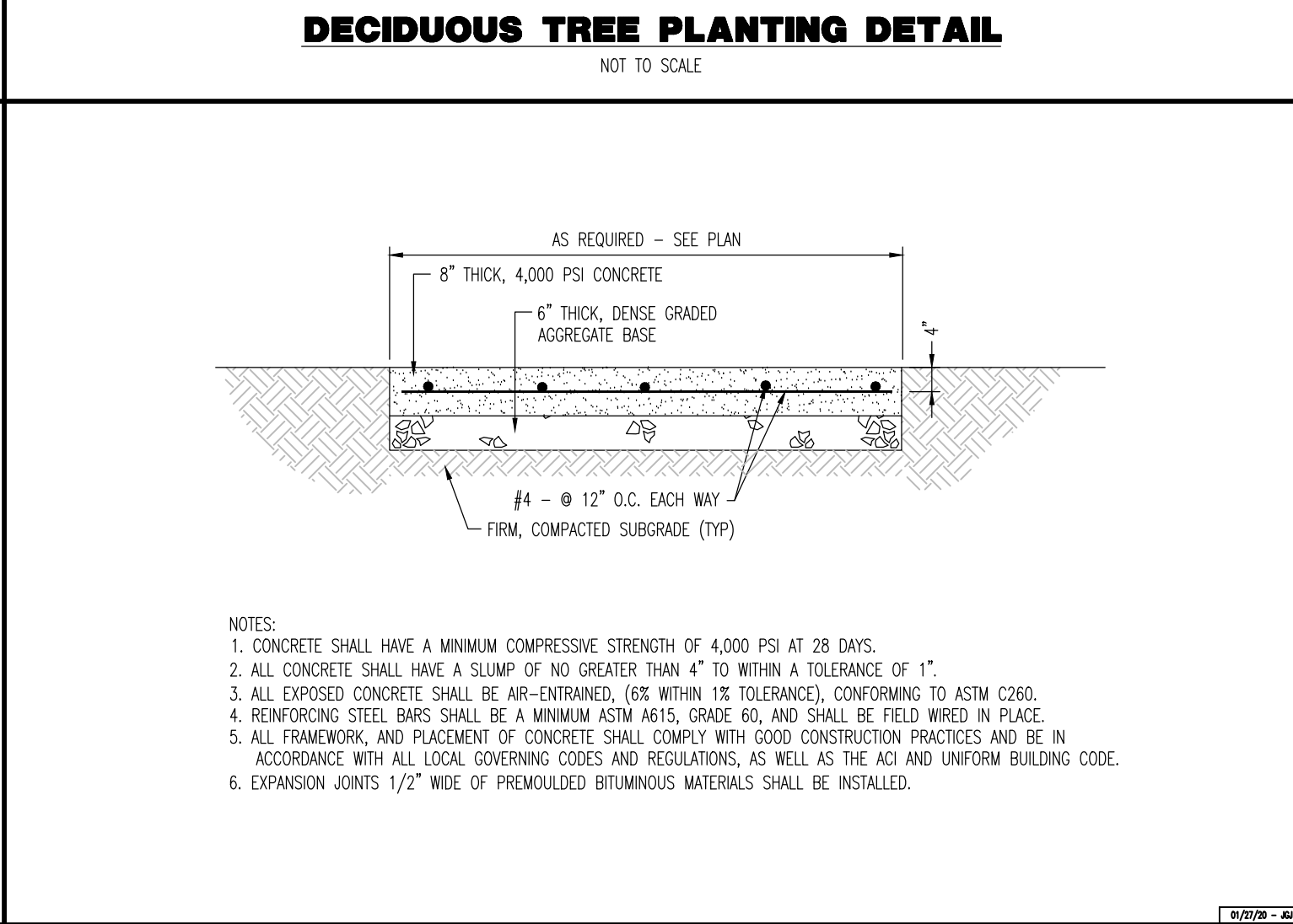
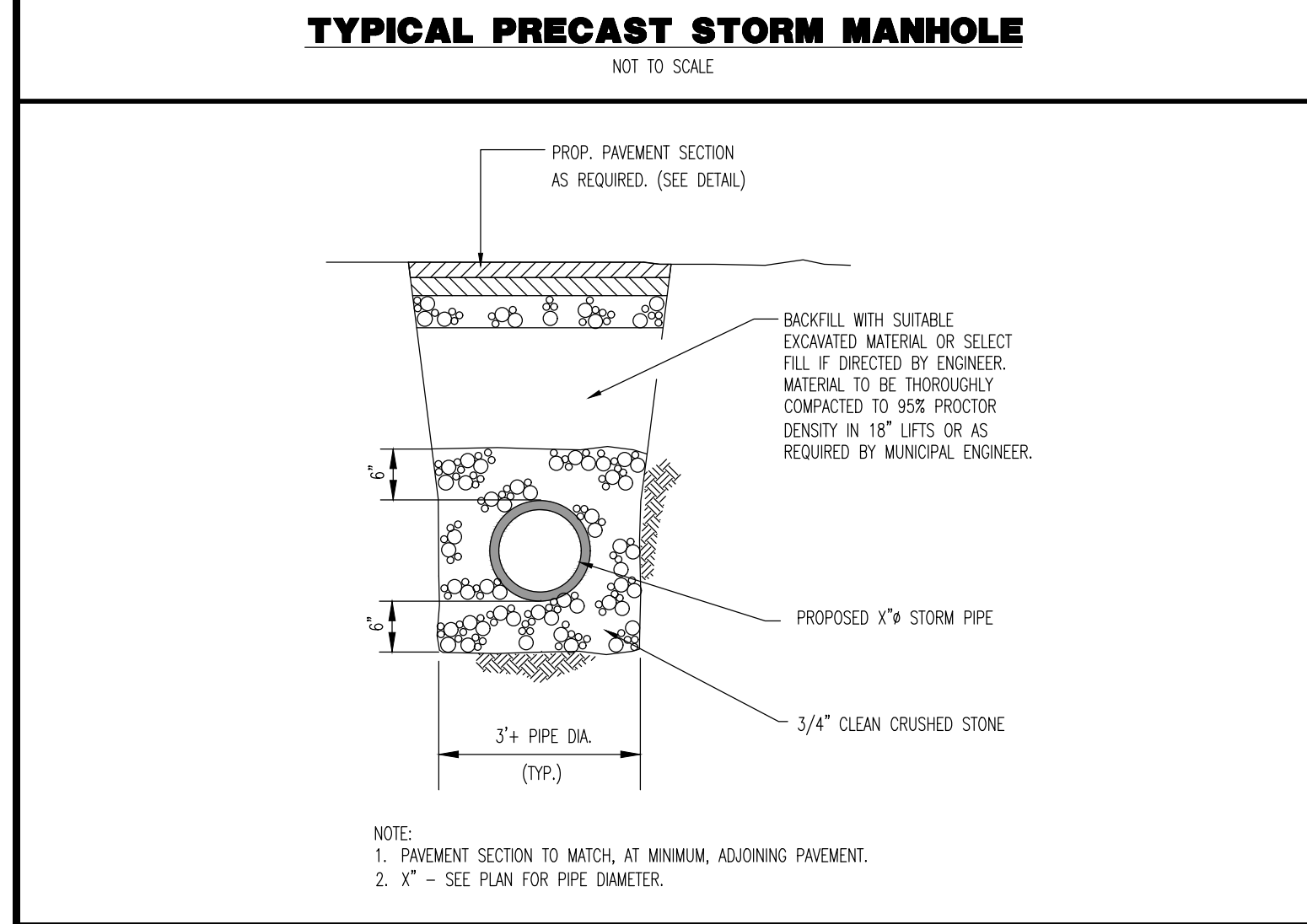
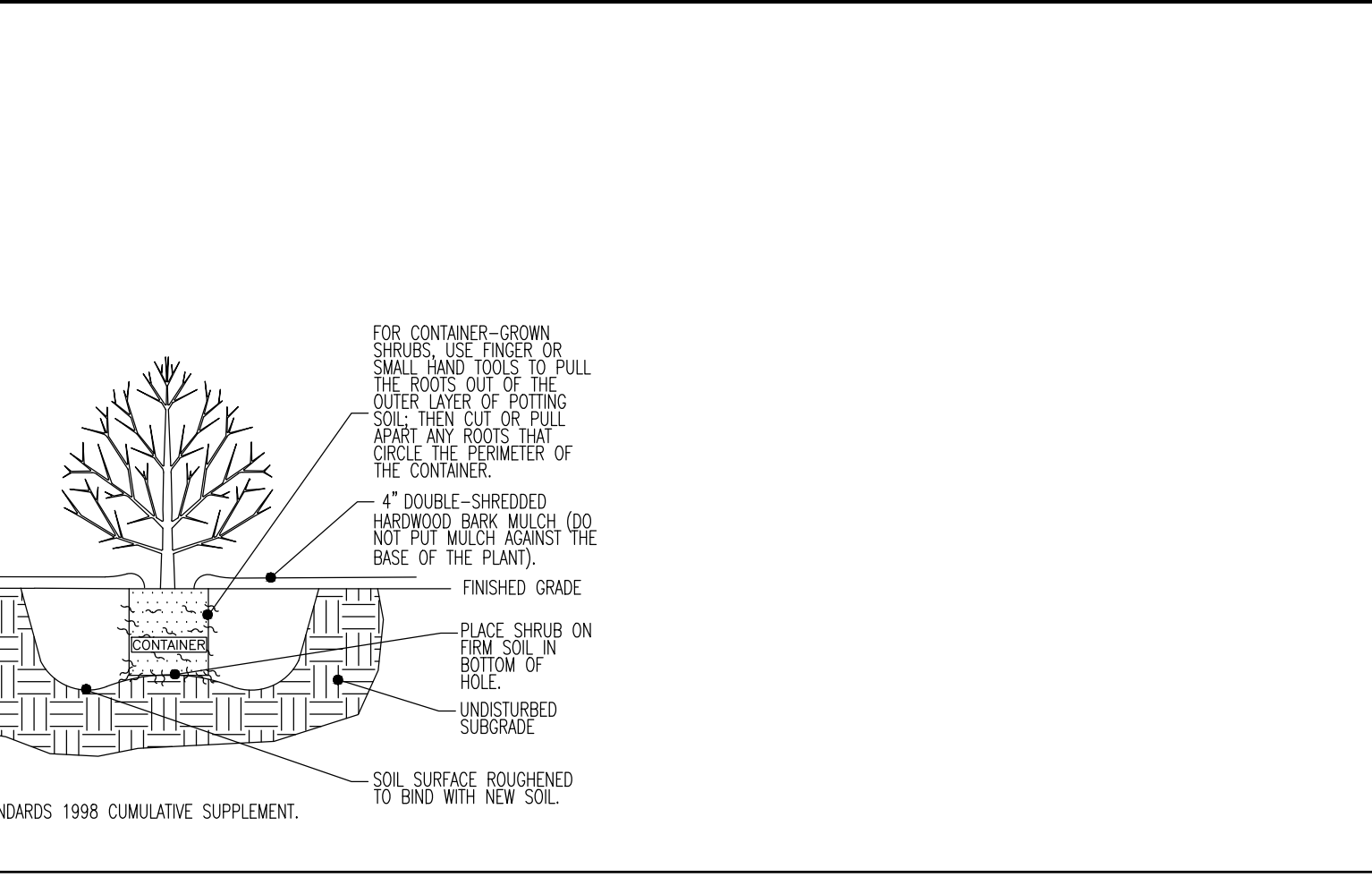
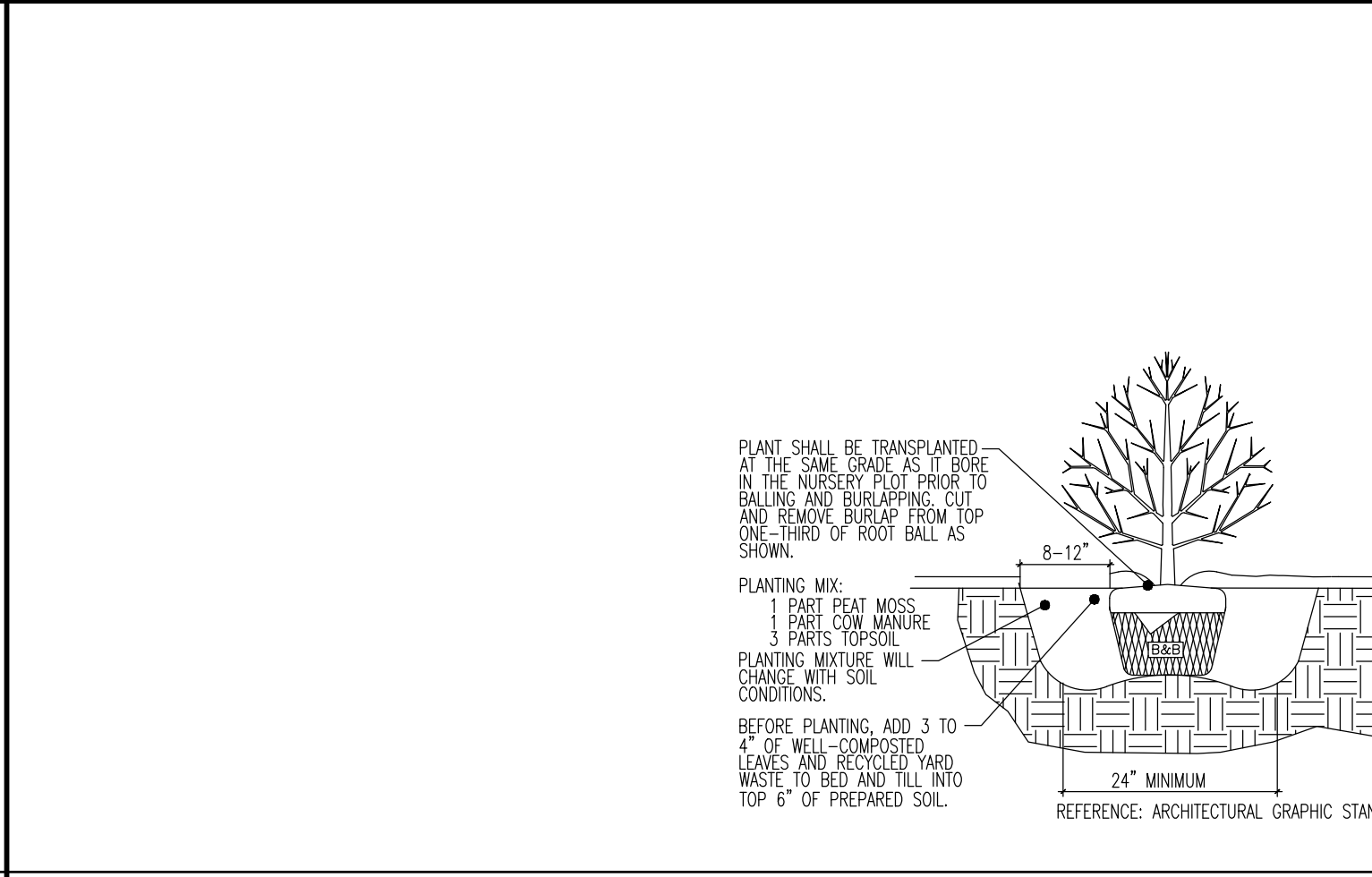
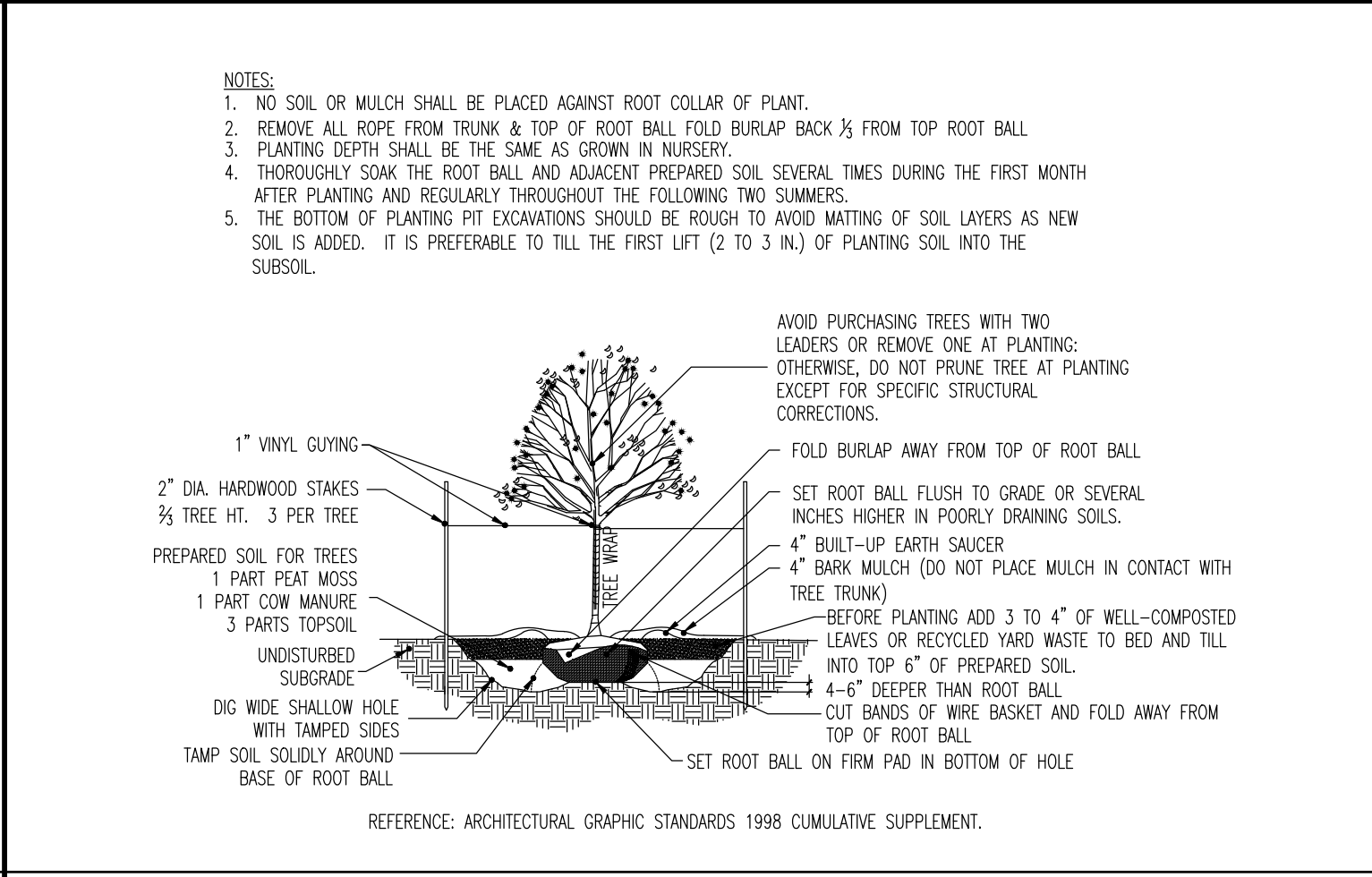
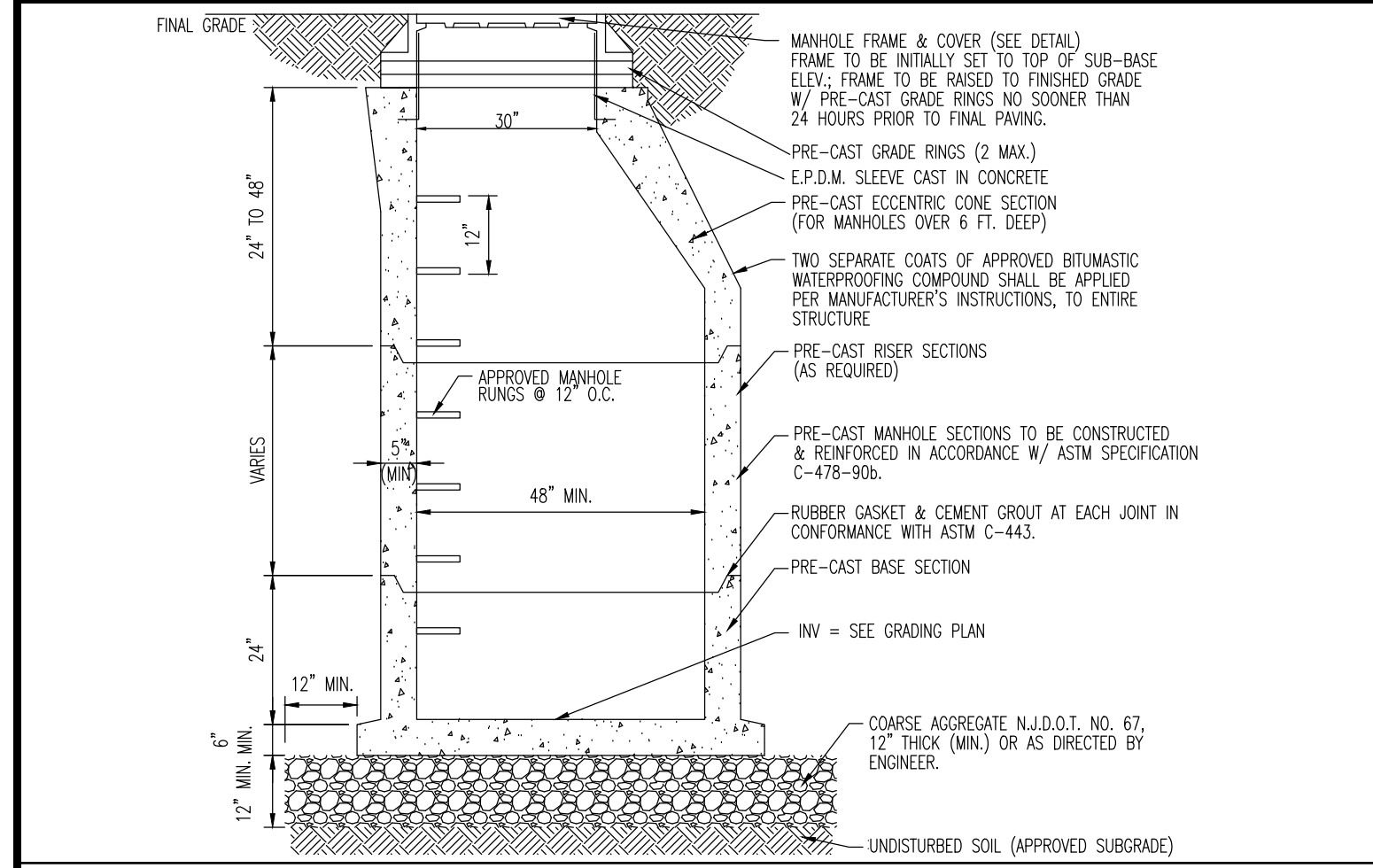
JOSHUA M. SEWALD PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 087639

JOHN A. PALUS PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 087502

PROTECT YOURSELF
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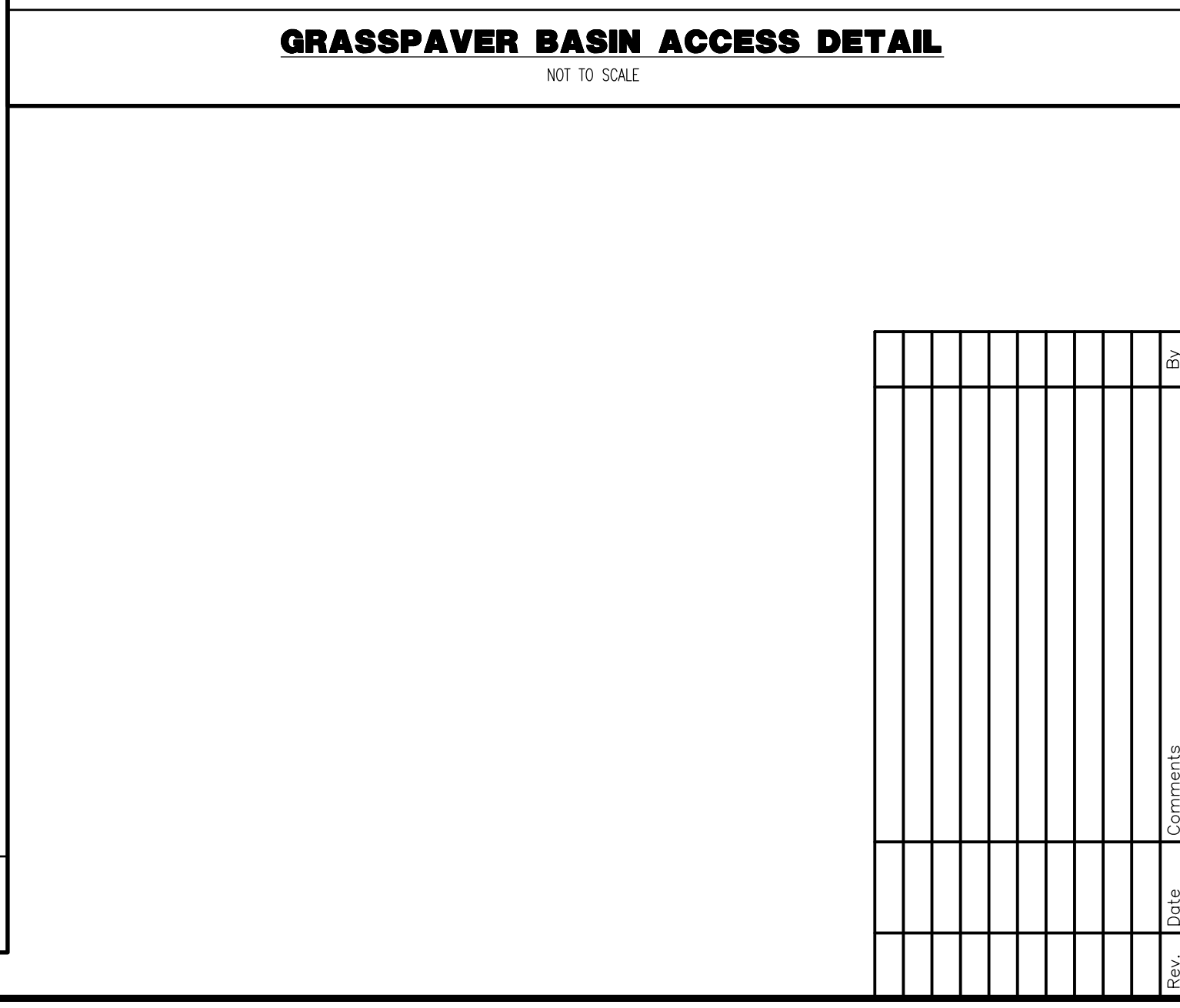
FOR SHEET SET SEE SHEET NUMBER 108
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Plotfile: 10/27/22 - 1151_Alt_Br_mountain.dwg Product Ver: 24.1s (MS Tech) Plot: 2451-99-053 - 11 - SOIL EROSION & SEDIMENT CONTROL PLAN



CONCRETE FLARED END SECTIONS
NOT TO SCALE

INCHES	A	B	C	D	E	LOAD LENGTH (FT)	WEIGHT	WALL THICKNESS (IN)
12	49	24	24	4	13	6.00	530	2
15	46	27	30	6	16	6.08	740	2 1/4
18	46	27	36	9	19	6.08	900	2 1/2
21	38	35	42	9	22	6.08	1280	2 3/4
24	30	44	48	9 1/2	25	6.17	1520	3
27	26	48	54	10 1/2	28	6.17	1930	3 1/4
30	20	54	60	12	31	6.17	2190	3 1/2
36	35	63	72	15	37	8.17	4100	4
42	35	63	72	21	43	8.17	5380	4 1/2
48	26	72	84	24	49	8.17	6550	5
54	35	65	90	27	55	8.33	8940	5 1/2
60	39	60	96	30	61	8.25	8750	6



CONSTRUCTION DETAILS

PROJECT: **HIX SNEDEKER PROPOSED TRACTOR SUPPLY**
BLOCK 1, LOT 7
6287 LEWISTON ROAD
TOWN OF BATAVIA, GENESSEE COUNTY, NEW YORK

JOB NO: 2451-99-053
DATE: 10/28/2022
DRAWN BY: MFZ
DESIGNED BY: MP
CHECKED BY: RJM
DATE: 10/28/2022
SCALE: (H) NOT TO SCALE (V) SCALE
SHEET NO: 14 OF 18

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 087639

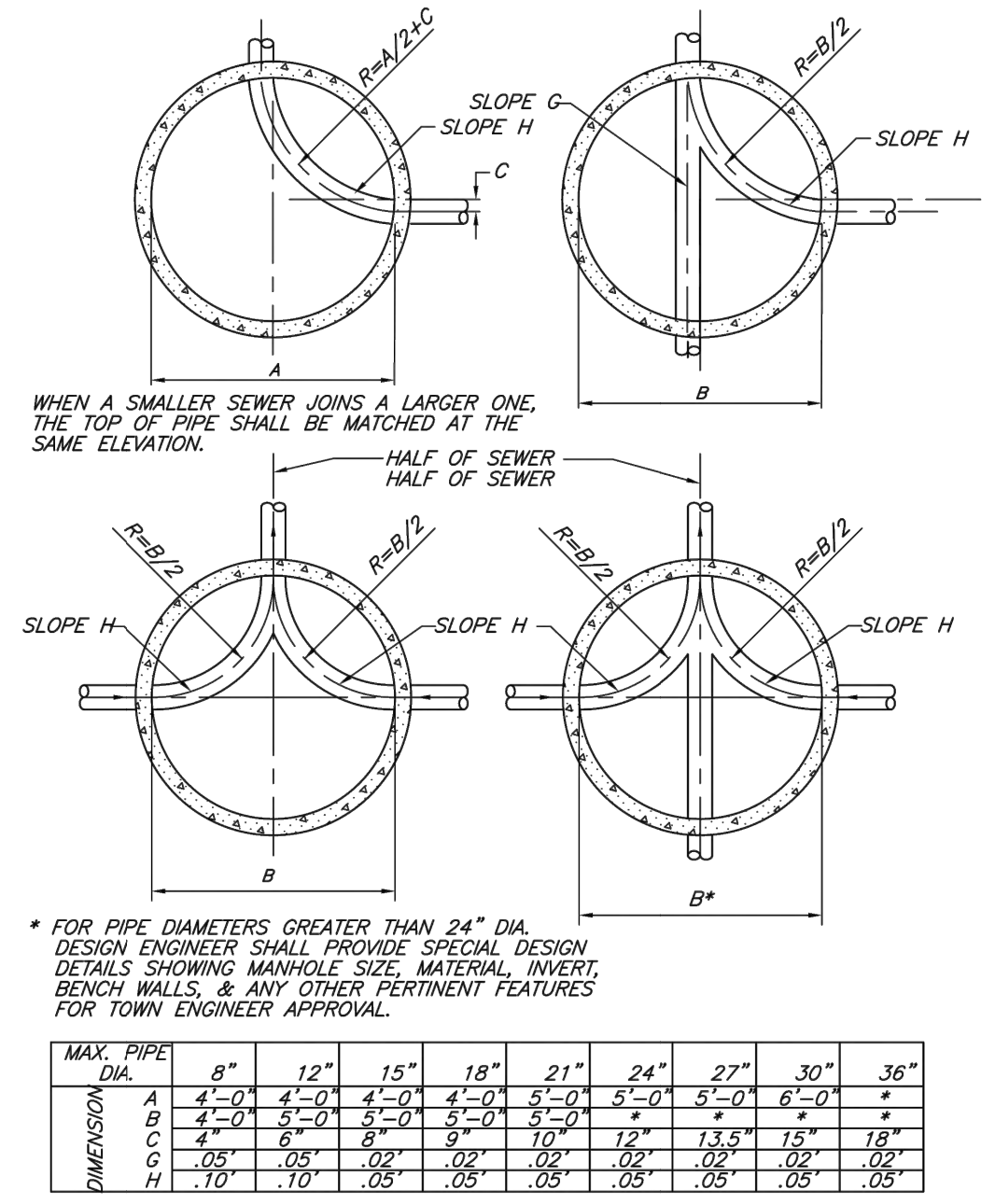
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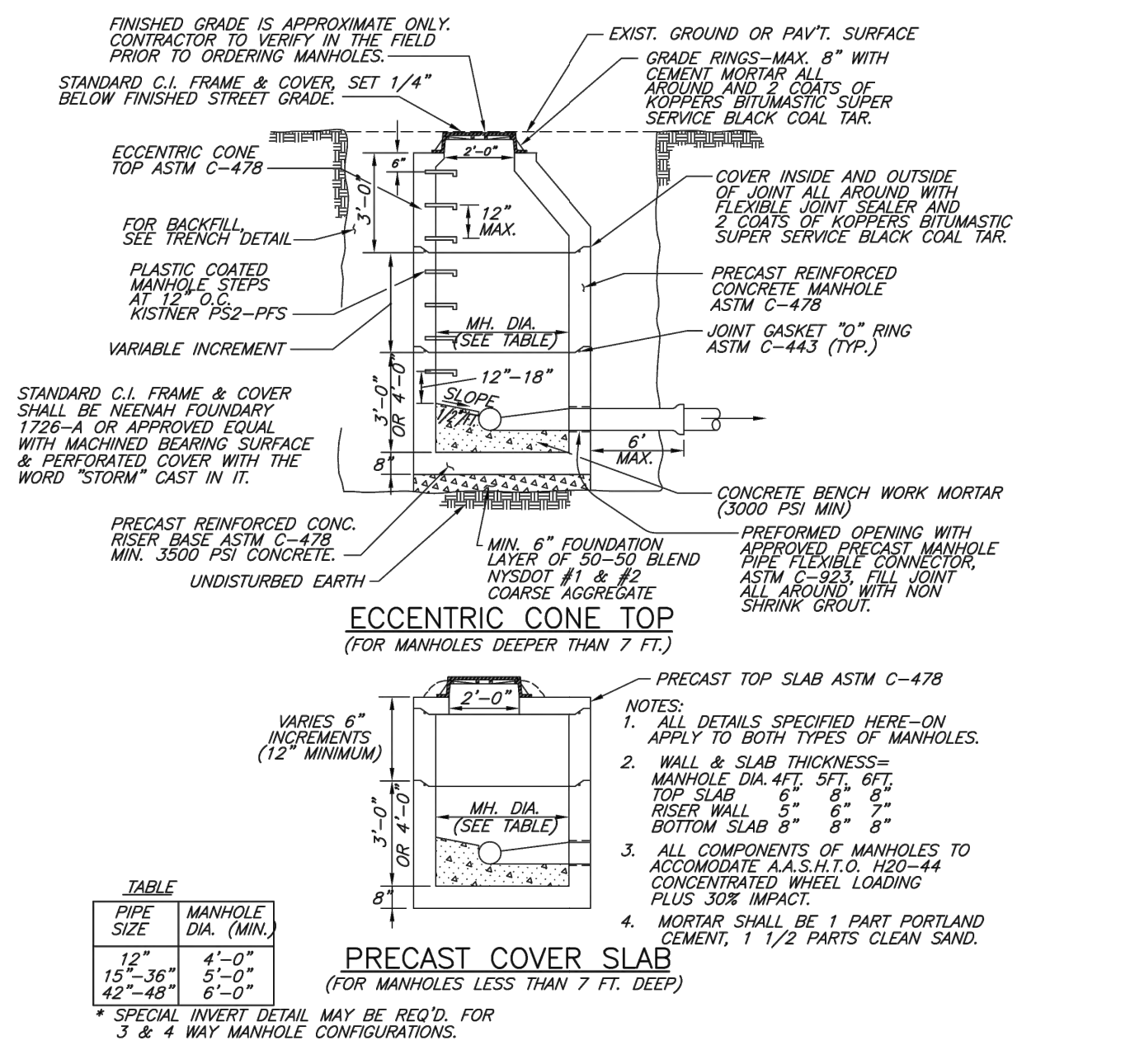
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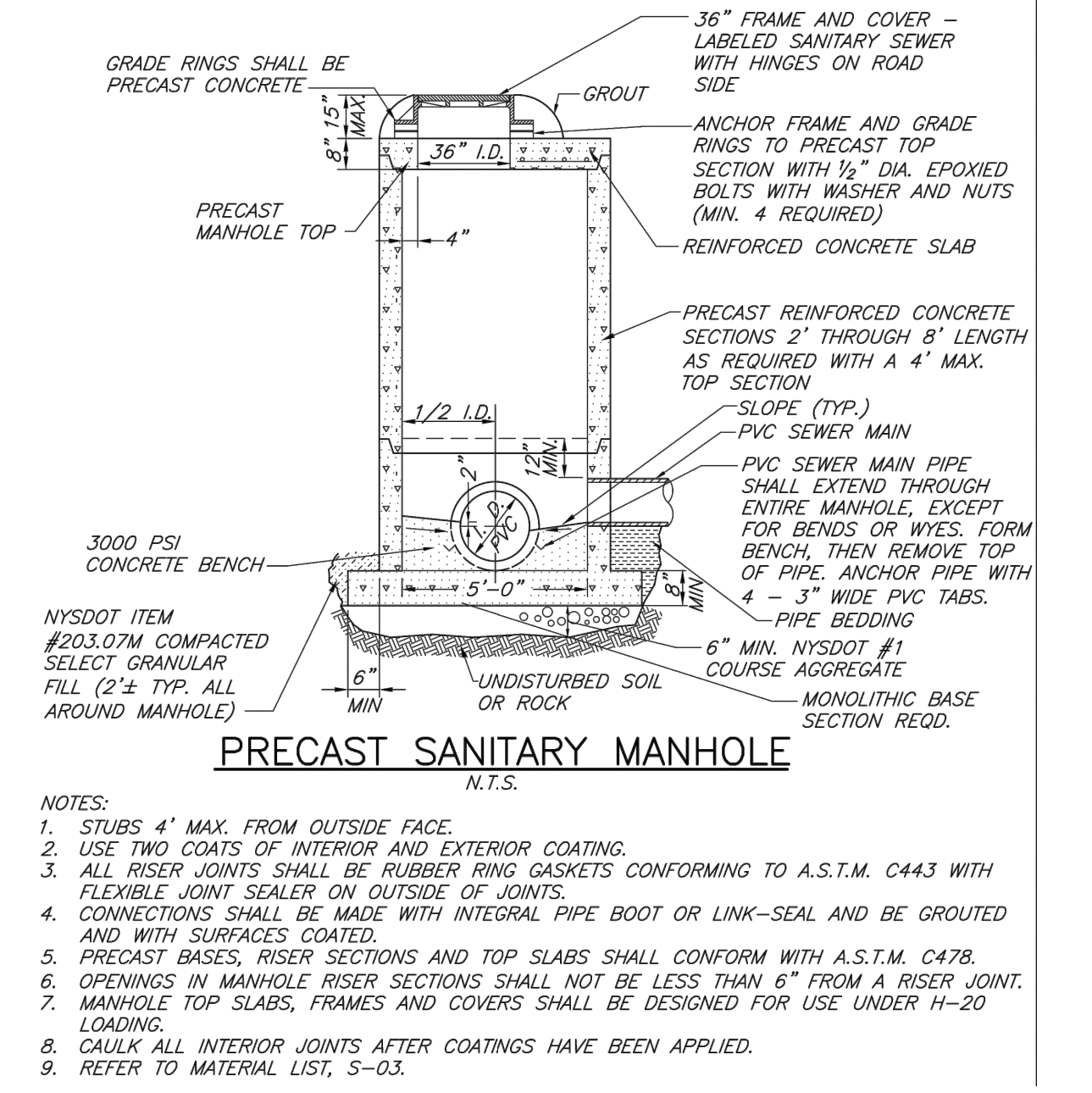
STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER



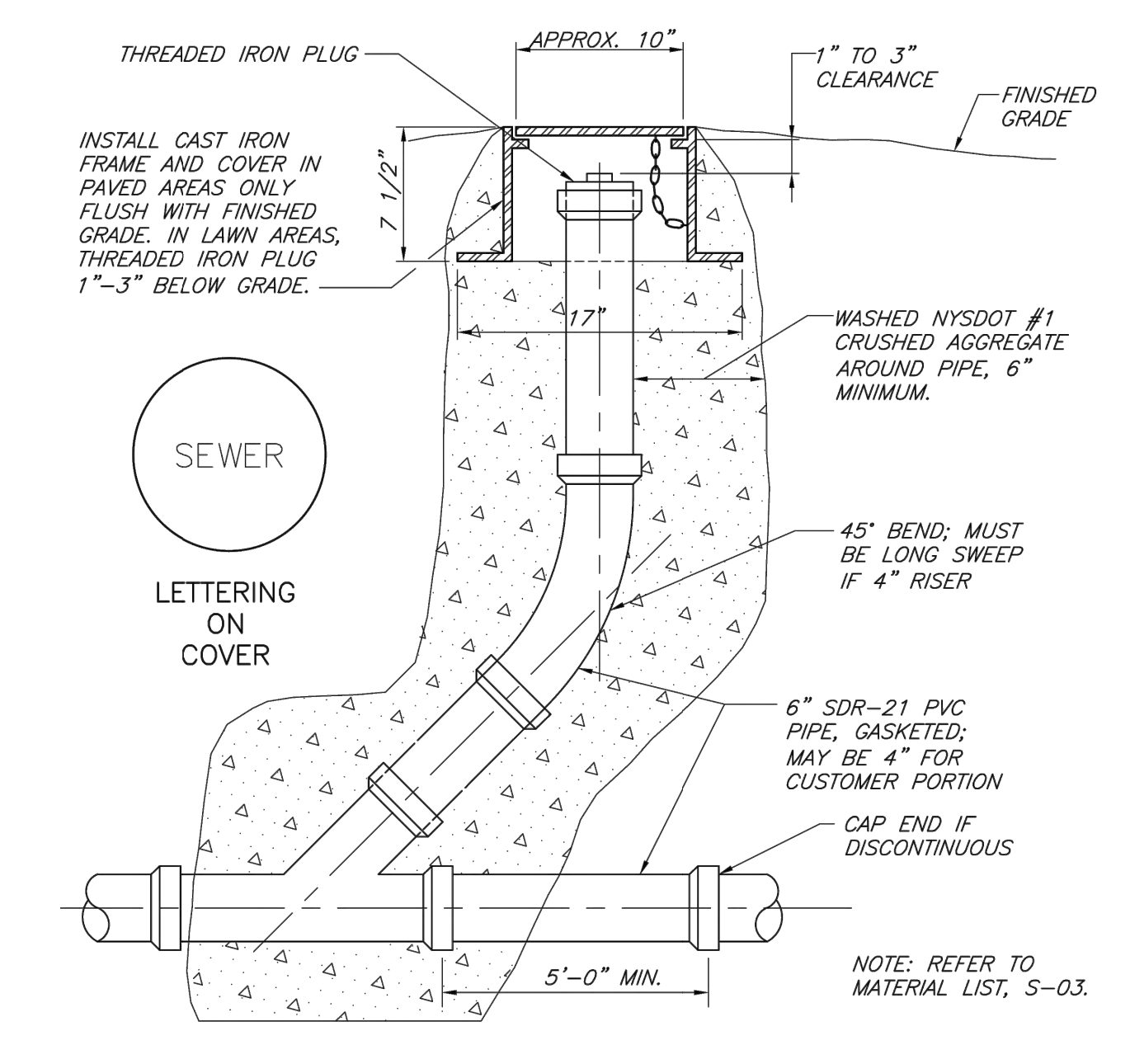
STANDARD STORM SEWER MANHOLE DETAIL
NOT TO SCALE



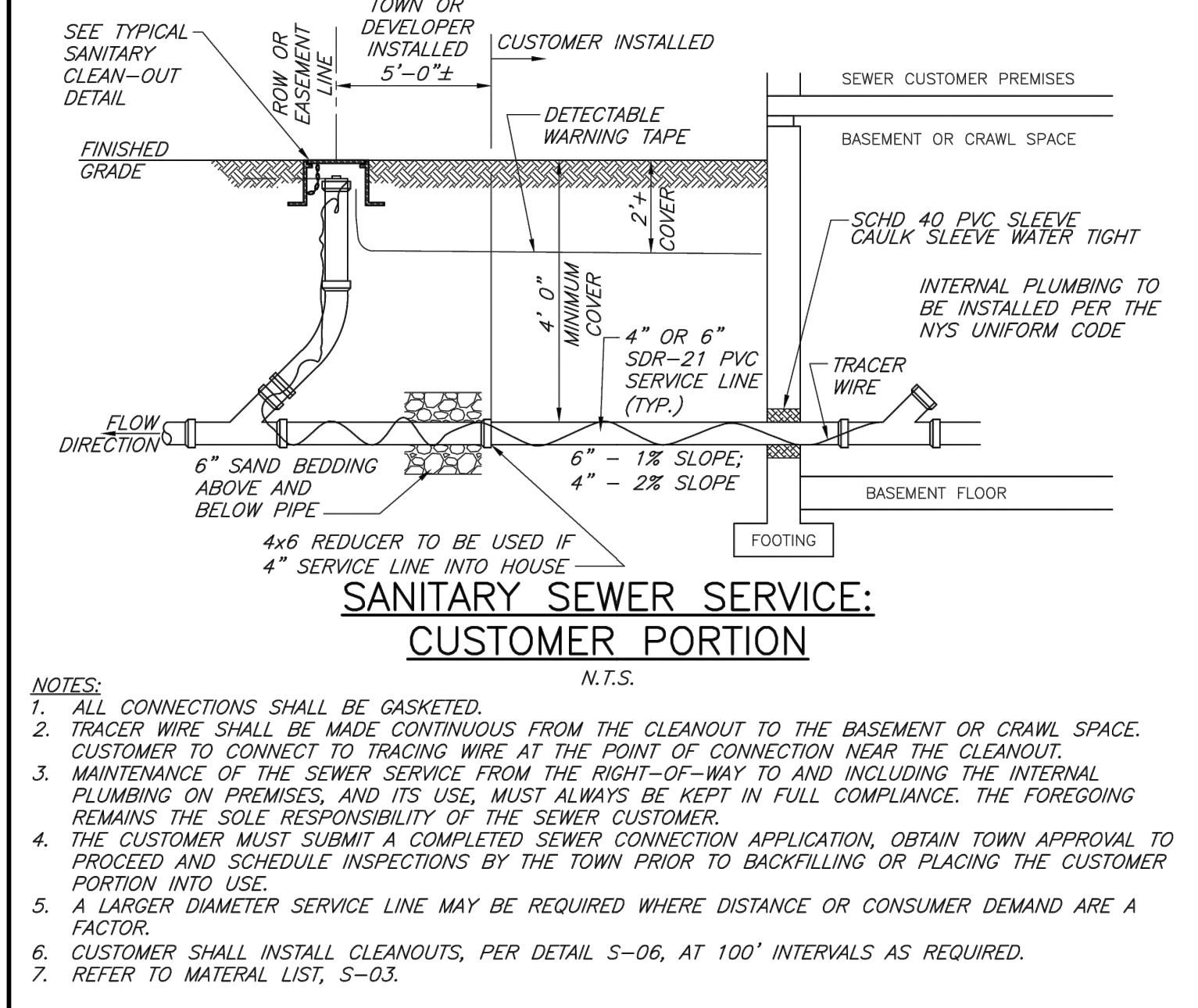
STANDARD STORM MANHOLE DETAIL
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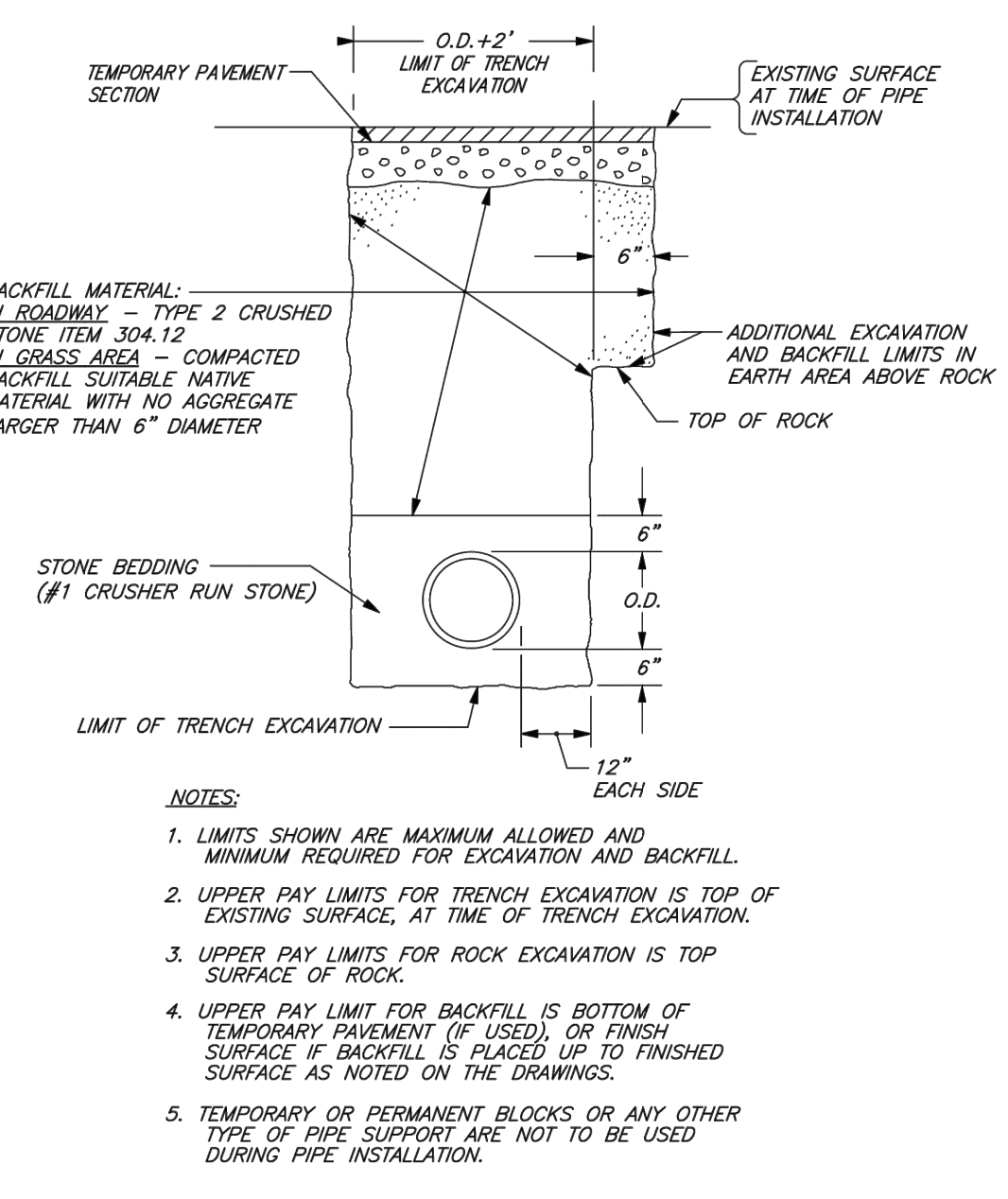
PRECAST SANITARY MANHOLE DETAIL
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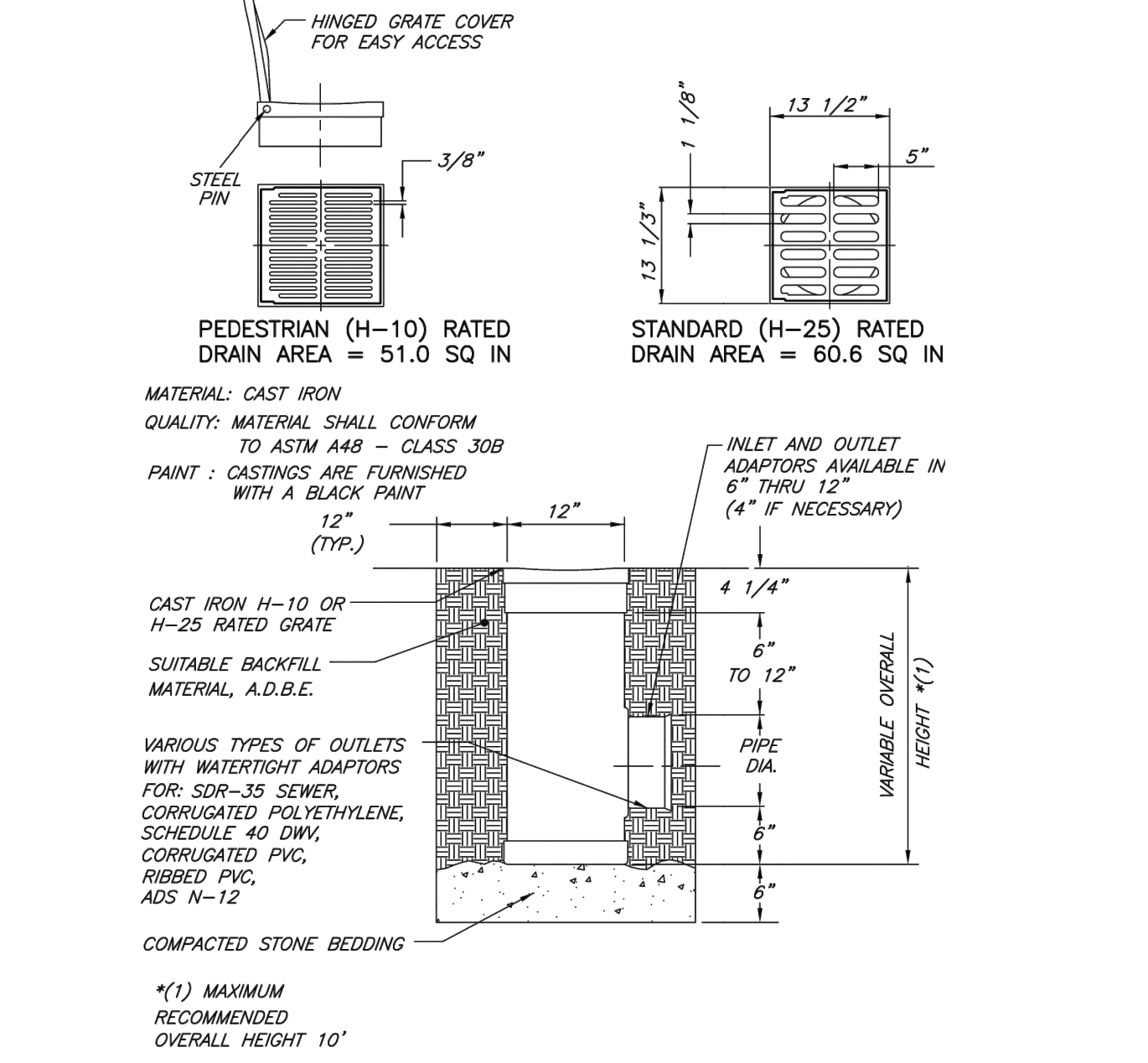
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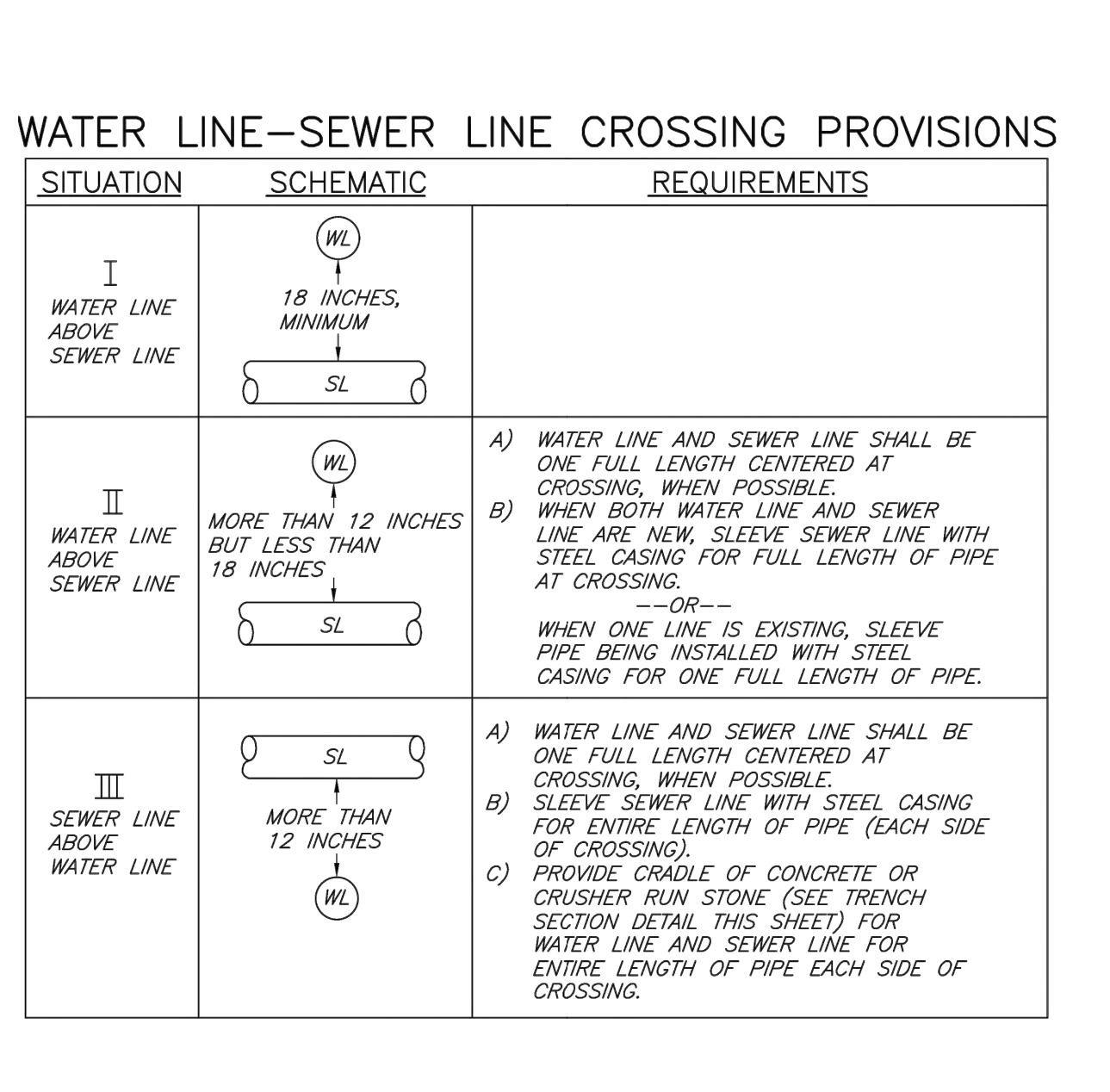
SANITARY SEWER SERVICE DETAIL
NOT TO SCALE



STORM SEWER TRENCH DETAIL
NOT TO SCALE



FIELD INLET DETAIL
NOT TO SCALE



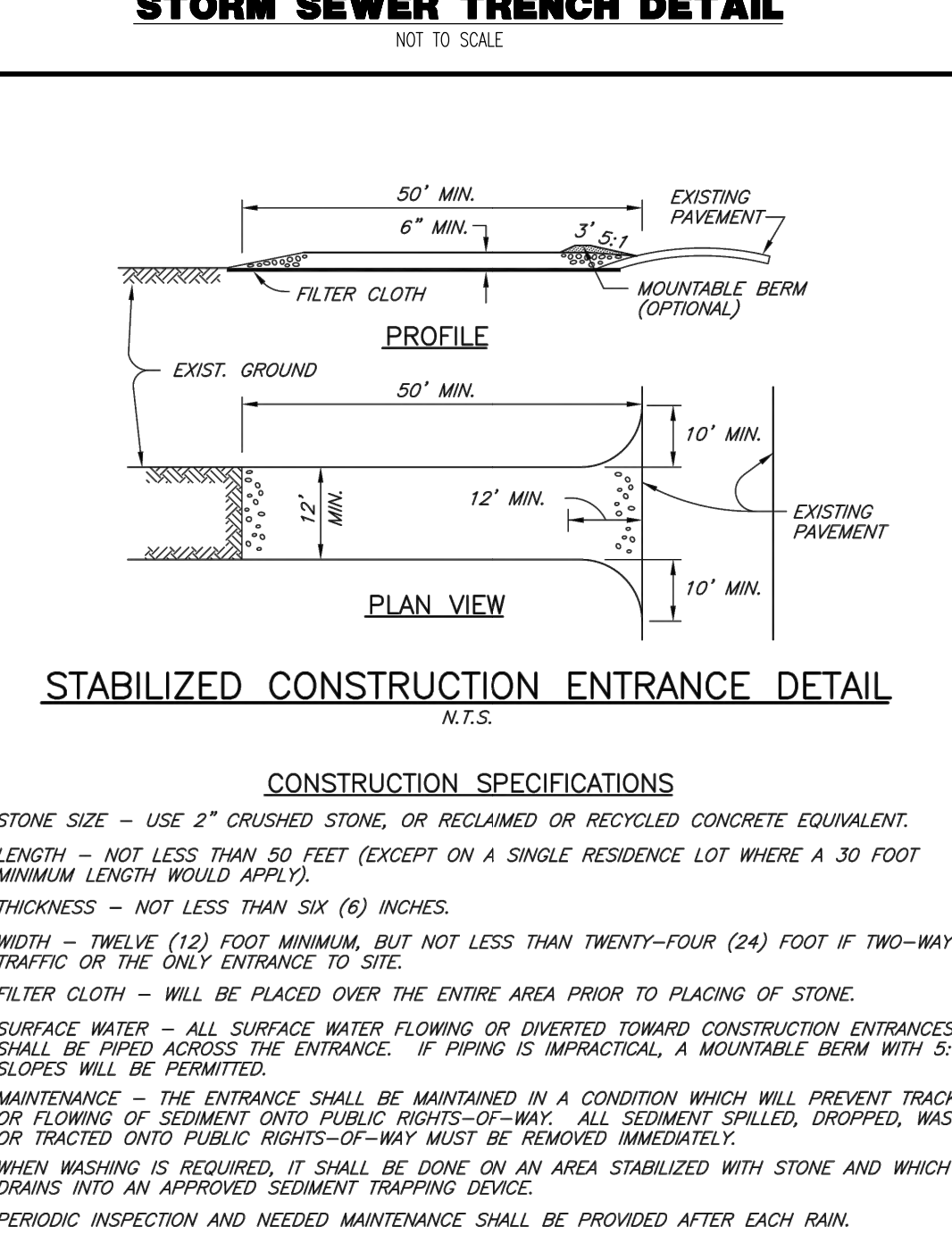
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TOWN OF BATAVIA STANDARD ROADWAY NOTES

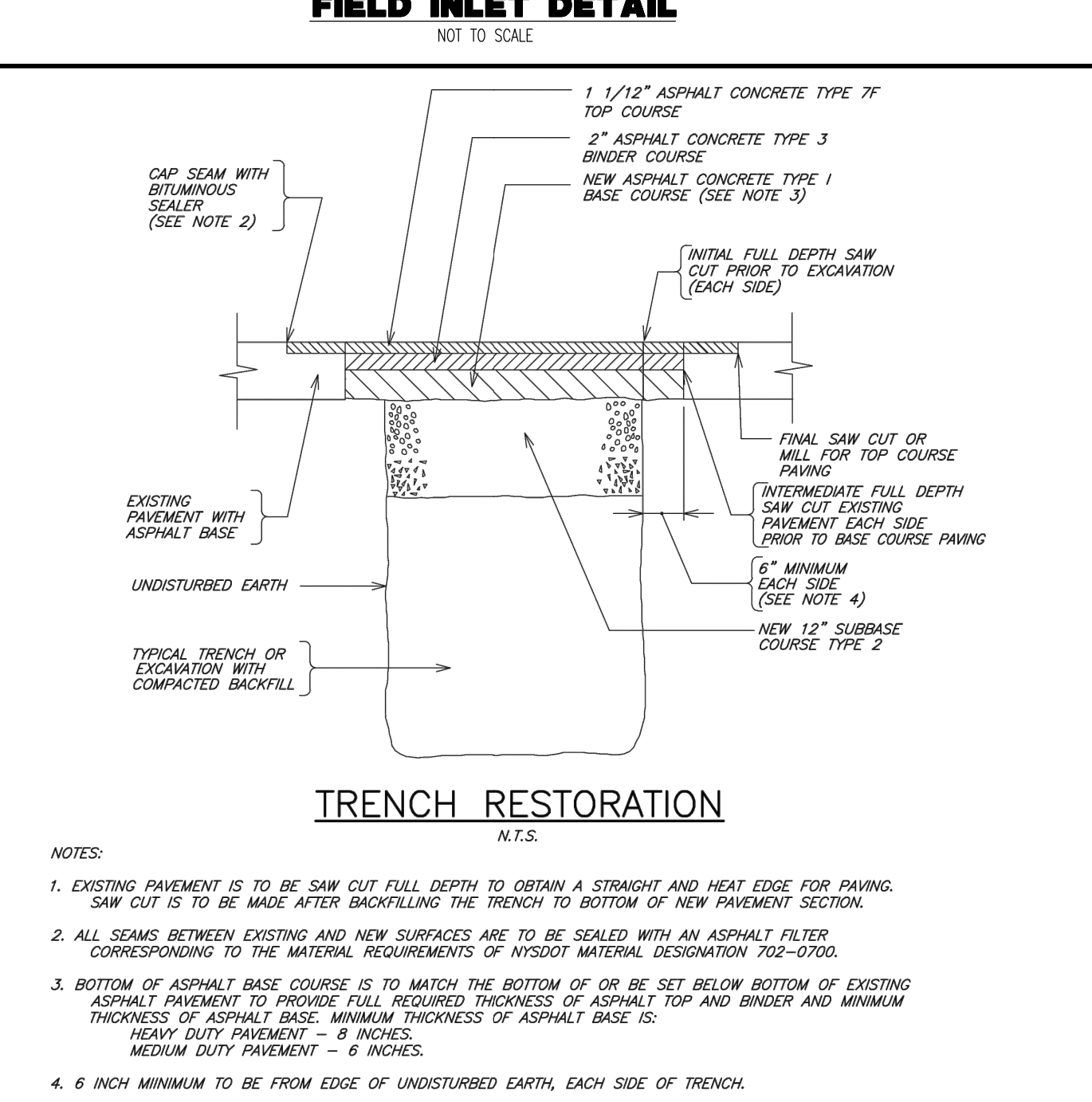
1. WORK ON TOWN ROADS SHALL BE APPROVED BY THE HIGHWAY SUPERINTENDENT OR HIS DESIGNEE.
2. ALL PIPES OR MANHOLE CROSSINGS OF THE ROADWAY SHALL BE DRIVEN BENEATH THE ROADWAY WITHOUT DISTURBANCE TO THE PAVEMENT. THE POINT OF DRIVING SHALL NOT BE LESS THAN TEN (10) FEET FROM THE EDGE OF PAVED SURFACE. SUCH CROSSOVER PIPES SHALL, WHENEVER POSSIBLE, BE ENCLOSED IN SLEEVES OR LARGER PIPES SO THAT REPAIRS OR REPLACEMENTS MAY BE MADE IN THE FUTURE WITHOUT ANY FURTHER DISTURBANCE OF THE ROADWAY PAVEMENT. MINIMUM DEPTH OF COVER OF ALL PIPE SHALL BE 36 INCHES.
3. APPROVALS OF OPEN CUTS WILL BE DETERMINED BY THE TOWN OF BATAVIA HIGHWAY SUPERINTENDENT. BACKFILL OF OPEN CUTS SHALL CONFORM TO TOWN OF BATAVIA TRENCH DETAIL.
4. DURING THE PERFORMANCE OF ALL ROADWORK, GREAT CARE SHALL BE EXERCISED TO PREVENT ANY DAMAGE TO PROPERTY WITHIN AND ADJACENT TO THE TOWN HIGHWAY RIGHT-OF-WAY.
5. ALL LAND MONUMENTS AND PROPERTY MARKS SHALL BE CAREFULLY PROTECTED FROM DISTURBANCES OF ANY NATURE.
6. IF ANY WORK IS NOT PERFORMED TO THE SATISFACTION OF THE TOWN HIGHWAY SUPERINTENDENT OR IS NOT FULLY COMPLETED OR IS OTHERWISE DEFECTIVE, THE CONTRACTOR AGREES THAT THE TOWN HIGHWAY SUPERINTENDENT MAY SATISFACTORILY COMPLETE SAID WORK OR CORRECT ANY DEFECT THEREIN AFTER THE DISCOVERY OF SUCH UNSATISFACTORY OR DEFECTIVE WORK. THE COST OF EXPENSE THEREOF SHALL BE PAID BY THE CONTRACTOR IMMEDIATELY UPON RECEIPT OF A STATEMENT OF SUCH COST OR EXPENSE FROM THE TOWN HIGHWAY SUPERINTENDENT.
7. THE CONTRACTOR AGREES TO HOLD THE TOWN HARMLESS OF DAMAGES OF ANY KIND WHICH MAY ARISE OR OCCUR AS A RESULT OF THE WORK, EITHER DURING THE PROGRESS OF THE WORK OR WITHIN A PERIOD OF FIVE (5) YEARS FROM THE DATE OF SUCH COMPLETION, THE CONTRACTOR ALSO AGREES TO DEFEND THE TOWN AT CONTRACTORS OWN EXPENSE FOR ANY AND ALL ACTIONS INSTITUTED AGAINST THE TOWN TO RECOVER FOR SUCH DAMAGES.
8. IT IS UNDERSTOOD THAT SHOULD FUTURE CHANGES IN THE HIGHWAY CONSTRUCTION OR USE SHOULD MAKE NECESSARY CHANGES IN THE PROPOSED WORK, THE CONTRACTOR SHALL ON REASONABLE NOTICE FROM THE TOWN HIGHWAY SUPERINTENDENT MAKE SUCH NECESSARY CHANGES AT HIS OWN EXPENSE WITHIN THE TIME SO SPECIFIED IN NOTICE.
9. CONTRACTOR MUST TAKE CARE NOT TO INTERFERE WITH DRAINAGE DITCHES OR STRUCTURES.
10. THE INSTALLATION OF UTILITIES, WHEN PERMITTED, MUST BE MADE OUTSIDE OF THE STICH LINE AND AS NEAR THE HIGHWAY RIGHT-OF-WAY AS POSSIBLE OR AS DESIGNATED IN WRITING BY THE TOWN HIGHWAY SUPERINTENDENT.
11. EQUIPMENT WITH CHAINS, STEEL TRACKS, ARMORED TIRES, LUGS, ETC. WILL NOT BE PERMITTED ON THE PAVEMENT AREA.
12. THE CONTRACTOR MUST NOTIFY DW SAFELY NEW YORK, THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (U.F.P.O.) AT 811 AND ANY AFFECTED AGENCIES NOT COVERED BY U.F.P.O. AT LEAST 48 HOURS BEFORE THE START OF ANY WORK.
13. CONTRACTORS OR THEIR EMPLOYEES SHALL NOT PARK ANY PERSONAL OR CONSTRUCTION VEHICLES WITHIN TOWN HIGHWAY RIGHT-OF-WAY AT ANY TIME.

WATER MAIN GENERAL NOTES:

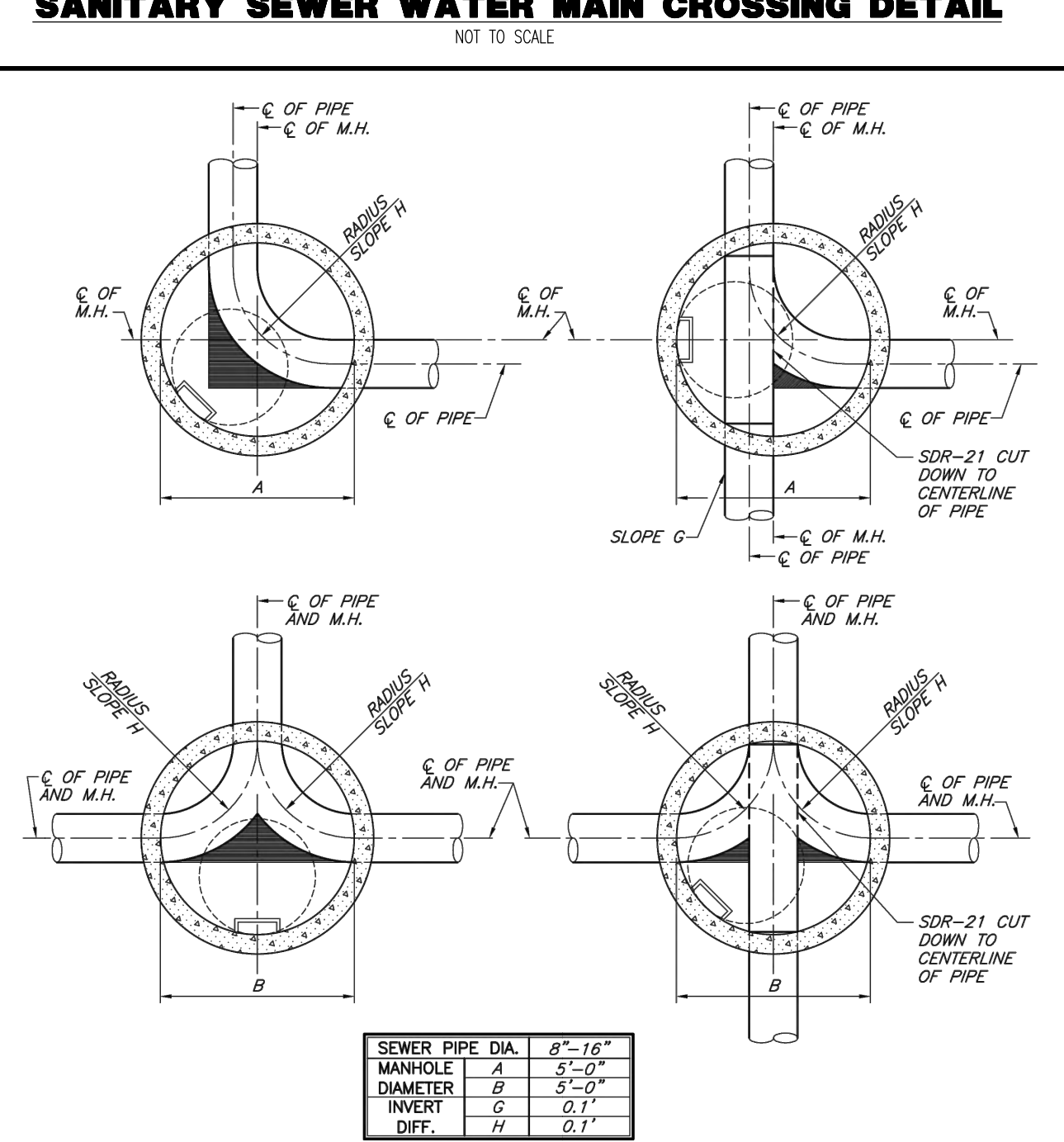
- 1) CONTRACTOR RESPONSIBLE FOR VERIFYING, BEFORE CONSTRUCTION, THAT THE LATEST STANDARD DETAILS ARE BEING USED, AS POSTED ON THE TOWN OF BATAVIA WEBSITE.
- 2) ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH NYSDOH, LOCAL DOH, NYSDOT, OSHA, AND TOWN REQUIREMENTS.
- 3) SHEETING, IF NECESSARY, WILL BE AS REQUIRED BY N.Y.S.D.O.T., COUNTY, OR ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
- 4) THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES, SERVICES, SEWERS AND LATERALS AHEAD OF PIPE LAYING OR OTHER WORK THEREAFTER SO THAT ANY ADJUSTMENTS MUST BE MADE IN ELEVATION AND/OR ALIGNMENT, DUE TO INTERFERENCE. THESE CHANGES CAN BE MADE IN ADVANCE OF THE WORK.
- 5) MINIMUM COVER ON ALL NEW WATER MAIN IN LAWN, FIELDS, AND DRIVES SHALL BE FIVE (5) FEET MEASURED FROM FINISH GROUND SURFACE EXCEPT AS OTHERWISE SPECIFIED. MINIMUM COVER ON ALL NEW WATER MAIN IN ROADS SHALL BE SIX (6) FEET MEASURED FROM THE FINISH GROUND SURFACE EXCEPT OTHERWISE NOTED.
- 6) WHERE THE CLEARANCE BETWEEN THE WATER MAIN AND ANY EXISTING UTILITY OR SERVICE CONNECTIONS IS LESS THAN ONE (1) FOOT, NYSDOT ITEM #20.00M SELECT GRANULAR FILL SHALL BE PROVIDED.
- 7) ALL FITTINGS SHALL BE BACKED UP WITH 3,000 PSI CONCRETE TIGHT BLOCK.
- 8) HIGHWAY DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION. THE ROADS SHALL BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE TO HIGHWAYS.
- 9) SAFE AND CONTINUOUS THROUGH TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT OWNER DRIVEWAYS, SERVICE ROADS AND PUBLIC STREETS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION.
- 10) THE OWNER WILL OBTAIN ALL NECESSARY EASEMENTS OR PERMITS.
- 11) THE CONTRACTOR SHALL LOCATE, FLAG AND PRESERVE SURVEY MONUMENTS AND PROPERTY CORNER MARKERS. THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR ESTABLISH ALL PROPERTY CORNERS OR MONUMENTS DISTURBED DURING CONSTRUCTION.
- 12) WHEN INSTALLING HYDRANTS OR BLOW-OFFS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN 7 FEET OF THE FINISH GRADE, KEEP HOLES (DRAINS) SHALL BE PLUGGED AND PUMPER CONNECTION PAINTED BLUE.
- 13) MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPE AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPE (INCLUDING MANHOLES AND VALVES) SHALL BE 2 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VALVES. ONE FULL STANDARD LIVING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH SIDES WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER THE SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS AND SETTLING TO THE SEWER ON THE WATER MAIN.
- 14) WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- 15) ALL ASPHALT DRIVES CROSSED BY THE WATER MAIN INSTALLATION SHALL BE SAW CUT AT THE LIMIT OF THE DISTURBED AREA AND RECONSTRUCTED IN ACCORDANCE WITH THE TOWN OF BATAVIA STANDARD DETAILS.
- 16) ALL CONCRETE SIDEWALKS CROSSED BY THE WATER MAIN INSTALLATION SHALL BE SAW CUT.
- 17) A CRITICAL RESPONSIBILITY OF THE CONTRACTOR: EROSION CONTROL. DEVICES SHALL BE ESTABLISHED PRIOR TO COMMENCING WORK.
- 18) ALL EXISTING UTILITY LINES AND SERVICE LATERALS NEAR OR CROSSING THE NEW WATER MAIN SHALL BE PROTECTED, PRESERVED AND SUPPORTED AS NECESSARY.
- 19) UTILITY POLES SHALL BE SUPPORTED, WHERE NECESSARY.
- 20) CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL TREES, FENCES AND OTHER OBSTACLES WITHIN THE RIGHT OF WAY AND EASEMENT. WHEN IN PROXIMITY OF TREES, DRILL UNDER TREES, PER TOWN OF BATAVIA.
- 21) PROTECTION OF NEW OR EXISTING WORK SHEETING OR SHORING, IF REQUIRED DURING CONSTRUCTION, SHALL BE PROVIDED.
- 22) WHENEVER MANHOLES, POSTS, FENCES, SHRUBBERY, ETC. ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THEY SHALL BE REMOVED AND RESET AS NECESSARY.
- 23) CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF EXCAVATED MATERIAL FROM THE SITE. DISPOSAL WITHIN THE TOWN OF BATAVIA REQUIRES A FILL PERMIT.
- 24) THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF ANY APPLICABLE EASEMENTS.
- 25) THE CONTROL OF DUST ORIGINATING FROM THE CONSTRUCTION OPERATIONS IS CONSIDERED A CRITICAL RESPONSIBILITY OF THE CONTRACTOR. THE WATER SYSTEM OPERATOR WILL BE THE FINAL JUDGE OF THE ADEQUACY OF THE CONTRACTORS DUST CONTROL EFFORTS, AND WORK MAY BE SUSPENDED BY THE TOWN UNTIL ADEQUATE DUST CONTROL IS ATTAINED.
- 26) THE CONTRACTOR SHALL PERFORM WATER LEAKAGE TESTING IN ACCORDANCE WITH ANNA STANDARD C600.
- 27) THE CONTRACTOR SHALL DISINFECT THE INSTALLED WATER LINE IN ACCORDANCE WITH ANNA STANDARD C651.



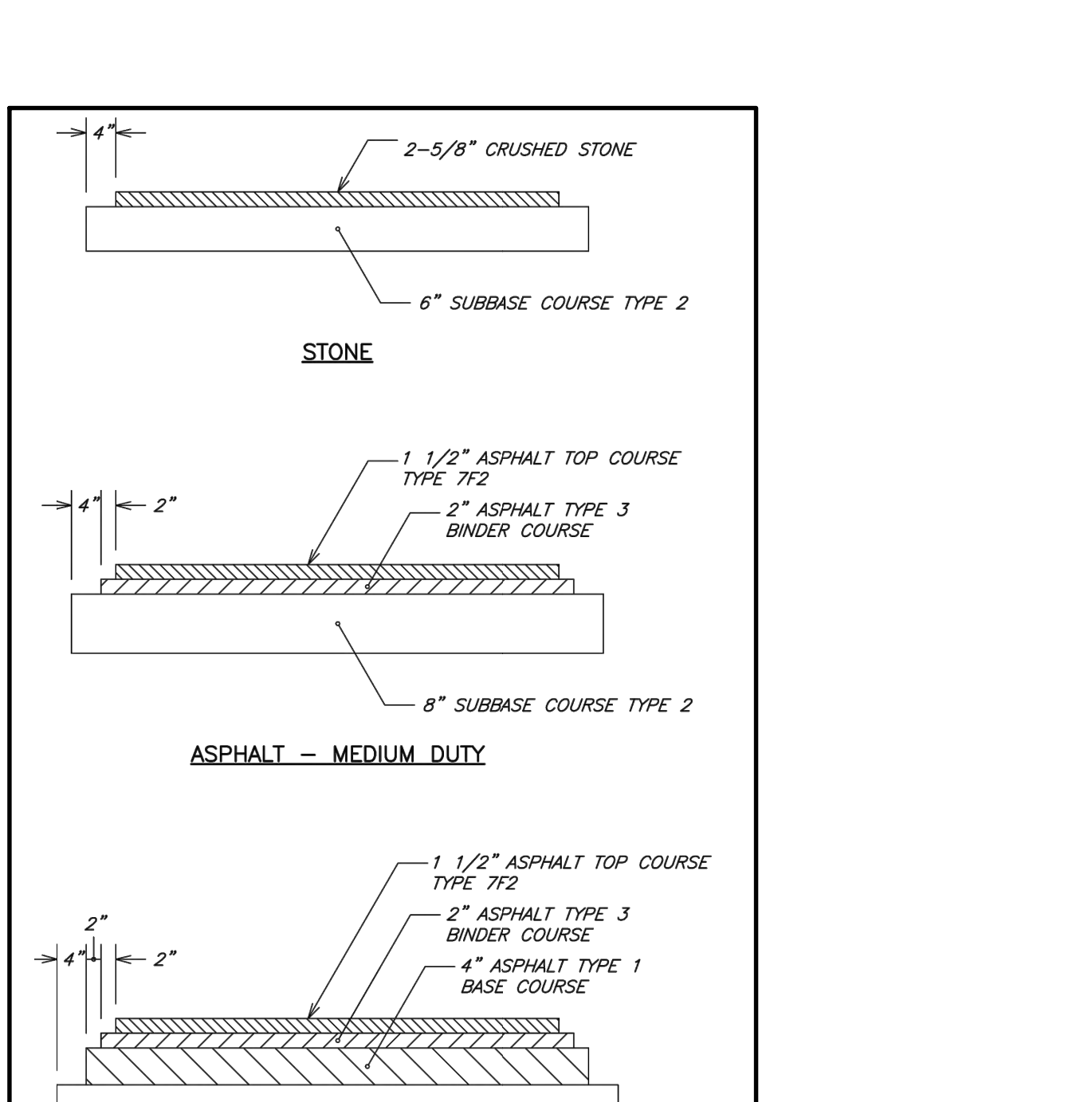
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



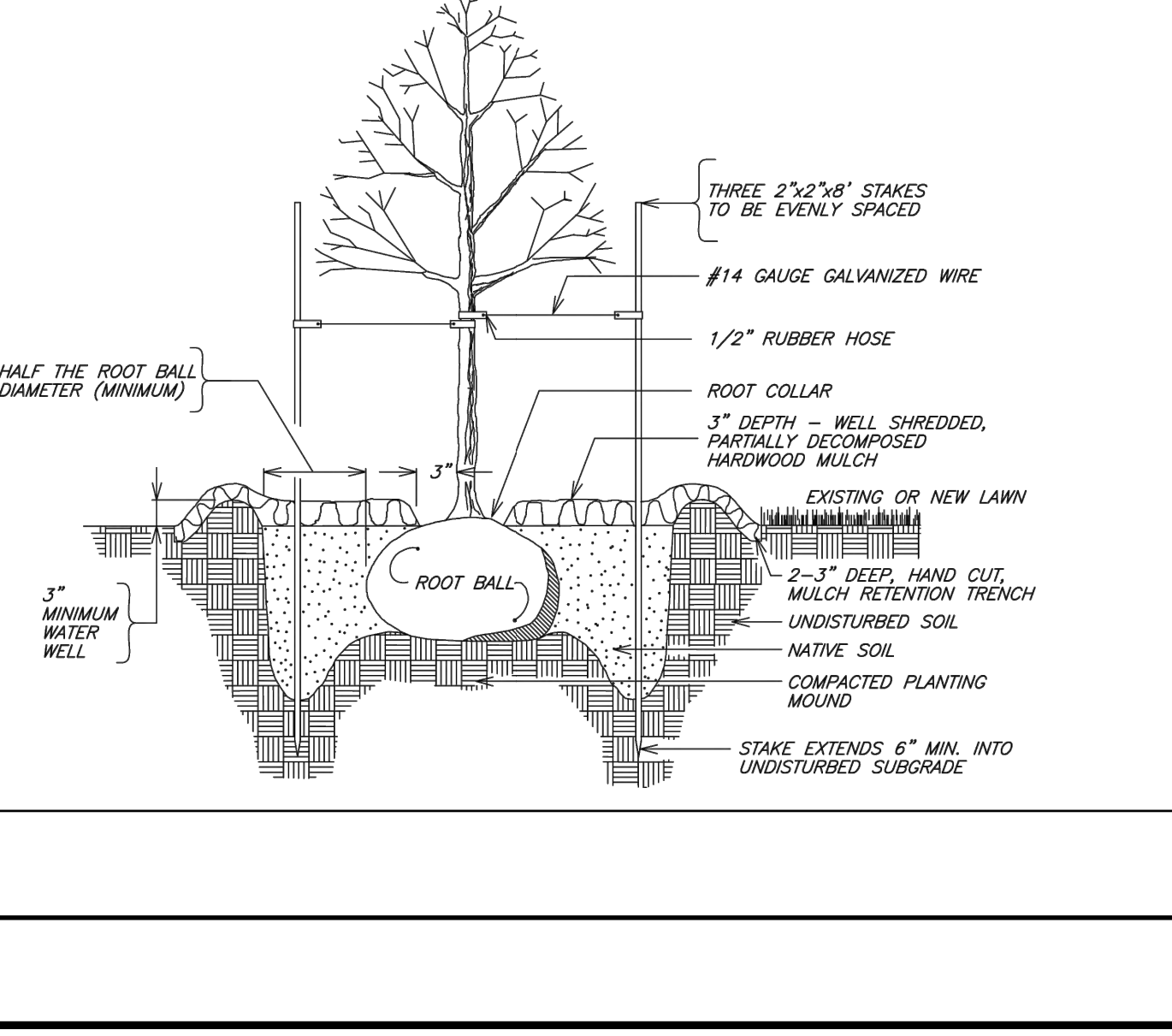
TRENCH RESTORATION DETAIL
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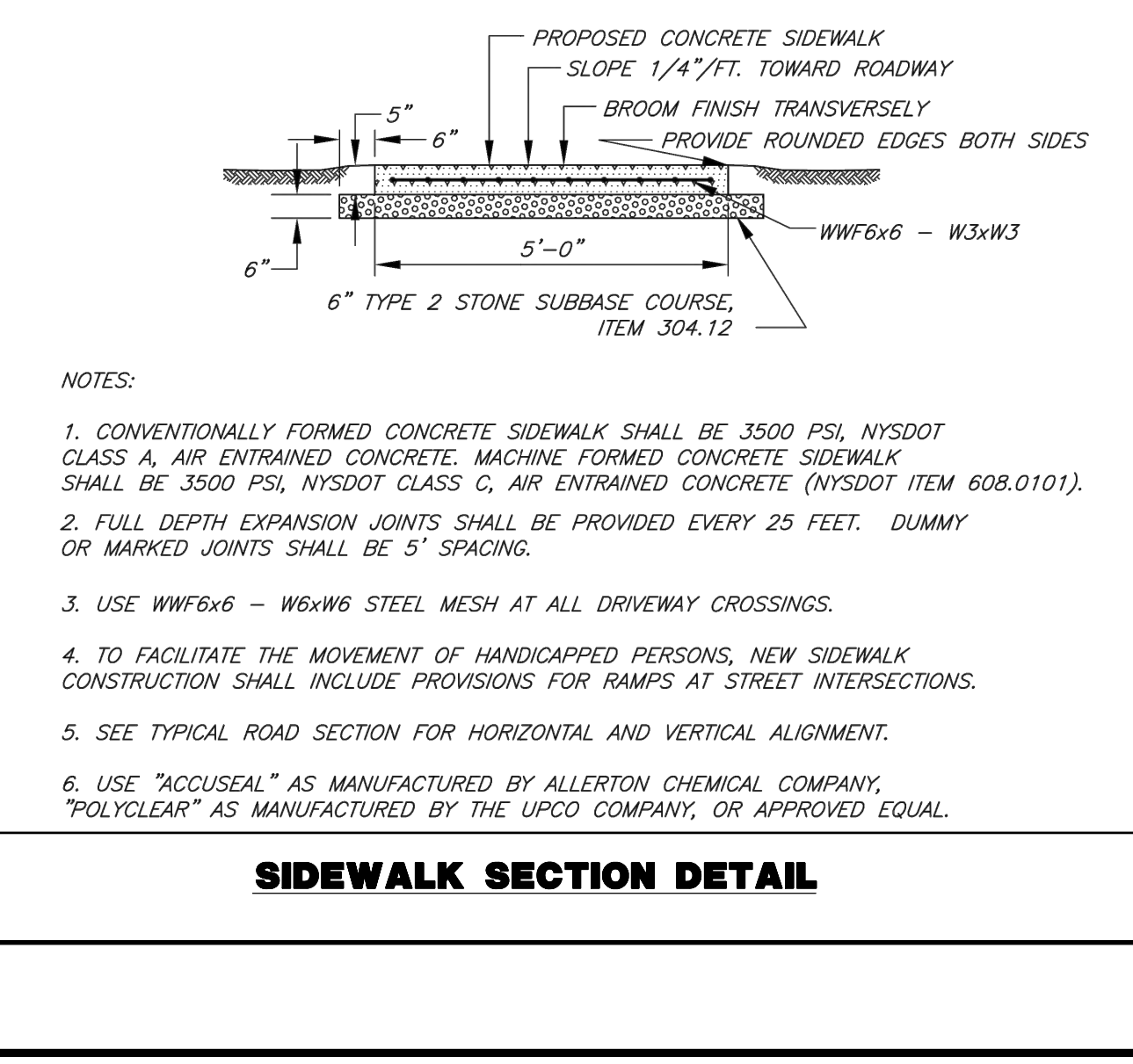
STANDARD MANHOLE DIMENSIONS DETAIL
NOT TO SCALE



DRIVEWAY SECTION DETAIL
NOT TO SCALE



SIDEWALK SECTION DETAIL
NOT TO SCALE



SIDEWALK SECTION DETAIL
NOT TO SCALE

APPROVAL SIGNATURE:
STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER

APPROVAL SIGNATURE:
DATE

APPROVAL SIGNATURE:
DATE

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TITLE: **TOWN NOTES & DETAILS**

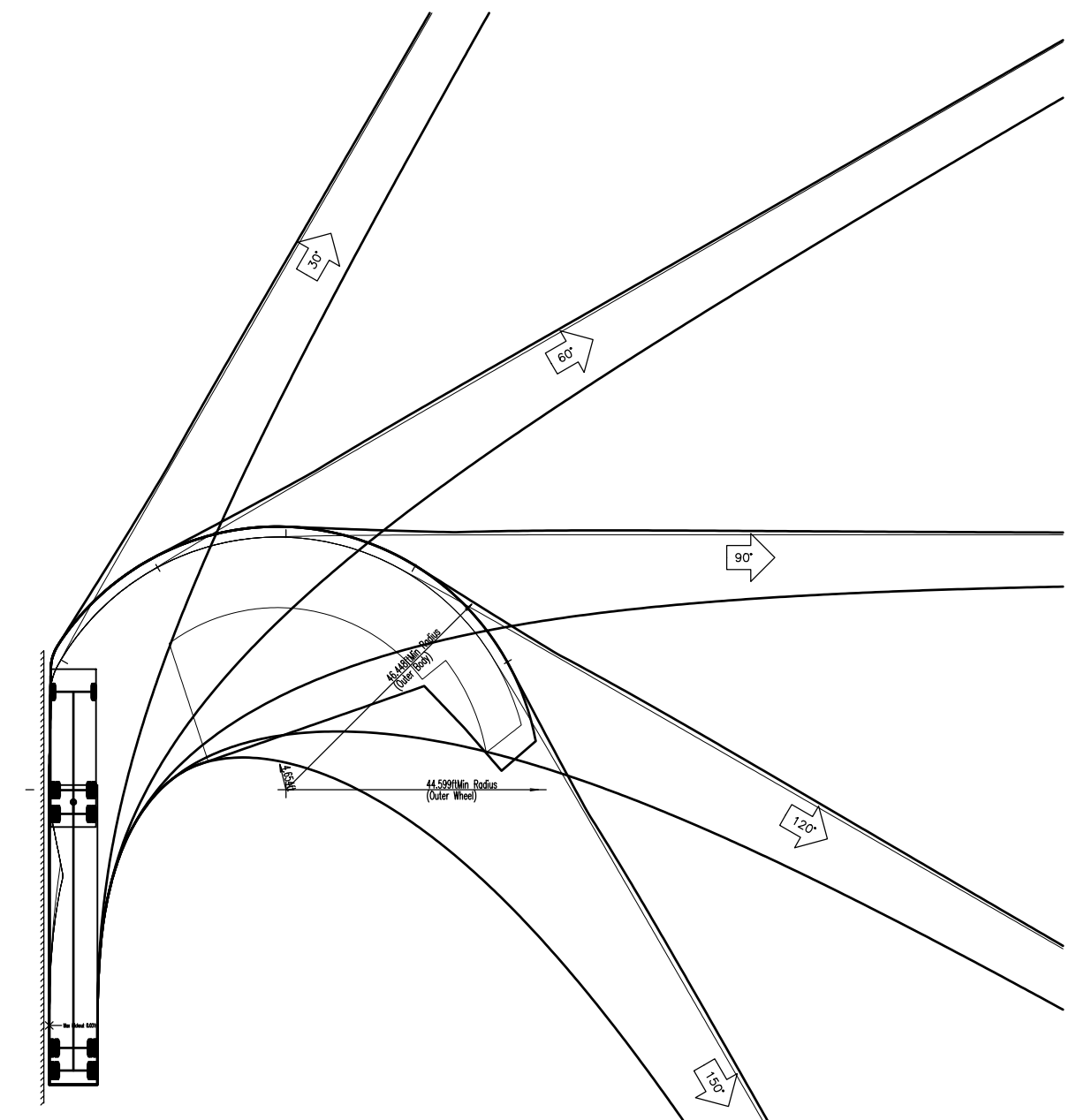
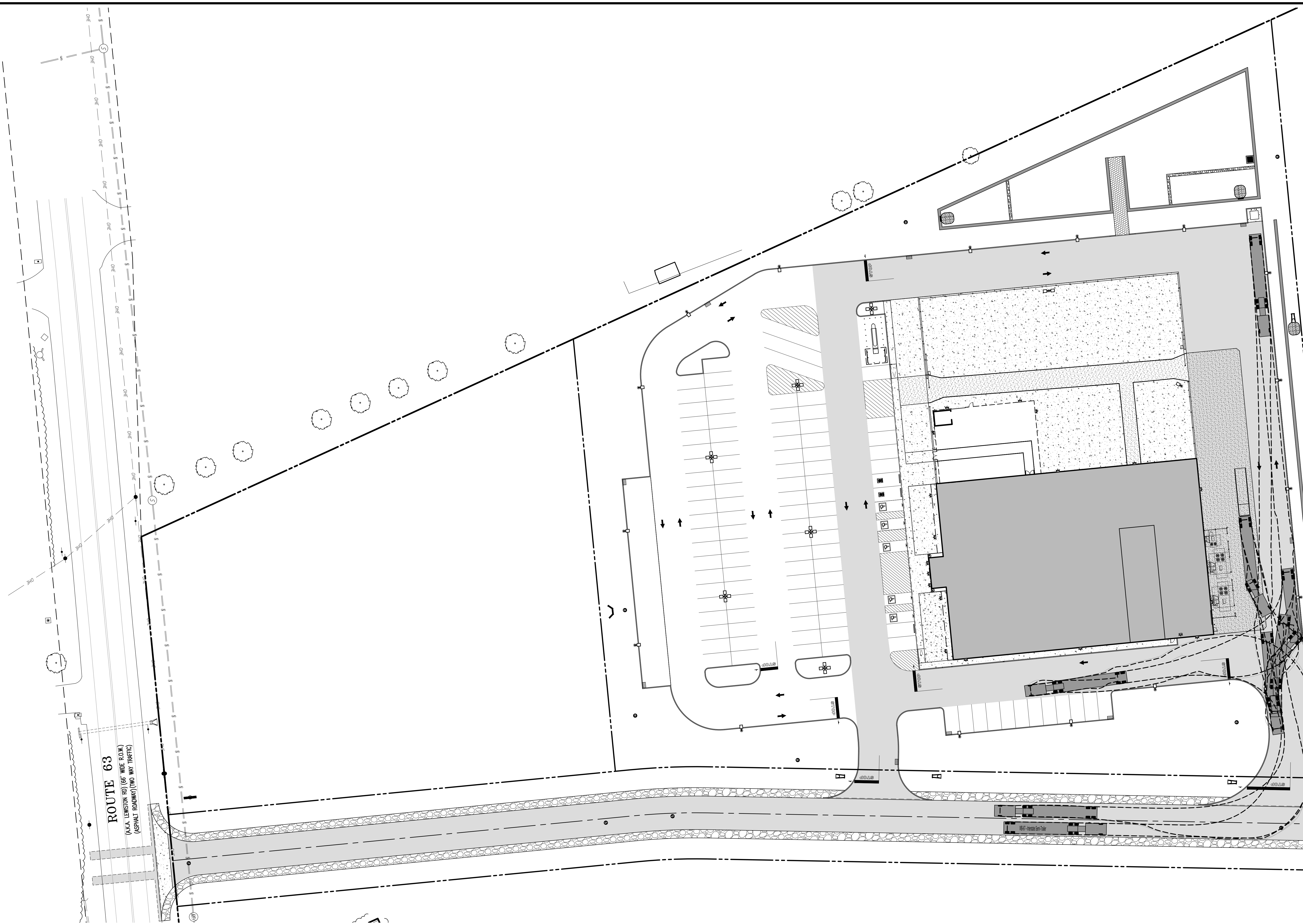
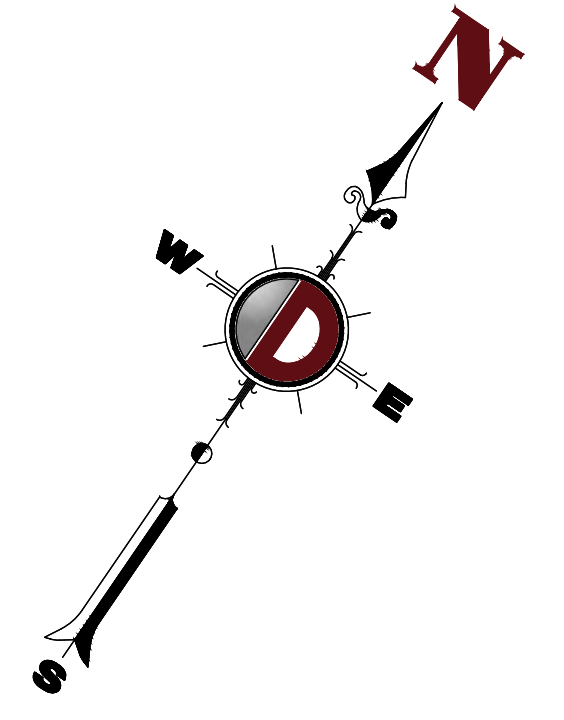
PROJECT: **HIX SNEDEKER PROPOSED TRACTOR SUPPLY**

BLOCK 1, LOT 7
6287 LEWISTON ROAD
TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

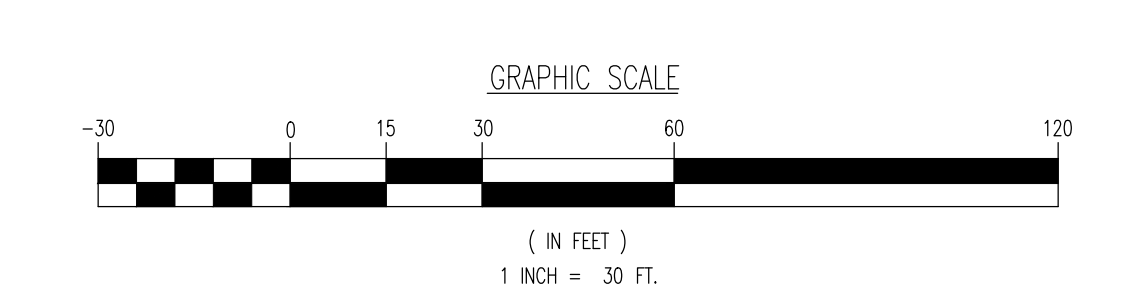
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PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 097639

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 087502

JOB No: 2451-99-053
DATE: 10/28/2022
DRAWN BY: MFZ
DESIGNED BY: MP
CHECKED BY: RJM
SHEET No: 16 OF 18



Vehicle	Min. Wheelbase	Min. Overall Length	Min. Overall Width	Min. Overall Height	Min. Turning Radius
17' Vehicle	10.0'	25.0'	7.5'	7.5'	35.0'



ROUTE 63
 (A.K.A. LEWISTON RD) (65 WIDE ROAD)
 (ASPHALT ROADWAY) (NO MAX TRAFFIC)

Product Ver: 24.1s (MS Tech)
 Plot Date: 10/27/22 - 11:52 AM By: msremat@dynamic.com
 Project Path: C:\Users\msremat\OneDrive\Documents\2022\2451-99-053\2451-99-053.dwg
 Plot Path: C:\Users\msremat\OneDrive\Documents\2022\2451-99-053\2451-99-053.dwg
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APPROVAL SIGNATURE:
 STEVEN J. MOUNTAIN, P.E.
 TOWN OF BATAVIA - TOWN ENGINEER

DATE

Rev.	Date	Comments

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 Newtown, Pennsylvania T 484 855 0274 | Philadelphia, Pennsylvania T 215 233 4888 | Bethlehem, Pennsylvania T 610 398 4400

TITLE: **VEHICLE CIRCULATION (DELIVERY)**

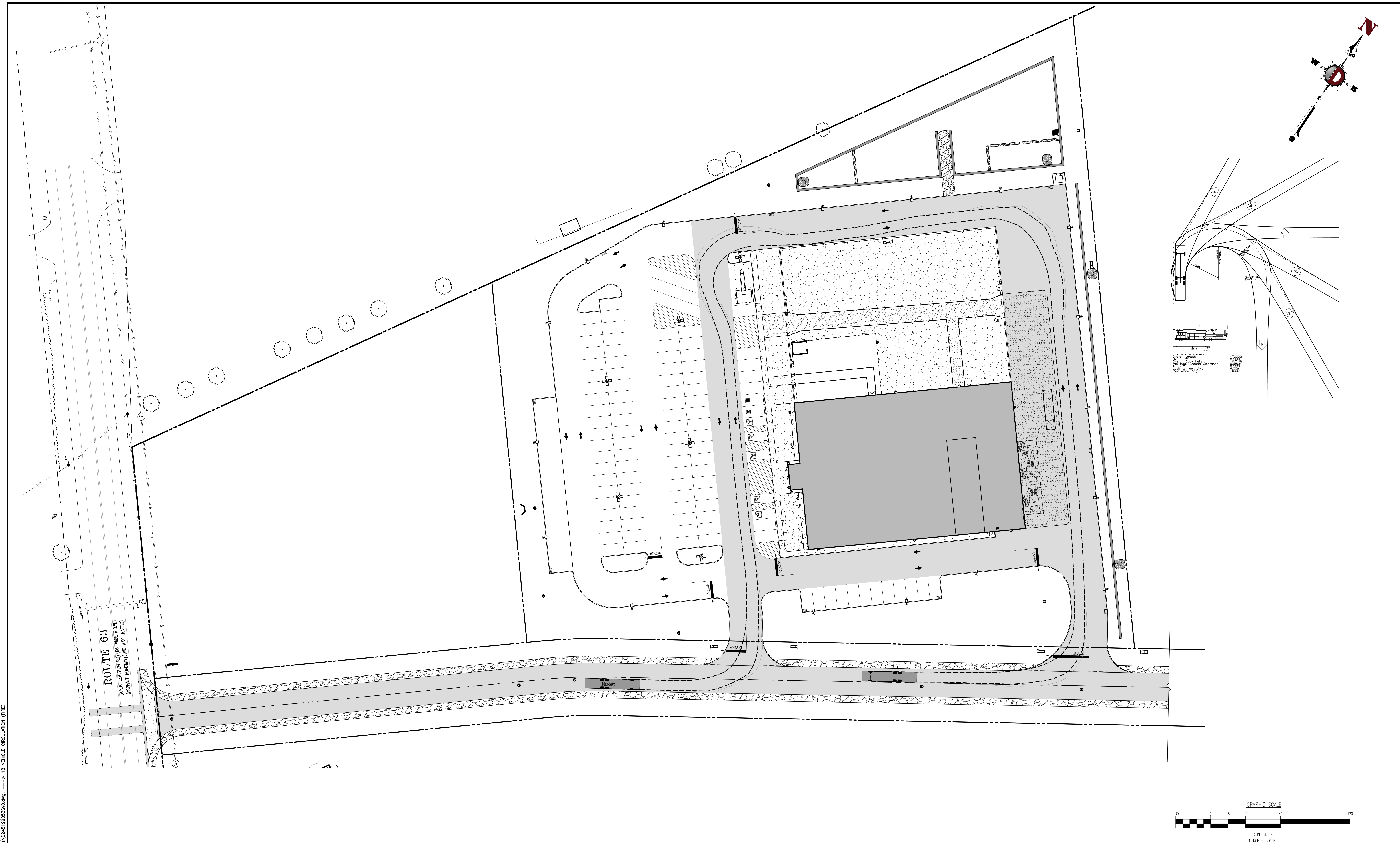
PROJECT: **HIX SNEDEKER
 PROPOSED TRACTOR SUPPLY**
 BLOCK 1, LOT 7
 5287 LEWISTON ROAD
 TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB No: 2451-99-053 DATE: 10/26/2022
 DRAWN BY: MFZ SCALE (H) 1"=30'
 DESIGNED BY: MP SHEET No:
 CHECKED BY: RJM
 CHECKED BY: -

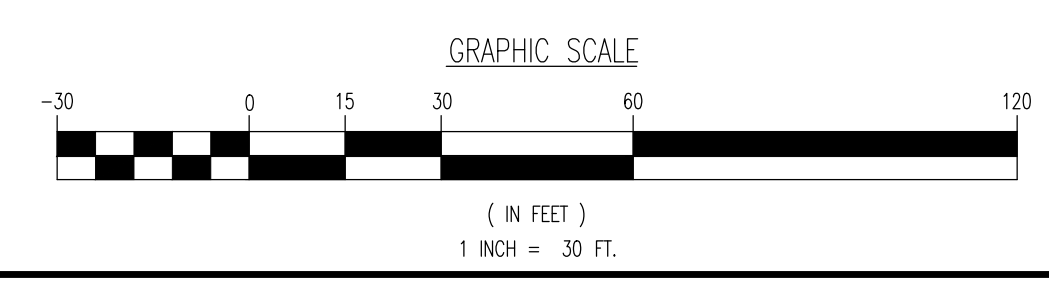
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PROTECT YOURSELF
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Structure	Generic	24
Driveway	Asph	4
Interior	Grass	1000
Exterior	Grass	1000
Clearance	Clearance	1000
Other	Other	1000
Notes	Notes	1000



ROUTE 63
(A.K.A. LEWISTON RD) (65' WIDE ROAD)
(ASPHALT ROADWAY) (NO INT. TRAFFIC)

Plot Date: 10/27/22 - 1:53 AM By: mmoreland Product Ver: 24.1s (MS Tech) P:\Projects\2022\2022-10-27\22-10-27\22-10-27.dwg Source: C:\Program Files\Autodesk\AutoCAD 2022\Autodesk AutoCAD 2022.dwg 13. VEHICLE CIRCULATION (FIRE)

APPROVAL SIGNATURE:
STEVEN J. MOUNTAIN, P.E.
TOWN OF BATAVIA - TOWN ENGINEER DATE

Rev.	Date	Comments

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TITLE: **VEHICLE CIRCULATION (FIRE)**

PROJECT: **HIX SNEDEKER**
PROPOSED TRACTOR SUPPLY
BLOCK 1, LOT 7
8287 LEWISTON ROAD
TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB No: 2451-99-053 DATE: 10/28/2022
DRAWN BY: MFZ SCALE (H) 1"=30'
DESIGNED BY: MP SHEET No:
CHECKED BY: RJM
CHECKED BY: -

JOSHUA M. SEWALD **JOHN A. PALUS**
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