



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **T-08-BAT-5-22**
Review Date **5/12/2022**

Municipality
Board Name
Applicant's Name
Referral Type
Variance(s)
Description:

BATAVIA, T.
PLANNING BOARD
Arun Kulkami- Mega Properties
Site Plan Review
Site Plan Review to construct a 200,000 sq. ft. warehouse facility.

Location
Zoning District

Call Pkwy., Batavia
Industrial Park (IP) District

PLANNING BOARD RECOMMENDS:

APPROVAL WITH MODIFICATION(S)

EXPLANATION:

The required modifications are as follows: 1) Any signage complies with the Town's zoning regulations; and 2) Given that the Short Environmental Assessment Form (EAF) states that the project is located in an archaeological sensitive area, the applicant obtain documentation from the State Historic Preservation Office (SHPO) as to the project's impacts on archaeological resources. With these required modifications, the proposed warehouse should pose no significant county-wide or inter-community impact. It is recommended that the applicant ensure that the proposed building will meet the Public Safety Radio System In-Building Coverage Requirement (NYS Fire Code Section 510), and that such requirement be verified post construction by the Code Enforcement Officer or by the Genesee County Sheriff's Office. It is further recommended that the applicant submits the enclosed application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that the address of the proposed facility meets Enhanced 9-1-1 standards.

Director

May 12, 2022

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) , 9!+ \$%

Clear Form

DEPARTMENT USE ONLY:

GCDP Referral # T-08-BAT-5-22



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

**RECEIVED
Genesee County
Dept. of Planning
5/5/2022**

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Town of Batavia Planning Board

Address 3833 West Main Street

City, State, Zip Batavia NY 14020

Phone (585) 343 - 1729 Ext. 222

2. APPLICANT INFORMATION

Name Arun Kulkami- Mega Properties

Address Call Parkway

City, State, Zip Batavia NY 14020

Phone (579) 755 - 9966 Ext. _____ Email arun@koolatron.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- Area Variance
- Use Variance
- Special Use Permit
- Site Plan Review

- Zoning Map Change
- Zoning Text Amendments
- Comprehensive Plan/Update
- Other: _____

- Subdivision Proposal
- Preliminary
- Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address Call Pkwy, Batavia NY 14020

B. Nearest intersecting road Oak Orchard Rd

C. Tax Map Parcel Number 4.-1-57.1

D. Total area of the property 22acres Area of property to be disturbed 5.5

E. Present zoning district(s) Industrial Park (IP) District

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
NA

C. Please describe the nature of this request 200,000 sq. ft. warehouse

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- Local application
- Site plan
- Subdivision plot plans
- SEQR forms
- Zoning text/map amendments
- Location map or tax maps
- Elevation drawings
- Agricultural data statement
- New or updated comprehensive plan
- Photos
- Other: _____

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Daniel Lang Title CEO/ZEO Phone (585) 343 - 1729 Ext. 222

Address, City, State, Zip 3833 West Main Street Road Batavia NY 14020 Email dlang@townofbatavia.com



39 Cascade Drive / Rochester, NY 14614 / Phone (585) 458-7770

May 4, 2018

Daniel Lang
Building & Zoning Official
Town of Batavia
3833 W Main Street Rd
Batavia, NY 14020

Re: Site Plan Submission
Mega Properties Industrial Building
at Gateway II Industrial Park
Call Parkway, Town of Batavia, Genesee County

Dear Daniel,

On behalf of our client, Mega Properties, we are submitting plans for the above referenced project to be placed on the Planning Board agenda for Monday May 16th for site plan approval.

The project is located on the SE corner of Call Parkway, within the Gateway II Industrial Park. The applicant owns a 22+ acre parcel and intends to construct an approximately 200,000 sf industrial warehouse on the SE corner of the parcel. The structure will be a Butler Building with the typical premanufactured metal building elements: concrete foundation, partial CMU wall with metal siding above, and sloped roof. The structure will be built in phases, with the first phase including approximately 71,000 sf of warehouse space and 3,200 sf of office space. Images of comparable Butler Buildings have been compiled with the submission packet, and additional information on the building can be provided at the Town's request.

The building will have the typical site improvements, asphalt driveway connections to Call Parkway (County Road), concrete loading dock area, employee parking lot, stormwater management facilities, and utility services. No utility main extensions are necessary, as gravity sewer, water, gas & electric are all available along Call Parkway. Stormwater will be handled onsite.

The existing property drains to Spring Creek along the westerly property line. Two small ponds exist on the site that were constructed with the Call Parkway construction project. In order to construct the proposed building, one of the existing ponds will be relocated. The storage volume of the small pond will be added to the larger stormwater management facility proposed to collect stormwater runoff from the development area, and attenuate flows prior to discharging to Spring Creek. Two bioretention facilities are proposed in order to meet the NYSDEC Green Infrastructure requirements.

There are two federal wetlands that were delineated onsite in 2005 by Clark Patterson Associates in conjunction with the Call Parkway construction project. These wetland limits are shown on the plans, and no disturbance is proposed, with the exception of the proposed pond connection to Spring Creek.

Going the distance for you.

Site Plan Submission, May 4th, 2022
Mega Properties Industrial Building at Gateway II Industrial Park
Call Parkway, Town of Batavia, Genesee County

Finally, concurrent to this site plan review process, the applicant has petitioned the Genesee County Highway Department to abandon a portion of their right-of-way on the SE corner of the site, at the 90° bend in Call Parkway. The right-of-way currently flares out, reaching a width of approximately 200' and in initial conversations the County was amenable to reconfiguring the ROW to be a 50' radius instead of a flare, and abandoning the excess area to the owner. There is an existing gravity sewer and forcemain in this area of the ROW as well as a partial utility easement. A supplementary easement is proposed where the sanitary crosses the abandonment area.

Enclosed is the following information to aid in your review:

- 4 copies of this Letter of Intent
- 4 copies of the Building & Zoning Application Form
- 4 copies of the Short Environmental Assessment Form
- 4 copies of the Site Plans
- 4 copies of the Conceptual Building Design Summary
- 1 copy of the Stormwater Pollution Prevention Plan

We look forward to presenting this project to the Planning Board on 5/16/22. If you have any questions, or require additional information, please do not hesitate to contact our office.

Respectfully submitted,



Lucas Bushen

MARATHON ENGINEERING

cc: Arun Kulkarni, Mega Properties

Conceptual Building Design Summary

Premanufactured Metal Building by Butler Buildings

Size: ~200,000 sf

Height: < 40'

Building Façade: The building will have a premanufactured metal panel façade, with a CMU water table up to approx. 4ft.

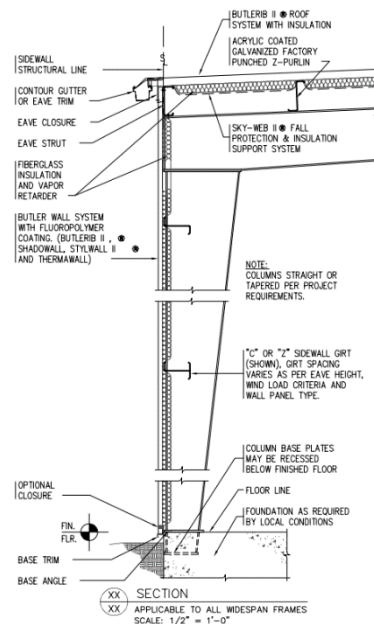
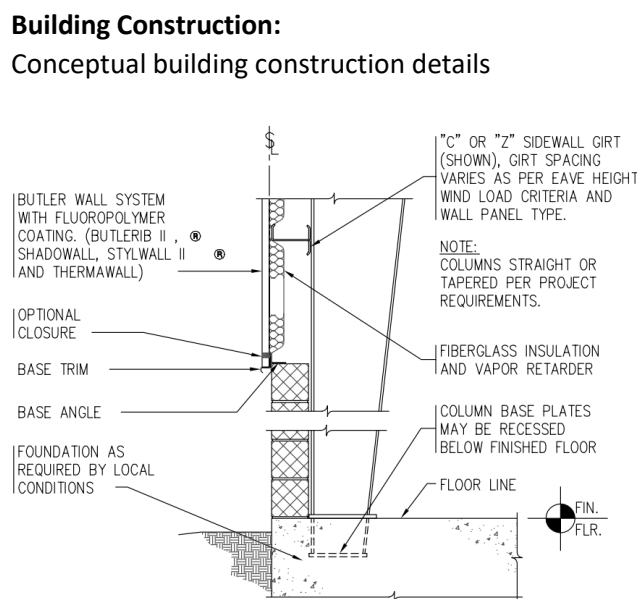


Building Layout: Building will have sloped roofs to downspouts and loading dock section



Building Construction:

Conceptual building construction details



Building and Zoning Application Permit No. _____

Town of Batavia 3833 West Main Rd. Batavia NY 14020 PH. 585-343-1729

Date 5 / 4 / 22 Zone IP Flood Zone C Wellhead Protection _____ Corner Lot Yes

New Construction Fence Pond Sign Alteration(s) Addition Demolition

Accessory Bldg. Mobile Home Fill Permit Home Occupation Land Separation Site Plan Approval

Special Use Permit Temporary Use Subdivision Zoning Variance Request Other Specify: _____

Tax Map No. 4.0-1-57.1

Owners Name Mega Properties Phone No. (519) 755-9966

Address 99 Med Tech Drive Project Road Width NA ft

Applicants Name Arun Kulkarni Project Address Call Parkway

E Mail Address arun@koolatron.com Phone No (519) 755-9966

Description of Project: New approx 200,000sf industrial building with associated loading dock, parking lot, and stormwater management facility

Existing Use vacant Proposed Use Industrial Park

Estimated Cost Building ~\$5M Plumbing _____ Mechanical _____ Miscellaneous _____

SEQR CLASSIFICATION Type 1 Type 2 Unlisted

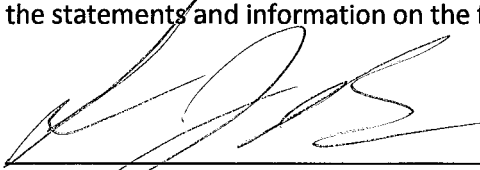
Review completed by Planning Board Zoning Board of Appeals

Permit Fee \$ _____ Application Date ___/___/___ Permit Expires On ___/___/___

Issuing Officer _____ Date ___/___/___

IN SIGNING THIS DOCUMENT I HEARBY GIVE THE RIGHT OF AN ON SITE INSPECTION TO THE TOWN OF BATAVIA CODE ENFORCEMENT OFFICIAL OR THEIR DESIGNE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PREFORMANCE OF CONSTRUCTION.

I, LD, as Owner or Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge.



Lucas Bushen
AS Agent

5/4/22

Signature of Owner or Authorized Agent

Date

TOWN
(circle one)

VILLAGE CITY OF Batavia

Application # _____

Agricultural Data Statement

Date _____

Instructions: This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant

Owner if Different from Applicant

Name: <u>Arun Kulkarni- Mega Properties</u> Address: <u>Call Parkway</u> <u>Batavia NY 14020</u>	Name: _____ Address: _____ _____
--	--

1. Type of Application: Special Use Permit; Site Plan Approval ; Use Variance;
(circle one or more) Subdivision Approval

2. Description of proposed project: 200,000 square foot warehouse

3. Location of project: Address: Call Parkway
Tax Map Number (TMP) 4.-1-57.1

4. Is this parcel within an Agricultural District? NO YES (Check with your local assessor if

5. If YES, Agricultural District Number _____ you do not know)

6. Is this parcel actively farmed? NO YES

7. List all farm operations within 500 feet of your parcel. Attach additional sheets if necessary.

Name: <u>Batavia Farms Inc</u> Address: <u>8127 Lewiston Road</u> <u>Batavia NY 14020</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	Name: _____ Address: _____ Is this parcel actively farmed? <input type="checkbox"/> NO <input type="checkbox"/> YES
Name: _____ Address: _____ Is this parcel actively farmed? <input type="checkbox"/> NO <input type="checkbox"/> YES	Name: _____ Address: _____ Is this parcel actively farmed? <input type="checkbox"/> NO <input type="checkbox"/> YES

Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by:


Signature of Municipal Official

5.5.22
Date

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

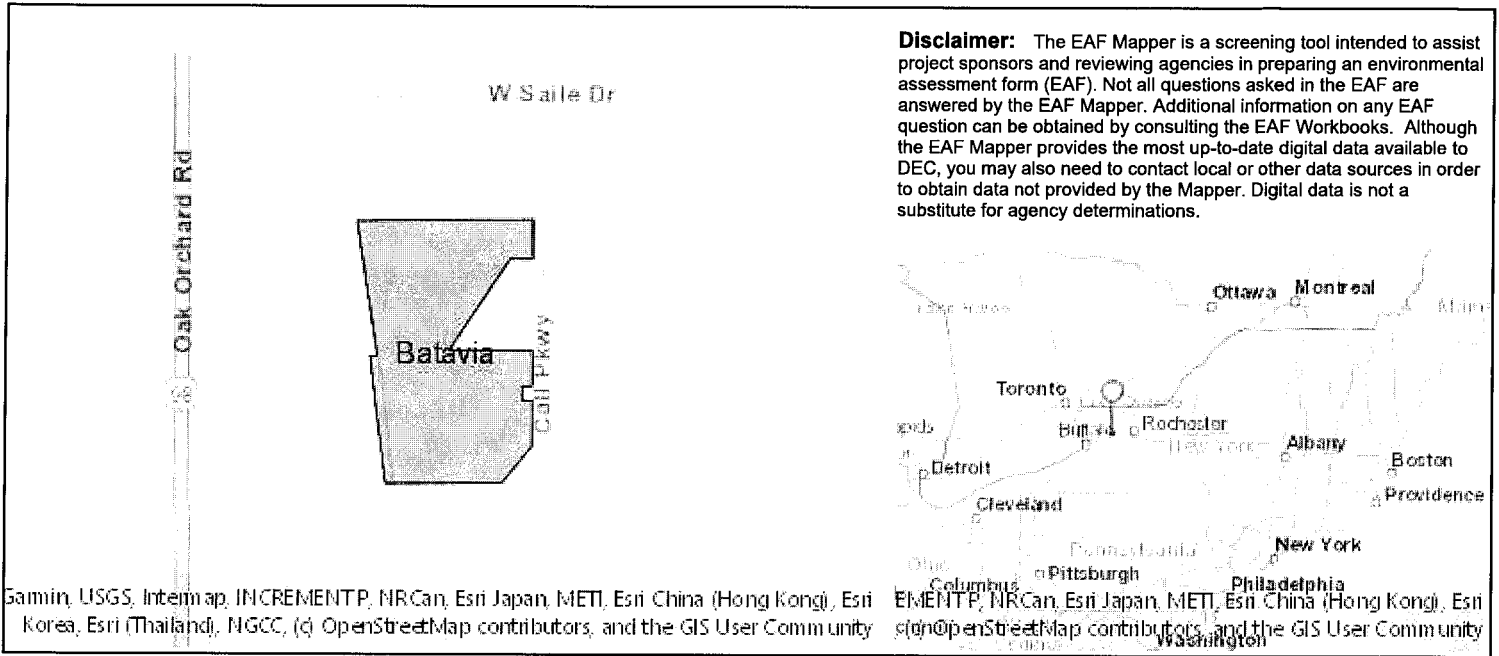
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Mega Properties Industrial Building @ Gateway II Industrial Park			
Project Location (describe, and attach a location map): Call Parkway, Batavia NY 14020			
Brief Description of Proposed Action: The project is located on the SE corner of Call Parkway, within the Gateway II Industrial Park. The applicant owns a 22+ acre parcel and intends to construct an approximately 200,000 sf industrial warehouse on the SE corner of the parcel. The structure will be a Butler Building with the typical premanufactured metal building elements: concrete foundation, partial CMU wall with metal siding above, and sloped roof. The structure will be built in phases, with the first phase including approximately 71,000 sf of warehouse space and 3,200 sf of office space. The building will have the typical site improvements, asphalt driveway connections to Call Parkway (County Road), concrete loading dock area, employee parking lot, stormwater management facilities, and utility services. No utility main extensions are necessary, as gravity sewer, water, gas & electric are all available along Call Parkway. Stormwater will be handled onsite. The existing property drains to Spring Creek along the westerly property line. Two small ponds exist on the site that were constructed with the Call Parkway construction project. In order to construct the proposed building, one of the existing ponds will be relocated. The storage volume of the small pond will be added to the larger stormwater management facility proposed to collect stormwater runoff from the development area, and attenuate flows prior to discharging to Spring Creek. Two bioretention facilities are proposed in order to meet the NYSDEC Green Infrastructure requirements.			
Name of Applicant or Sponsor: Arun Kulkarni, Mega Properties		Telephone: 519-755-9966 E-Mail: arun@koolatron.com	
Address: 99 Med Tech Dr			
City/PO: Batavia		State: NY	Zip Code: 14020
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: USACE, NYSDEC			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 11.7 acres	
b. Total acreage to be physically disturbed?		_____ 5.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 22.1 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, <ul style="list-style-type: none"> a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan? 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. <ul style="list-style-type: none"> a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? 	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. <ul style="list-style-type: none"> a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? 	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. <ul style="list-style-type: none"> a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

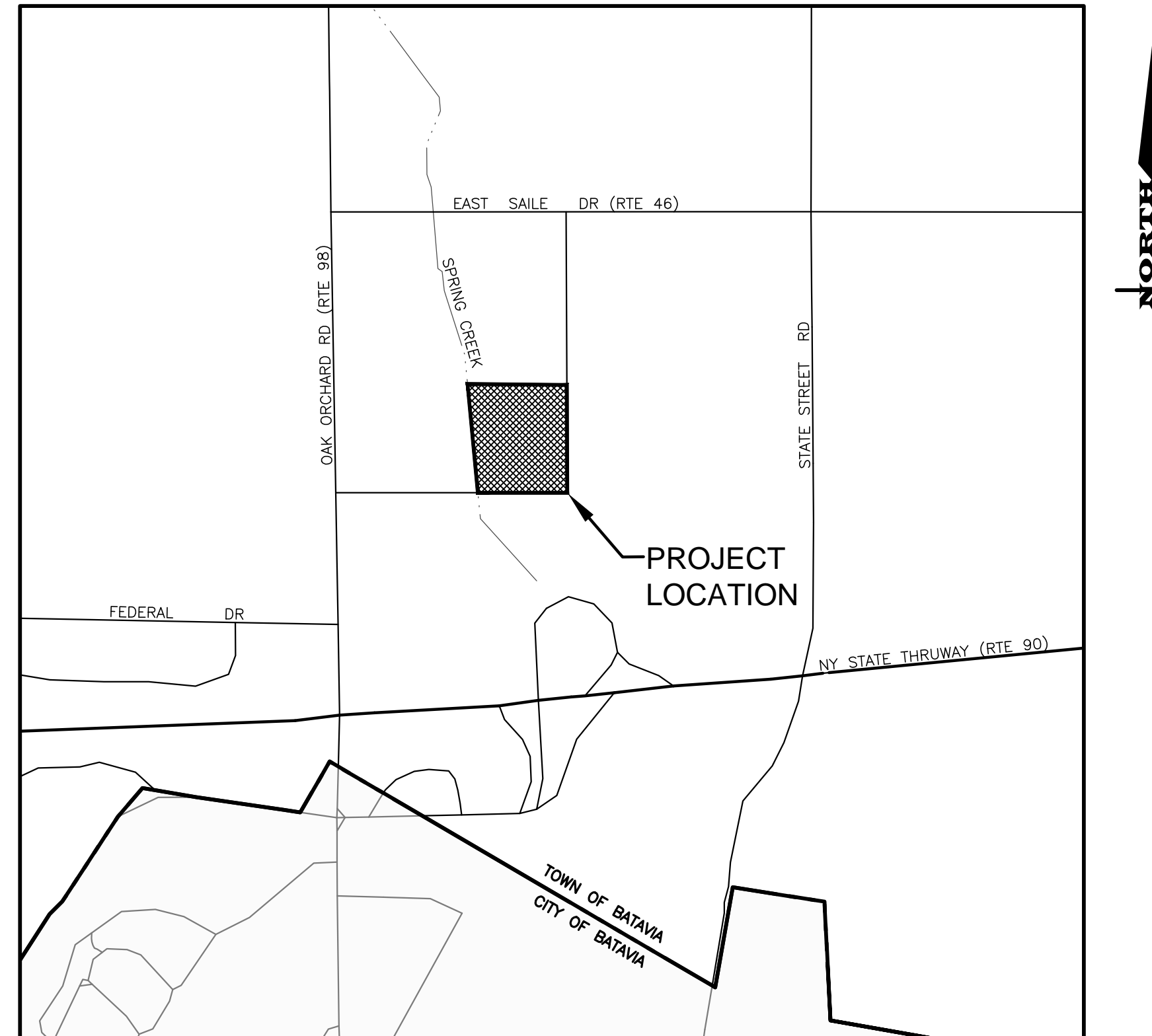
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	<input checked="" type="checkbox"/> <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES	<input type="checkbox"/> <input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <ul style="list-style-type: none"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES	<input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>
Stormwater runoff will maintain existing patterns, ultimately discharging to Spring Creek			
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES	<input type="checkbox"/> <input checked="" type="checkbox"/> Stormwater retention pond
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES	<input checked="" type="checkbox"/> <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES	<input checked="" type="checkbox"/> <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Lucas Bushen, Marathon Engineering, as Agent</u> Date: <u>5/4/22</u> Signature: Title: <u>Project Manager</u>			



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

SITE PLANS for MEGA PROPERTIES INDUSTRIAL BUILDING AT GATEWAY II INDUSTRIAL PARK CALL PARKWAY

SITUATE IN:
TOWN OF BATAVIA - GENESEE COUNTY - STATE OF NEW YORK

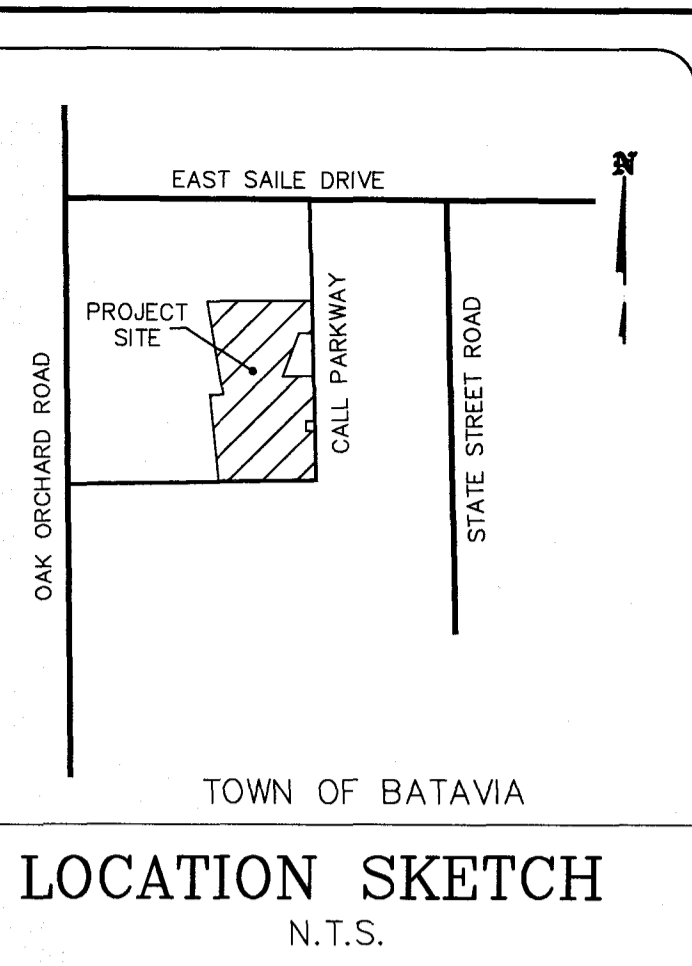
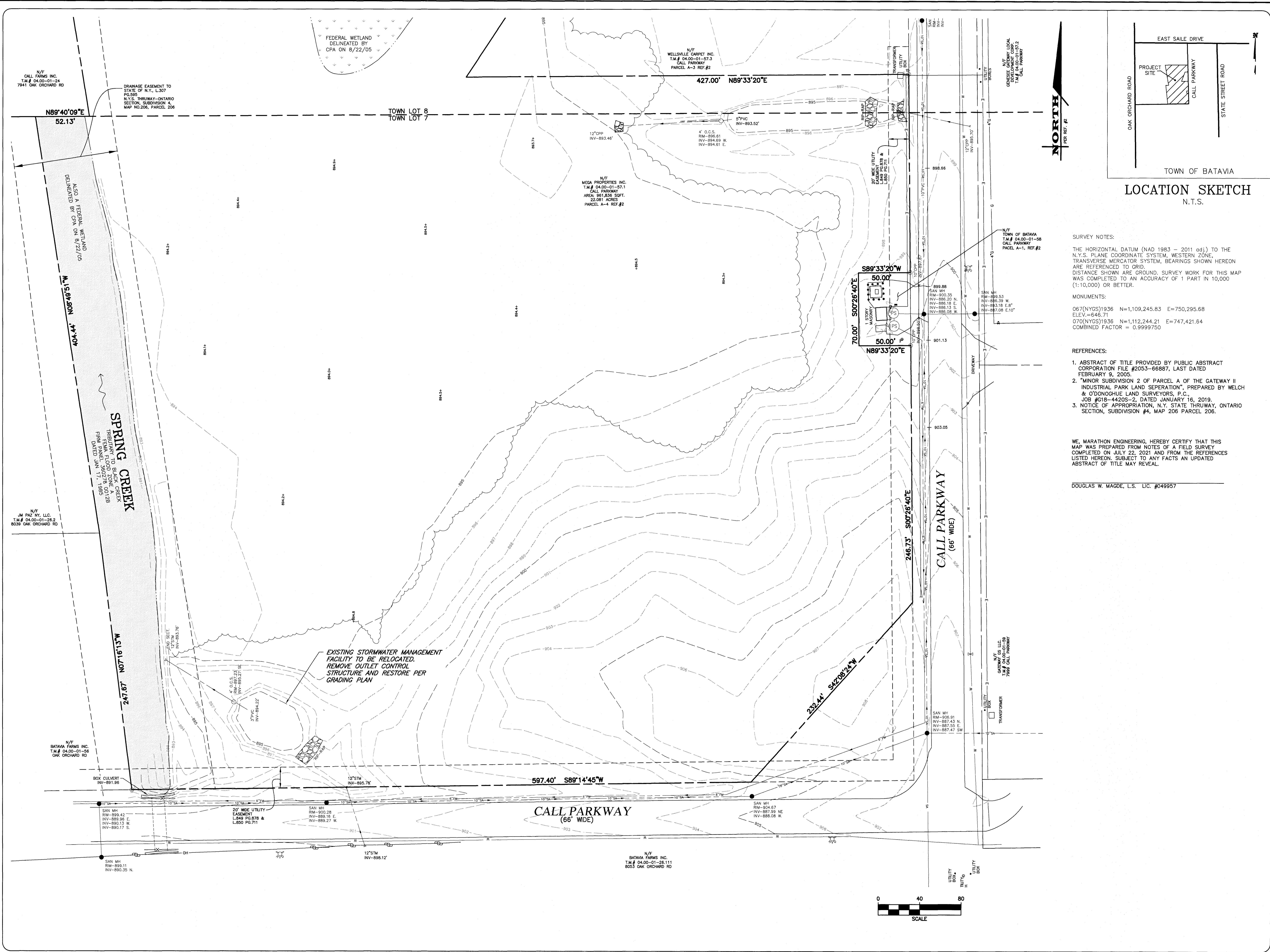


LOCATION MAP
NOT TO SCALE


MARATHON
ENGINEERING
 ROCHESTER LOCATION
 39 CASCADE DRIVE
 ROCHESTER, NY 14614
 585 - 458 - 7770
 ITHACA LOCATION
 840 HANSHAW RD, STE 6
 ITHACA, NY 14850
 607 - 241 - 2917
www.marathoneng.com

LIST OF DRAWINGS		
No.	Dwg.	Description
00	COVER	
01	C0.1	NOTES, INFORMATION & SPECIFICATIONS
02	V1.0	EXISTING CONDITIONS PLAN
03	C2.0	LAYOUT PLAN
04	C3.0	GRADING & DRAINAGE PLAN
05	C4.0	CONSTRUCTION DETAILS
06	C4.1	CONSTRUCTION DETAILS
07	C4.2	CONSTRUCTION DETAILS

File: Z:\Engineering\Job Files\1302-21\Drawings\Sheets\1.0.dwg, Last saved: 5/3/2022, Plot Date: 5/3/2022, Plot Style: ---



SURVEY NOTES:

THE HORIZONTAL DATUM (NAD 1983 - 2011 adj.) TO THE N.Y.S. PLANE COORDINATE SYSTEM, WESTERN ZONE, TRANSVERSE MERCATOR SYSTEM, BEARINGS SHOWN HEREON ARE REFERENCED TO GRID. DISTANCE SHOWN ARE GROUND. SURVEY WORK FOR THIS MAP WAS COMPLETED TO AN ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.

MONUMENTS:

067(NYGS)1936 N=1,109,245.83 E=750,295.68
ELEV.=646.71'
070(NYGS)1936 N=1,112,244.21 E=747,421.64
COMBINED FACTOR = 0.9999750

REFERENCES:

1. ABSTRACT OF TITLE PROVIDED BY PUBLIC ABSTRACT CORPORATION FILE #2053-66887, LAST DATED FEBRUARY 9, 2005.
2. "MINOR SUBDIVISION 2 OF PARCEL A OF THE GATEWAY II INDUSTRIAL PARK LAND SEPARATION", PREPARED BY WELCH & O'DONOGHUE LAND SURVEYORS, P.C., JOB #616-44205-2, DATED JANUARY 16, 2019.
3. NOTICE OF APPROPRIATION, N.Y. STATE THRUWAY, ONTARIO SECTION, SUBDIVISION #4, MAP 206 PARCEL 206.

WE, MARATHON ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY COMPLETED ON JULY 22, 2021 AND FROM THE REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

DOUGLAS W. MAGDE, L.S. LIC. #049957

MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

MAP OF A SURVEY
PREPARED FOR
CALL PARKWAY
BEING PART OF LOT 7 & 8, TOWNSHIP 12, RANGE 1
OF THE HOLLAND LAND COMPANY SURVEY
TOWN OF BATAVIA, GENESEE COUNTY, NEW YORK

JOB NO: 1302-21
SCALE: 1" = 40'
DRAWN: LJB
DESIGNED: RPB
DATE: 05/04/22

REVISIONS

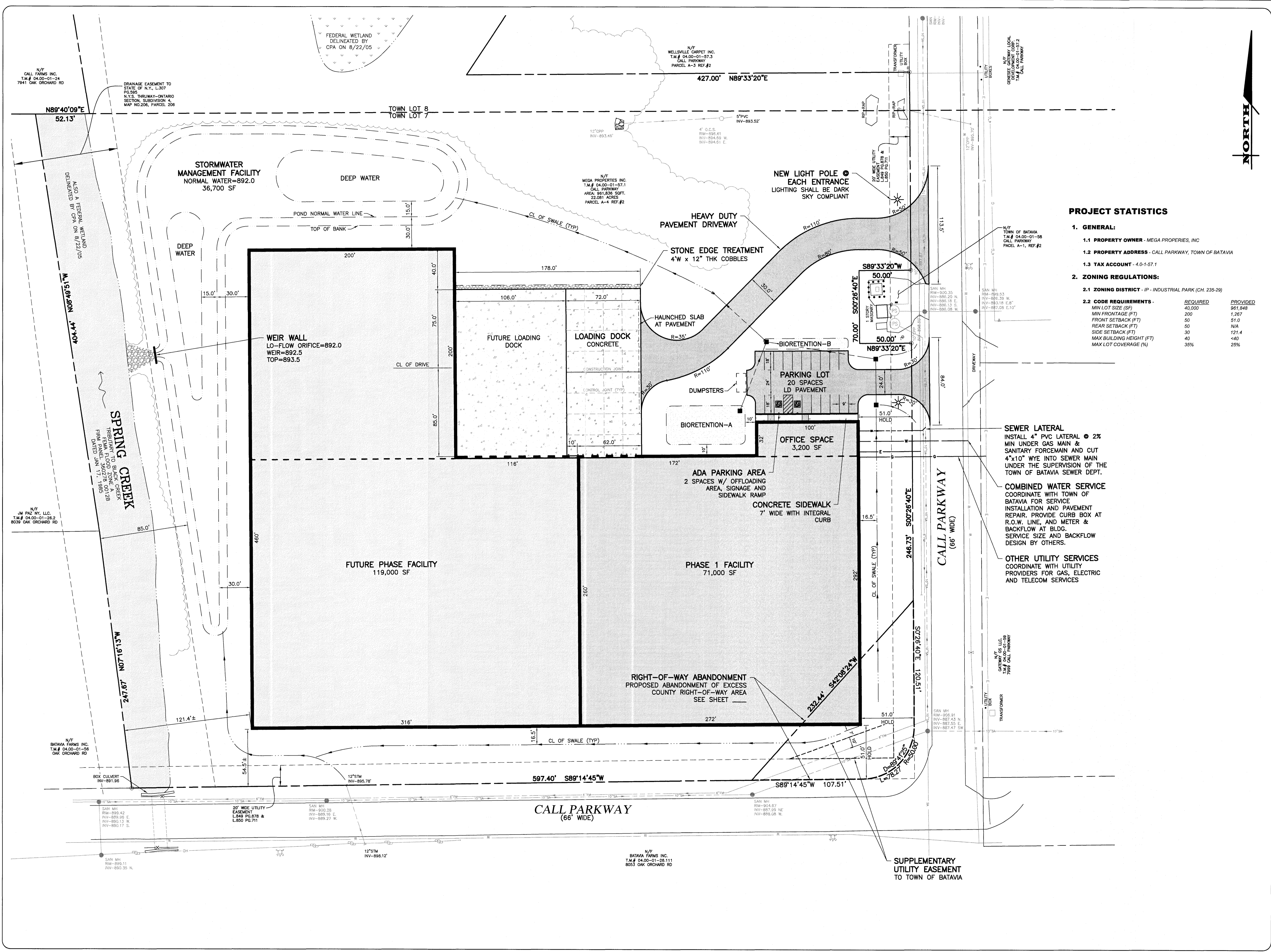
DATE	BY	REVISION

STATE OF NEW YORK
ROBERT P. BRINGLEY
NO. 066924
LICENSED PROFESSIONAL SURVEYOR
ROBERT P. BRINGLEY

DRAWING TITLE:
EXISTING CONDITIONS PLAN

02 of 07
SHEET No: V1.0
1302-21
JOB No: DRAWING No:

File: Z:\Engineering\Job Files\1302-21\Drawings\Sheets\C2.0.dwg, Last saved: 5/13/2022, Plot Date: 5/13/2022, Plot Style: ---



PROJECT STATISTICS

1. GENERAL:

1.1 PROPERTY OWNER - MEGA PROPERTIES, INC

1.2 PROPERTY ADDRESS - CALL PARKWAY, TOWN OF BATAVIA

1.3 TAX ACCOUNT - 4.0-1-57.1

2. ZONING REGULATIONS:

2.1 ZONING DISTRICT - IP - INDUSTRIAL PARK (CH. 235-29)

2.2 CODE REQUIREMENTS -	REQUIRED	PROVIDED
MIN LOT SIZE (SF)	40,000	961,848
MIN FRONTAGE (FT)	200	1,267
FRONT SETBACK (FT)	50	51.0
REAR SETBACK (FT)	50	N/A
SIDE SETBACK (FT)	30	121.4
MAX BUILDING HEIGHT (FT)	40	<40
MAX LOT COVERAGE (%)	35%	25%

MARATHON ENGINEERING
 ROCHESTER LOCATION
 39 CASCADE DRIVE
 ROCHESTER, NY 14614
 585-458-7770
 ITHACA LOCATION
 840 HANSHAW RD, STE 6
 ITHACA, NY 14850
 607-241-2917
 www.marathoneng.com

SITE PLANS for
MEGA PROPERTIES INDUSTRIAL BUILDING AT GATEWAY II INDUSTRIAL PARK

STATE OF NEW YORK
 CALL PARKWAY
 GENESSEE COUNTY
 TOWN OF BATAVIA

JOB NO: 1302-21
 SCALE: 1" = 40'
 DRAWN: LJB
 DESIGNED: RPB
 DATE: 05/04/22

REVISIONS

DATE	BY	REVISION

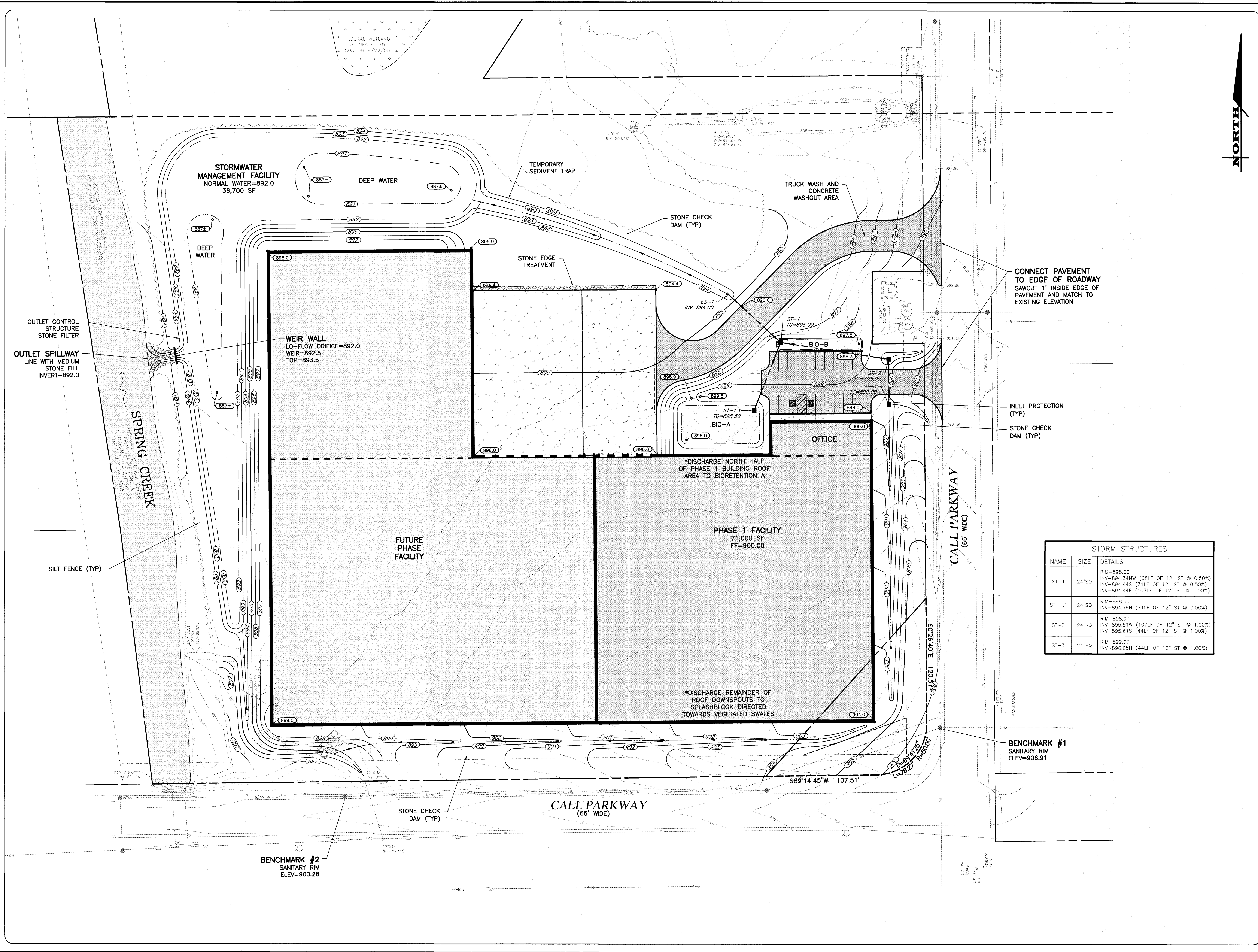
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ROBERT P. BRINGLEY

DRAWING TITLE:
LAYOUT PLAN

03 of 07
 SHEET No: **C2.0**
 1302-21
 JOB No: DRAWING No:

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SITE PLANS for
MEGA PROPERTIES INDUSTRIAL BUILDING AT GATEWAY II INDUSTRIAL PARK
 CALL PARKWAY
 GENESSEE COUNTY
 STATE OF NEW YORK
 TOWN OF BATAVIA

STORM STRUCTURES		
NAME	SIZE	DETAILS
ST-1	24" SQ	RIM=898.00 INV=894.34NW (68LF OF 12" ST @ 0.50%) INV=894.44S (71LF OF 12" ST @ 0.50%) INV=894.44E (107LF OF 12" ST @ 1.00%)
ST-1.1	24" SQ	RIM=898.50 INV=894.79N (71LF OF 12" ST @ 0.50%)
ST-2	24" SQ	RIM=898.00 INV=895.51W (107LF OF 12" ST @ 1.00%) INV=895.61S (44LF OF 12" ST @ 1.00%)
ST-3	24" SQ	RIM=899.00 INV=896.05N (44LF OF 12" ST @ 1.00%)

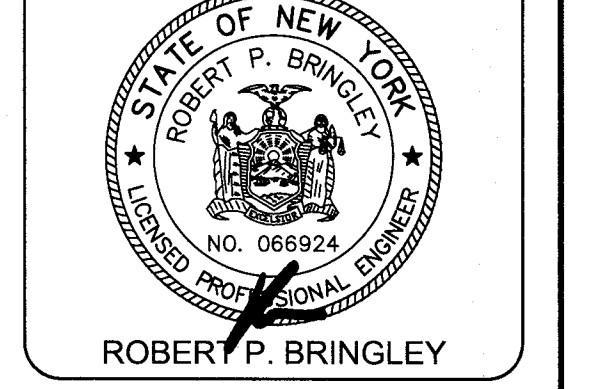
JOB NO: 1302-21
 SCALE: 1" = 40'
 DRAWN: LJB
 DESIGNED: RPB
 DATE: 05/04/22

REVISIONS

DATE	BY	REVISION

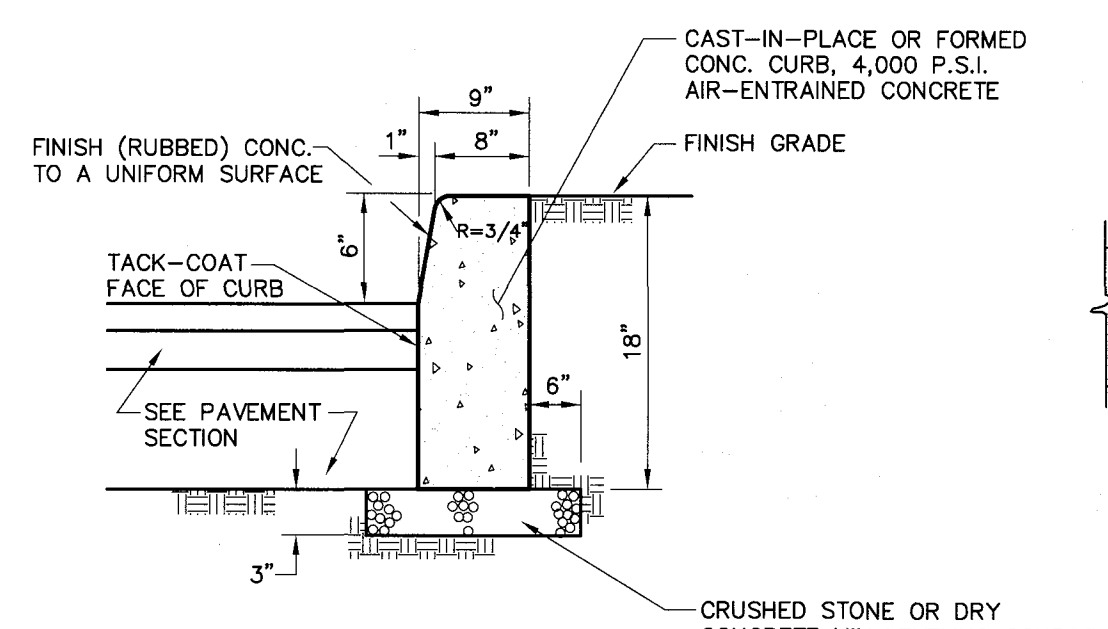
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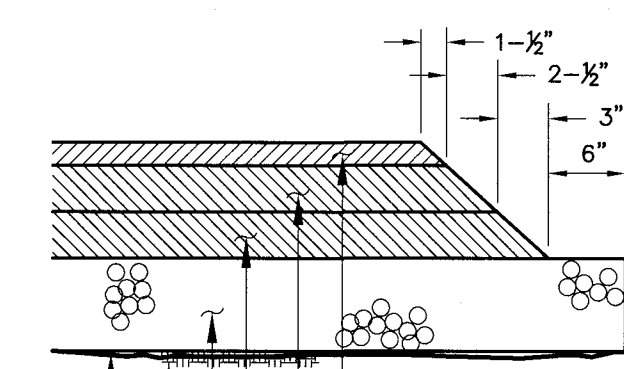
DRAWING TITLE:
GRADING & DRAINAGE PLAN

04 of 07
 SHEET No: **C3.0**
 1302-21
 JOB No: DRAWING No:



NOTES:
 1. PROVIDE 7" REVEAL AT DROP INLETS
 2. PROVIDE CONSTRUCTION JOINTS WITH AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER.

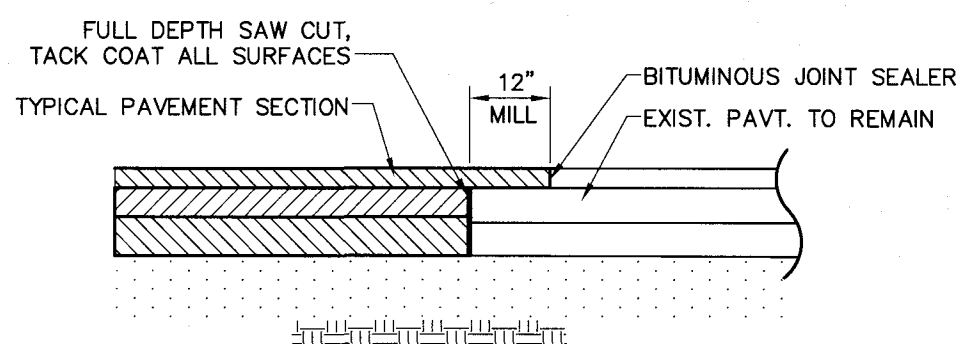
1 CONCRETE CURB



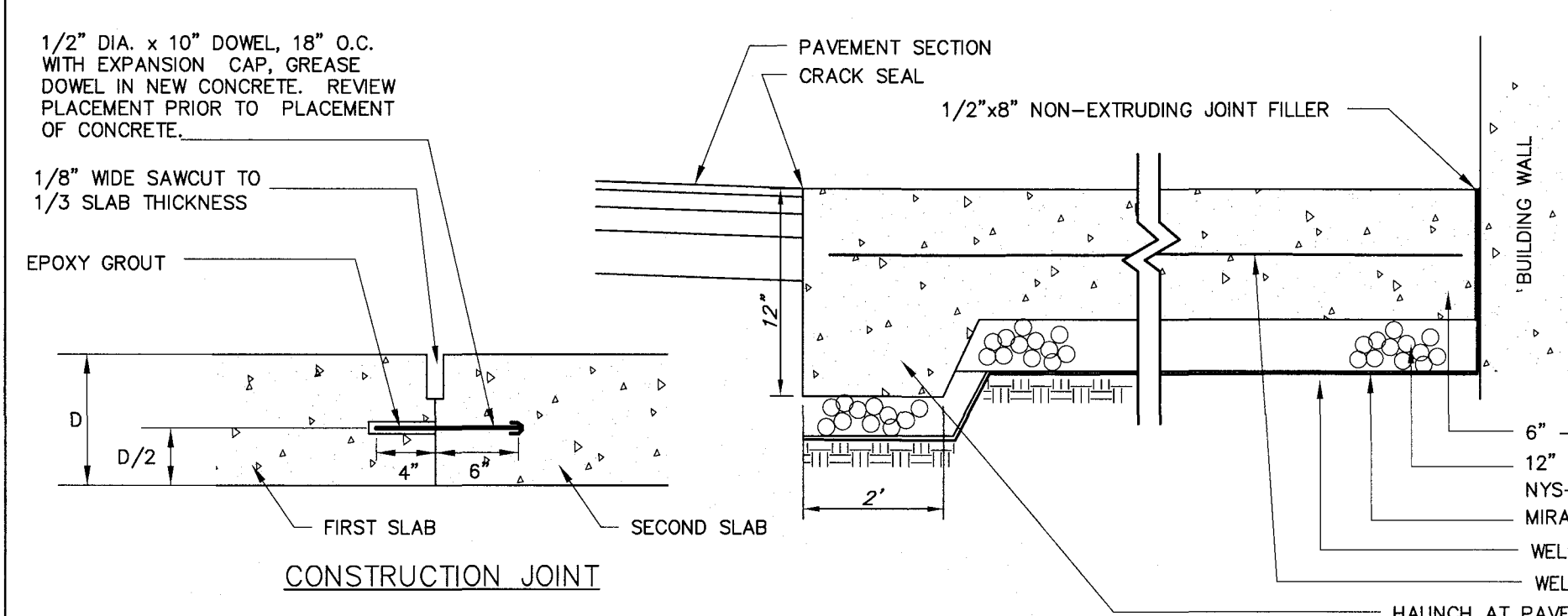
1-1/2" ASPHALTIC CONCRETE TOP COURSE
 N.Y.S.D.O.T. ITEM No. 403.198202 (COMPACTED)
 2-1/2" ASPHALTIC CONCRETE BINDER COURSE
 N.Y.S.D.O.T. ITEM No. 403.138902 TYPE 3 (COMPACTED)
 3" ASPHALTIC CONCRETE BASE COURSE
 No. 304.1 TYPE 1
 12" CRUSHED STONE SUBBASE, N.Y.S.D.O.T. ITEM
 No. 304.14 TYPE 4
 WELL COMPACTED SUBGRADE
 GEOTEXTILE FABRIC - MIRAFI HP270 OR EQUAL

2 PAVEMENT SECTION

NOTES:
 1. CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP COAT.
 2. REGULAR DUTY PAVEMENT SHALL REMOVE THE BASE COURSE AND 3" OF STONE (9" TOTAL PROVIDED) OF THE ABOVE SECTION

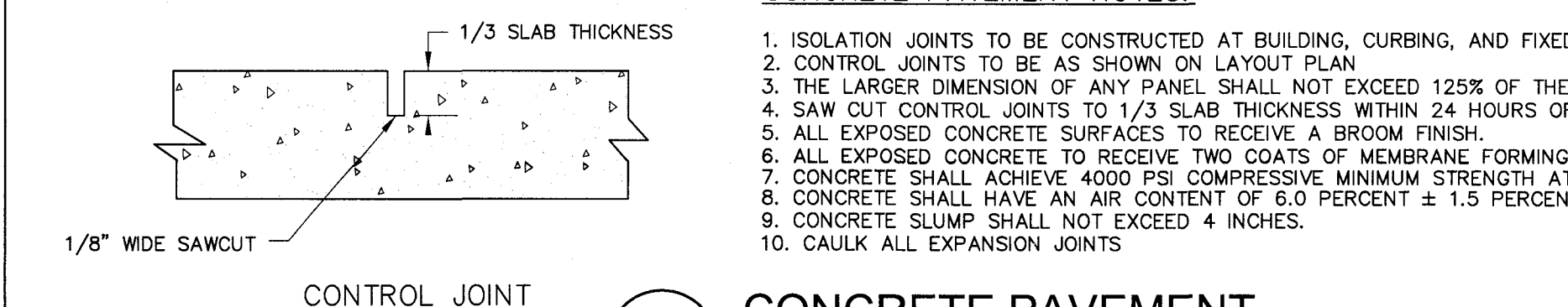


3 PAVEMENT MATCH



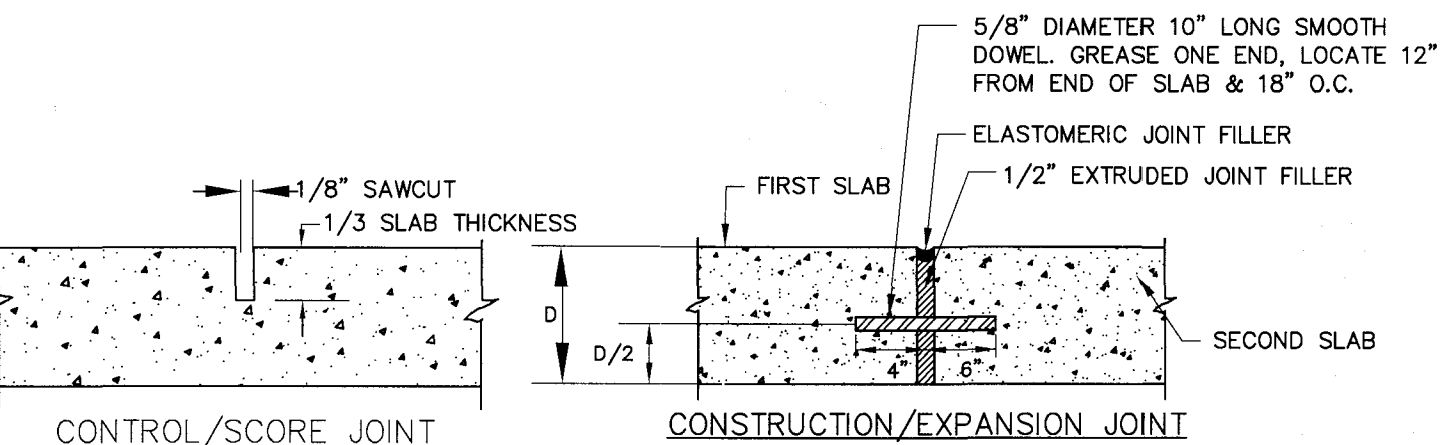
NOTES:
 1. SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
 2. REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.
 3. DETECTABLE WARNING FIELD SHALL EXTEND THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE.
 4. DETECTABLE WARNING FIELD SHALL BE "CHARCOAL" IN COLOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AOCB.

6 ACCESS RAMP



CONCRETE PAVEMENT NOTES:
 1. ISOLATION JOINTS TO BE CONSTRUCTED AT BUILDING, CURBING, AND FIXED OBJECTS.
 2. CONTROL JOINTS TO BE AS SHOWN ON LAYOUT PLAN.
 3. THE LARGER DIMENSION OF ANY PANEL SHALL NOT EXCEED 125% OF THE SMALLER DIMENSION.
 4. SAW CUT CONTROL JOINTS TO 1/3 SLAB THICKNESS WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 5. ALL EXPOSED CONCRETE SURFACES TO RECEIVE A BROOM FINISH.
 6. ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF MEMBRANE FORMING SEALER.
 7. CONCRETE SHALL ACHIEVE 4000 PSI COMPRESSIVE MINIMUM STRENGTH AT 28 DAYS.
 8. CONCRETE SHALL HAVE AN AIR CONTENT OF 6.0 PERCENT ± 1.5 PERCENT.
 9. CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES.
 10. CAULK ALL EXPANSION JOINTS

4 CONCRETE PAVEMENT

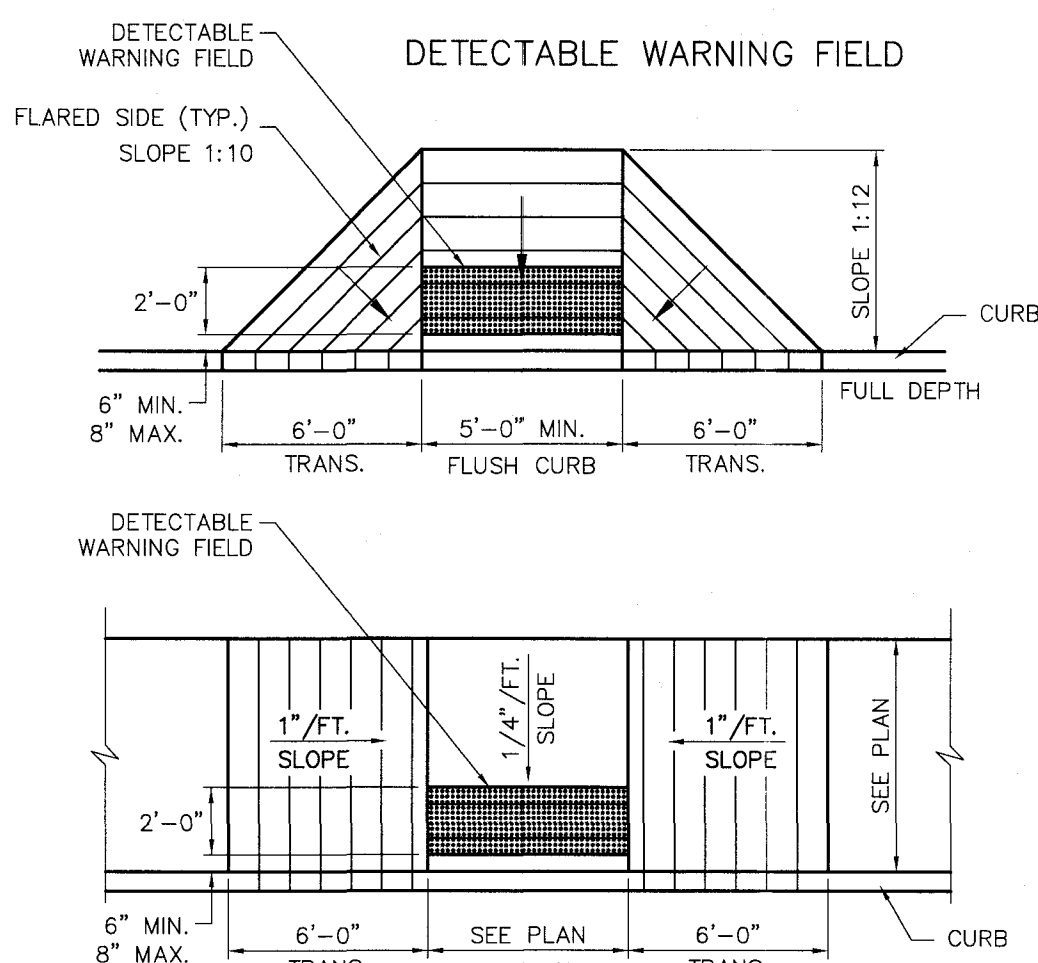
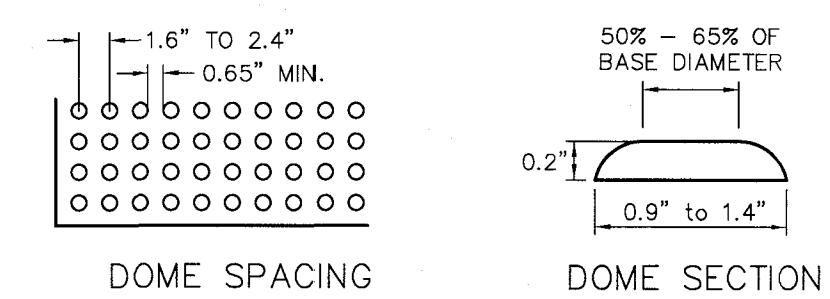


NOTES:
 1. CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
 2. CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
 3. EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES.
 4. CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 5. SCORE PATTERN - SCORING PATTERN SHALL BE 5' x 5' SQUARE, MAY VARY IN CERTAIN AREAS-COORDINATE WITH OWNERS ONSITE REP PRIOR TO SCORING SIDEWALKS

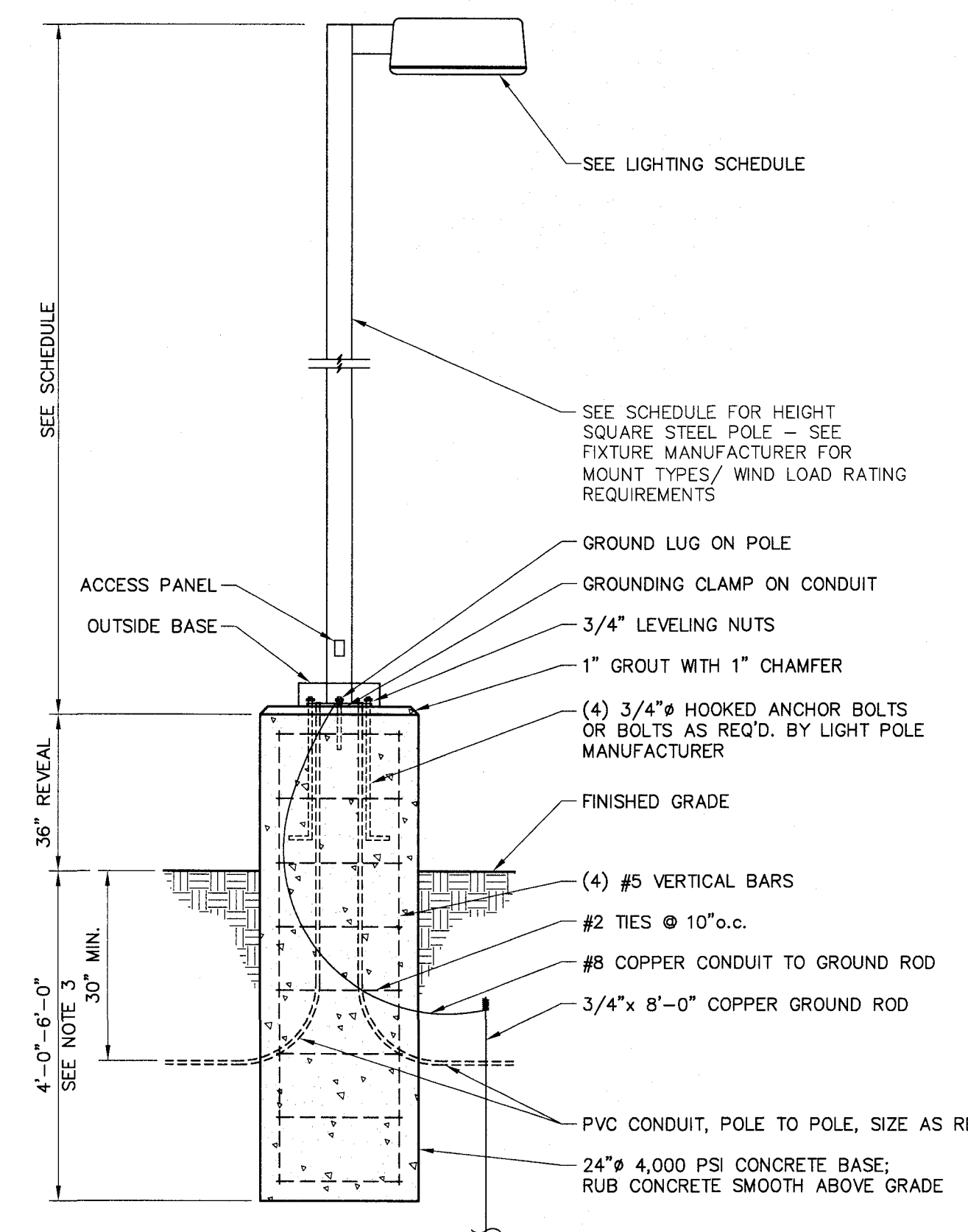
RODENT SCREEN NOTES

1. RODENT SCREEN SLAB SHALL BE 36" WIDE, 3" THICKNESS WITH 4" OF SUBBASE MATERIAL. REINFORCING NOT REQUIRED.
 2. SEE ARCH/ STRUCTURAL PLANS FOR TREATMENT AT DOORS.
 3. PROVIDE EXPANSION JOINT AT FACE OF BUILDING FOR ENTIRETY OF WALK

5 CONCRETE SIDEWALK

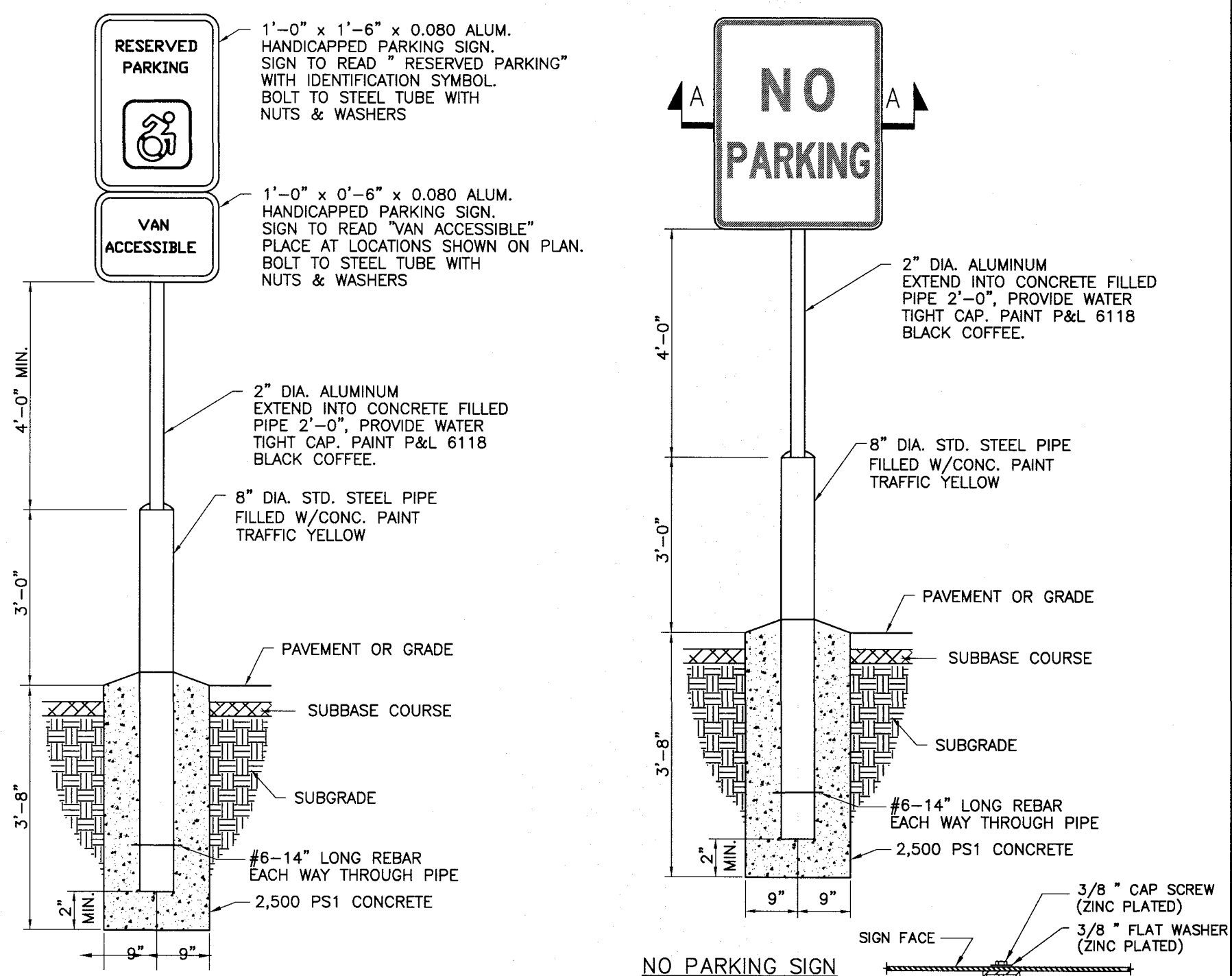


7 RESERVED

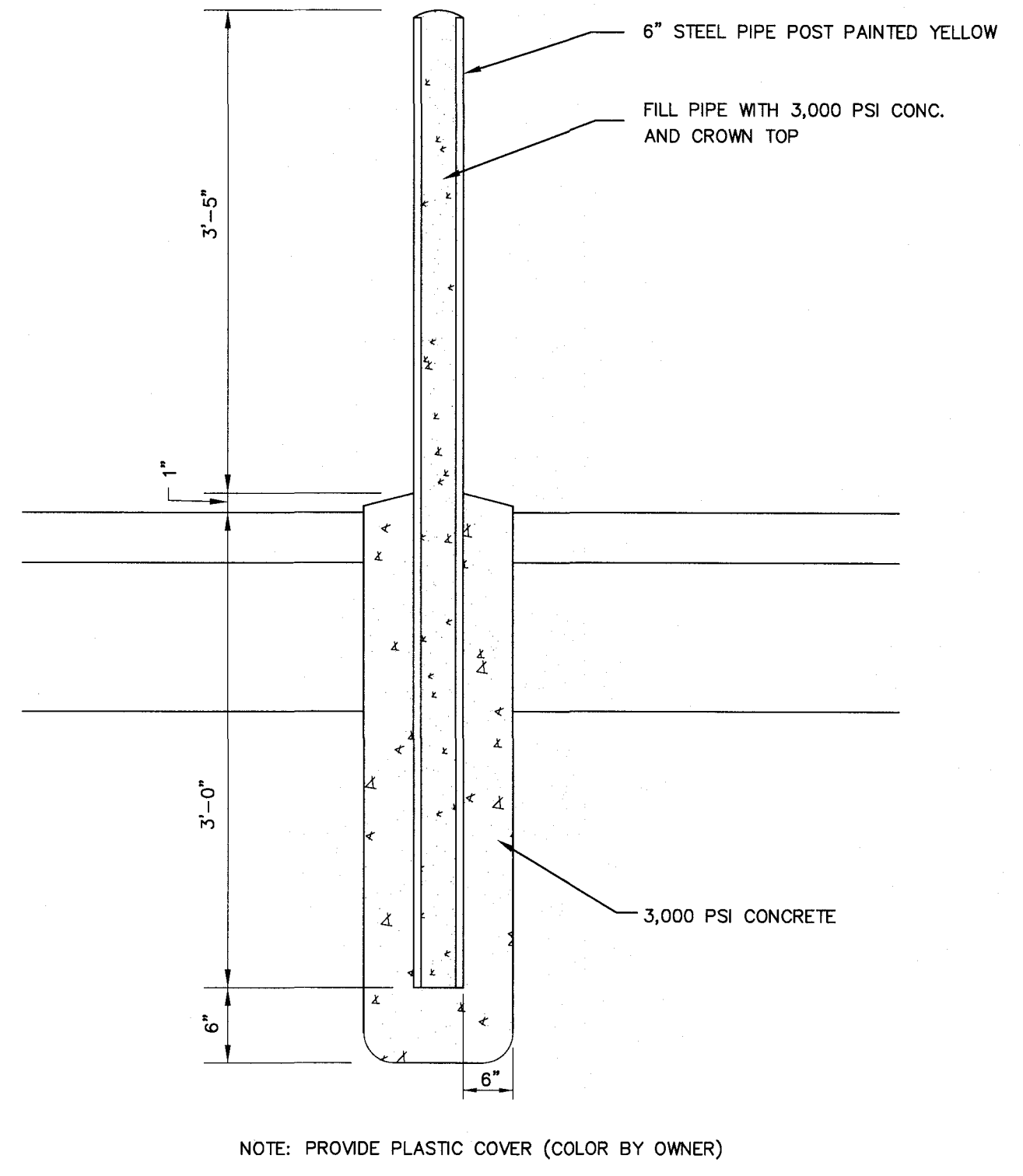


NOTES:
 1. POLE BASE MAY BE PRECAST BY LAKELANDS (LB24D)
 2. LIGHT POLE MANUFACTURER TO SUPPLY ANCHOR BOLTS, OUTSIDE BASE, AND BOLT PATTERN TEMPLATES.
 3. LIGHT POLE BASES IN OR ADJACENT TO BIORETENTION AREAS SHALL HAVE 6" BURY DEPTH DUE TO UNCOMPACTED SOILS ADJACENT TO THE BASE.

8 LIGHT BASE



9 RESERVED PARKING AND SIGNAGE



NOTE: PROVIDE PLASTIC COVER (COLOR BY OWNER)

10 STEEL BOLLARD

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MEGA PROPERTIES INDUSTRIAL BUILDING AT GATEWAY II INDUSTRIAL PARK
 STATE OF NEW YORK
 CALL PARKWAY
 GENESSEE COUNTY
 TOWN OF BATAVIA

JOB NO: 1302-21
 SCALE: N/A
 DRAWN: LJB
 DESIGNED: RPB
 DATE: 05/04/22

REVISIONS

DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 141, SECTION 1303 FOR ANY PERSON, UNDER ANY NAME, TO REPRODUCE OR TRANSMIT IN ANY MANNER THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ANY OTHER PERSON WITHOUT THE WRITTEN CONSENT OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF ANY OTHER PERSON REPRODUCES OR TRANSMITS THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ANY OTHER PERSON WITHOUT THE WRITTEN CONSENT OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR, HE OR SHE SHALL BE DEEMED TO HAVE VIOLATED SECTION 1303 OF ARTICLE 141 OF THE EDUCATION LAW AND SHALL BE SUBJECT TO THE PENALTIES AND SANCTIONS PROVIDED IN SECTION 1303 OF ARTICLE 141 OF THE EDUCATION LAW.

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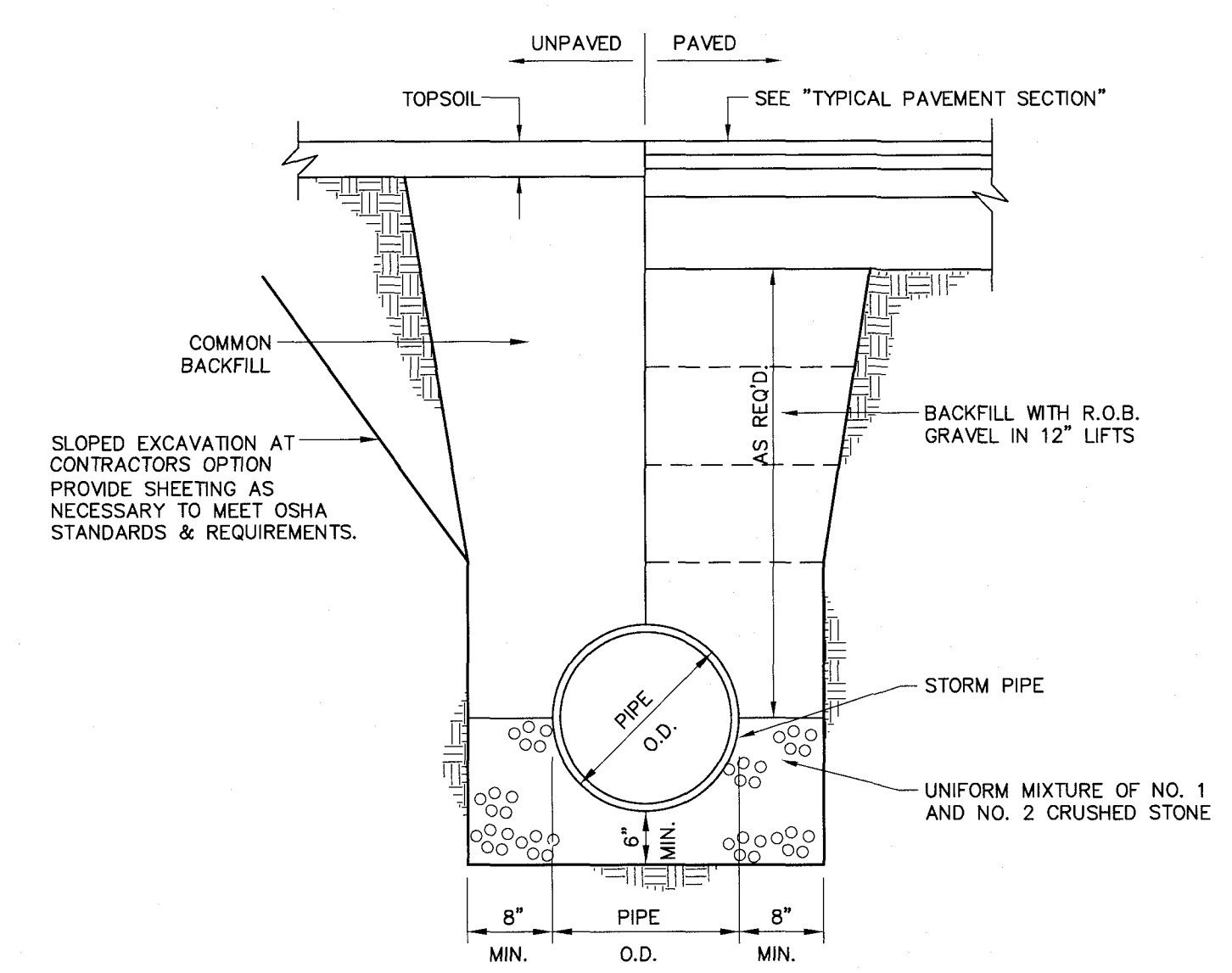
STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 086924

DRAWING TITLE:
CONSTRUCTION DETAILS

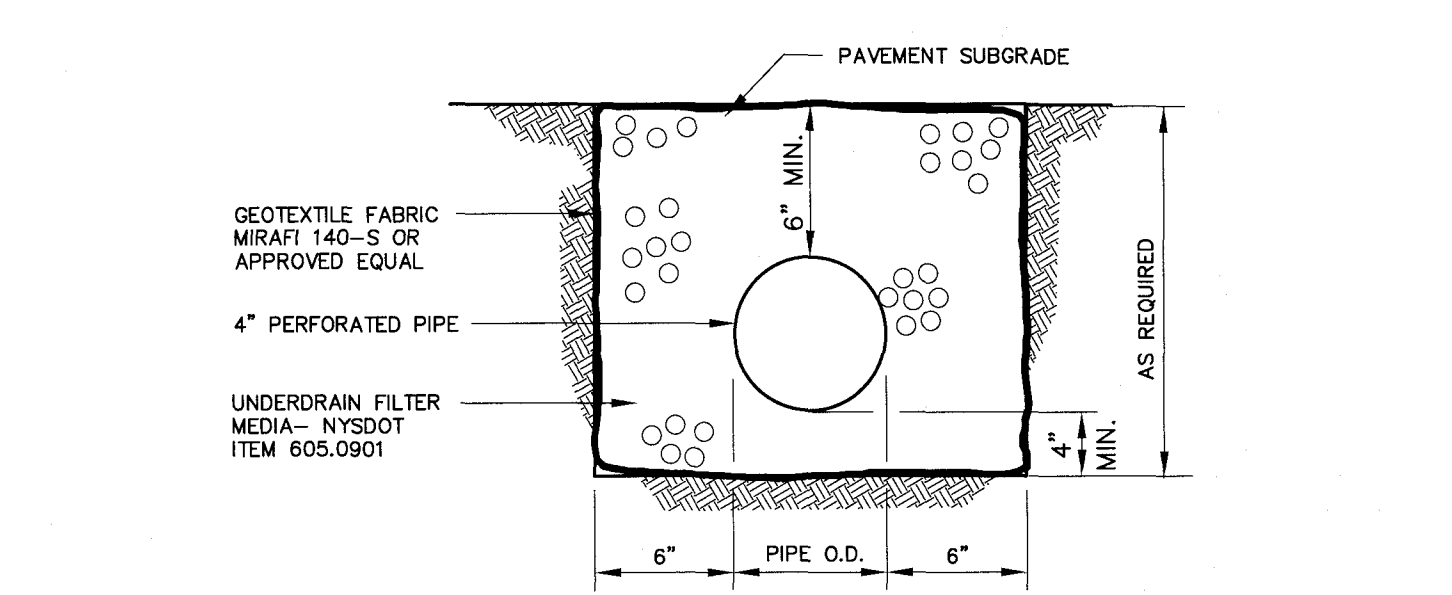
05 of 07 SHEET No:	C4.0
1302-21 JOB No:	DRAWING No:

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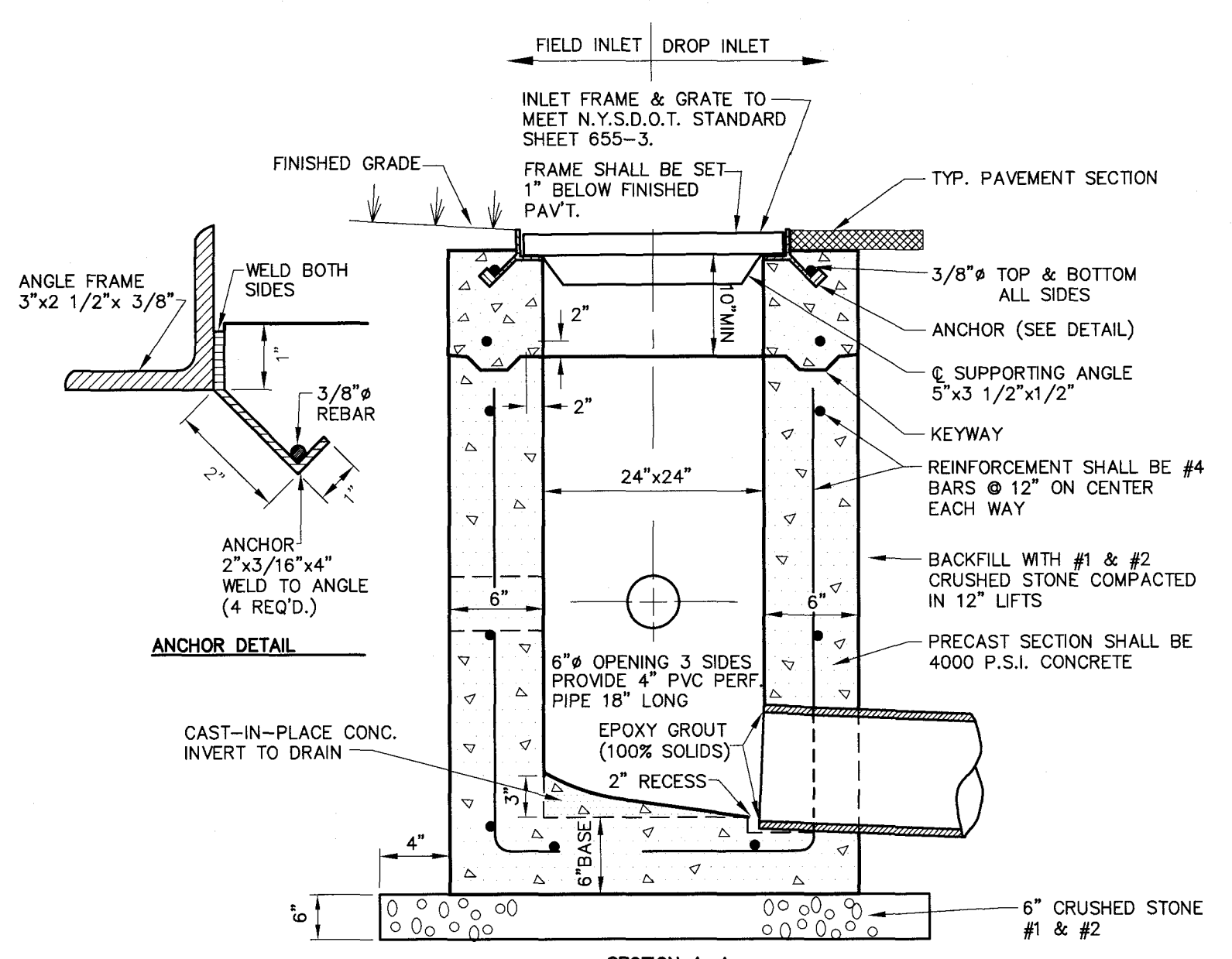
BIORETENTION DESIGN ELEV'S	BIO-A	BIO-B
BIORETENTION FLOOR	898.00	897.50
TOP OF OVERFLOW STRUCTURE	898.50	898.00
OVERFLOW SPILLWAY INVERT	898.90	898.20
TOP OF BANK	899.50	898.50
BASIN SIZE	2,800 SF	900 SF



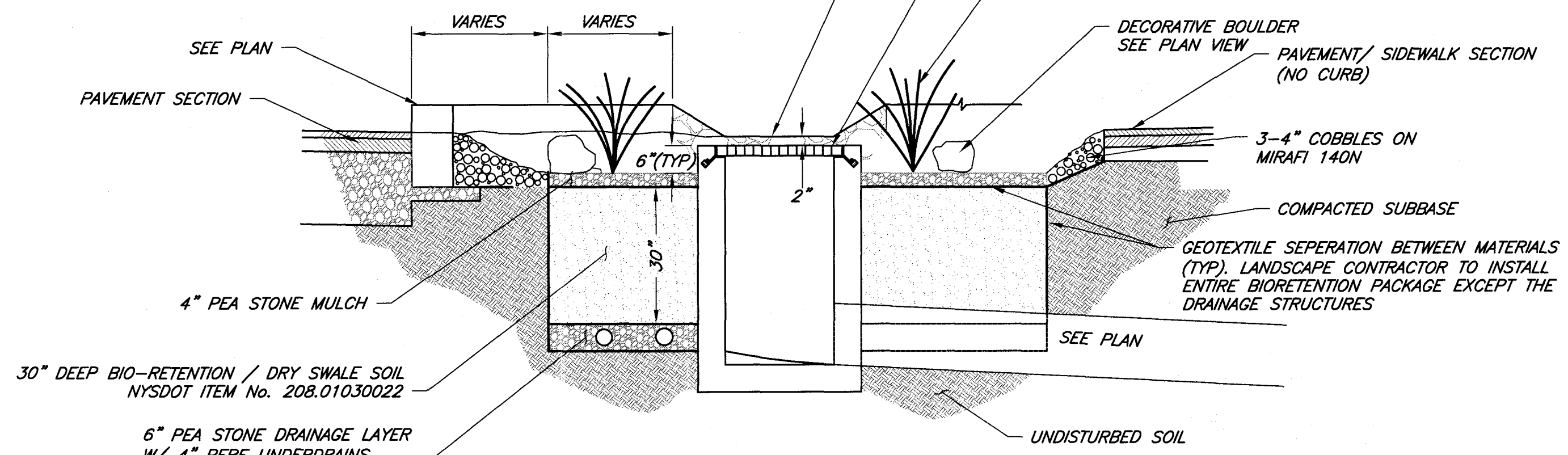
1 STORM TRENCH



2 UNDERDRAIN TRENCH

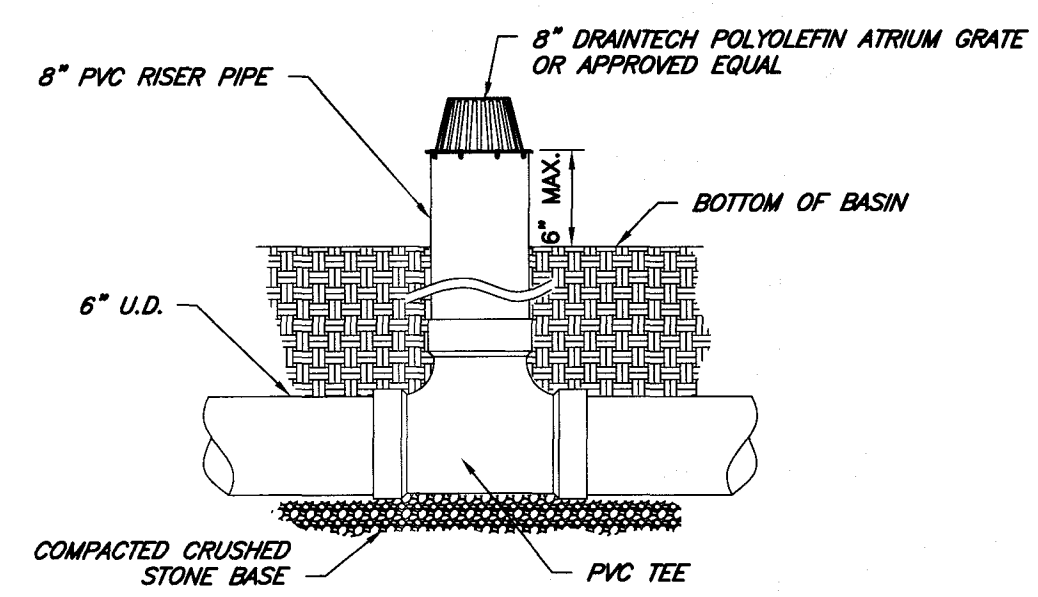


3 DROP / FIELD INLET

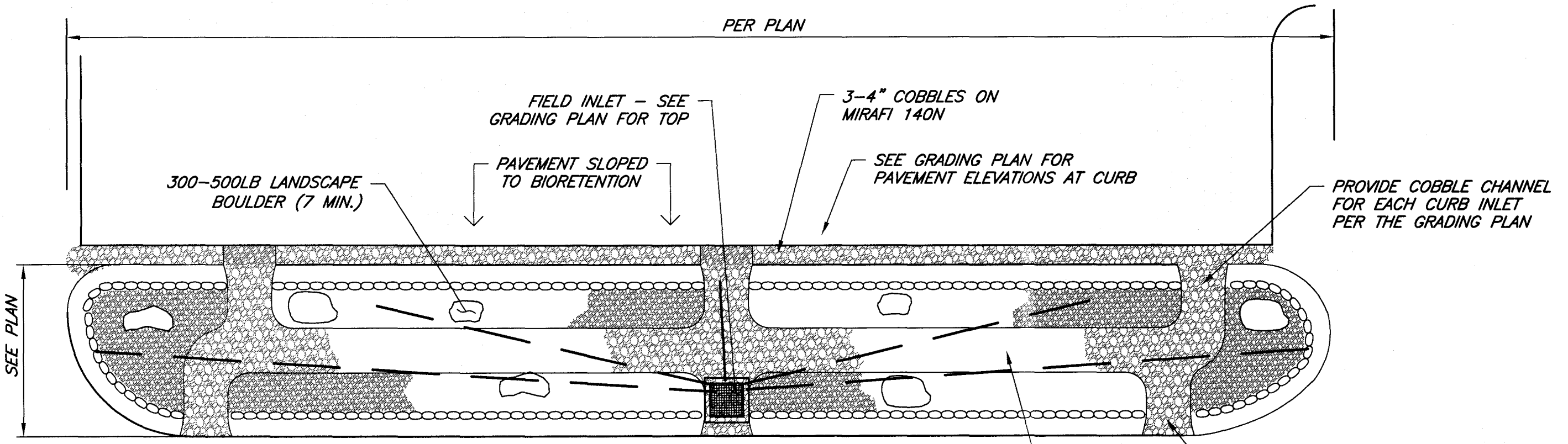


4 BIO-RETENTION ISLAND
SCALE: AS SHOWN

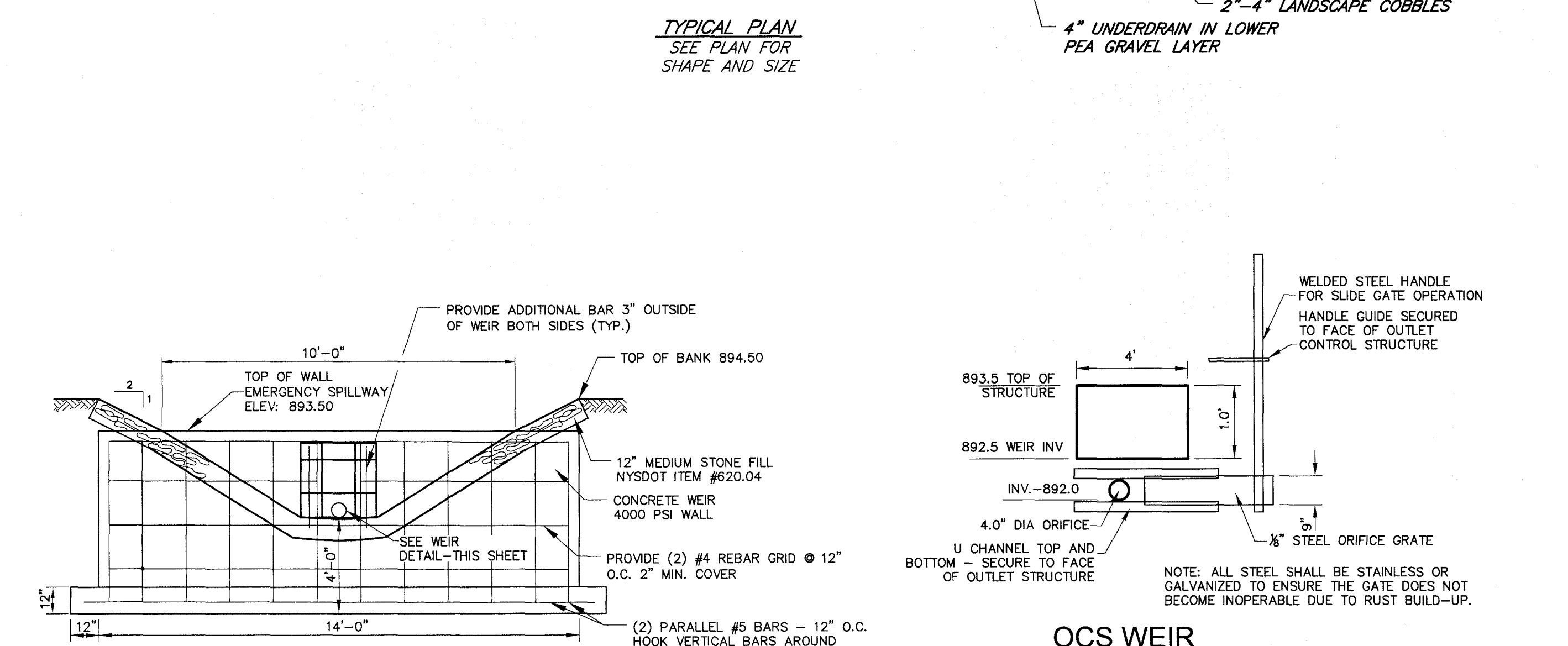
BIORETENTION NOTES:
1. WHEN FIRST BIORETENTION ISLAND IS CONSTRUCTED (PRIOR TO PEA GRAVEL AND COBBLES BEING PLACED) THE CONTRACTOR SHALL NOTIFY DESIGN ENGINEER TO CONDUCT AN INFILTRATION TEST TO VERIFY THE SOIL MIX INFILTRATION CAPACITIES.
2. ALL UNDERDRAIN SHALL BE POLYETHYLENE PERFORATED PIPE



5 PVC SANITARY CLEANOUT DETAIL
SCALE: N.T.S.

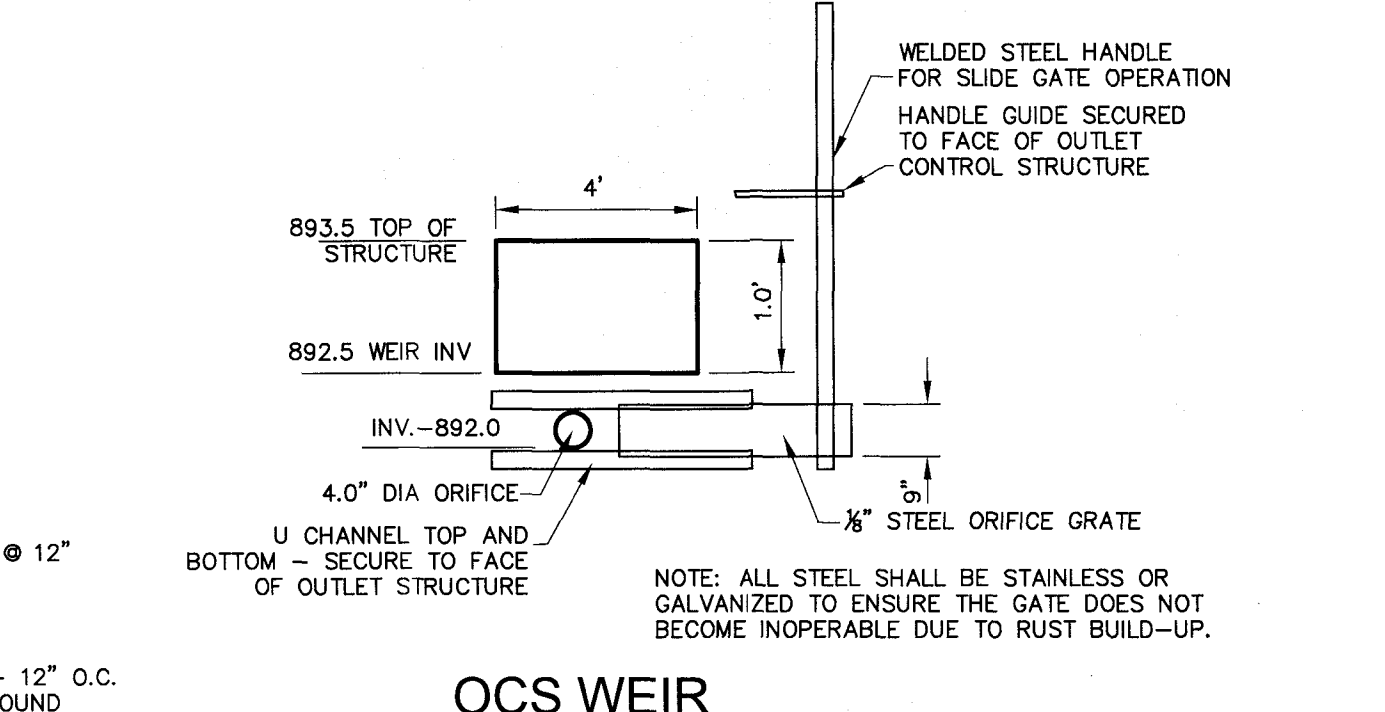


6 RESERVED

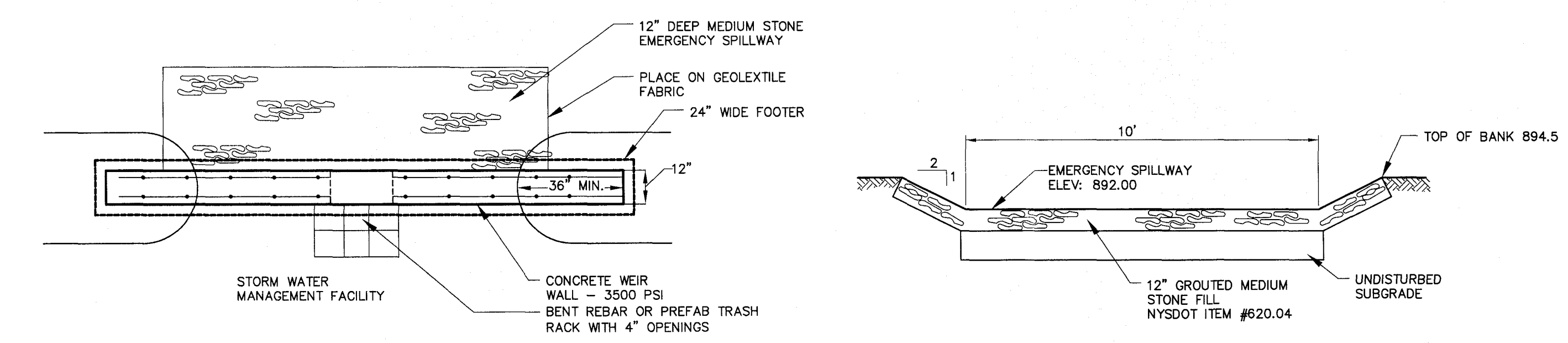


7 OUTLET CONTROL STRUCTURE WEST WEIR

OBSERVATION PORT (2 PER ISLAND)



8 EMERGENCY SPILLWAY



9 STORM WATER MANAGEMENT FACILITY

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SITE PLANS for MEGA PROPERTIES INDUSTRIAL BUILDING AT GATEWAY II INDUSTRIAL PARK

STATE OF NEW YORK
GENESSEE COUNTY
TOWN OF BATAVIA
CALL PARKWAY

JOB NO:	1302-21
SCALE:	N/A
DRAWN:	LJB
DESIGNED:	RPB
DATE:	05/04/22

REVISIONS		
DATE	BY	REVISION

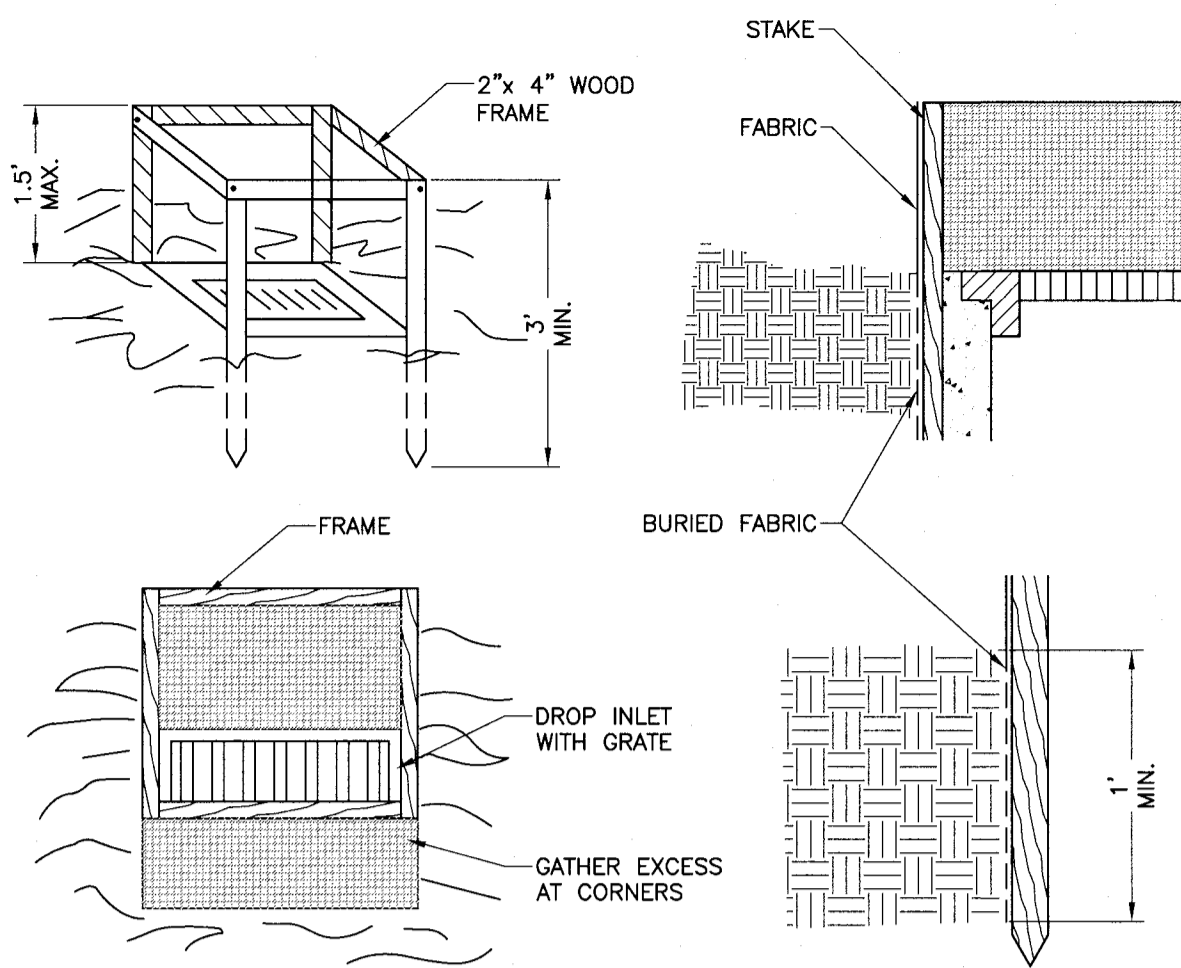
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STATE OF NEW YORK
ROBERT P. BRINGLEY
LICENSED PROFESSIONAL ENGINEER
NO. 066924
ROBERT P. BRINGLEY

DRAWING TITLE:
CONSTRUCTION DETAILS

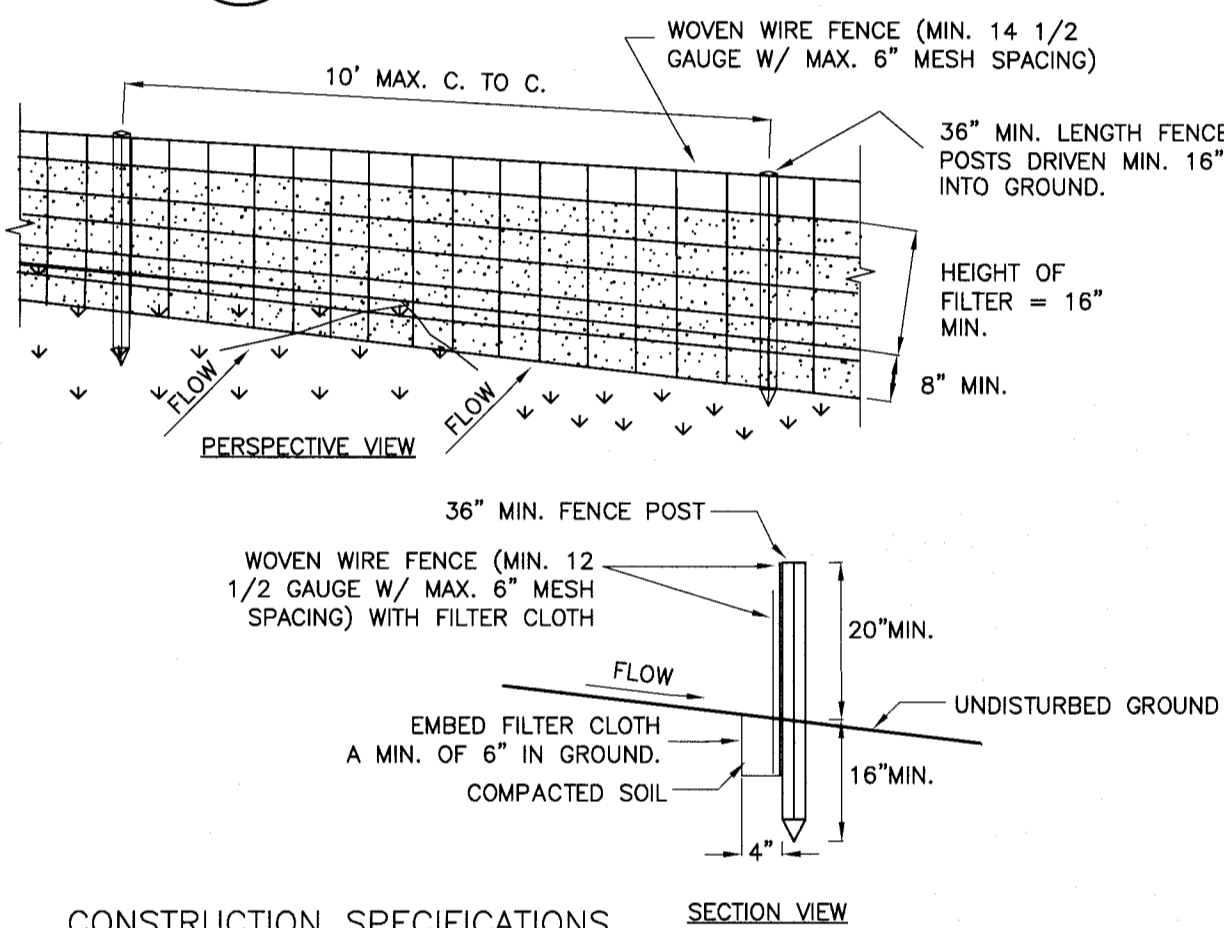
06 of 07	C4.1
SHEET No.	
1302-21	
JOB No.	DRAWING No.



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

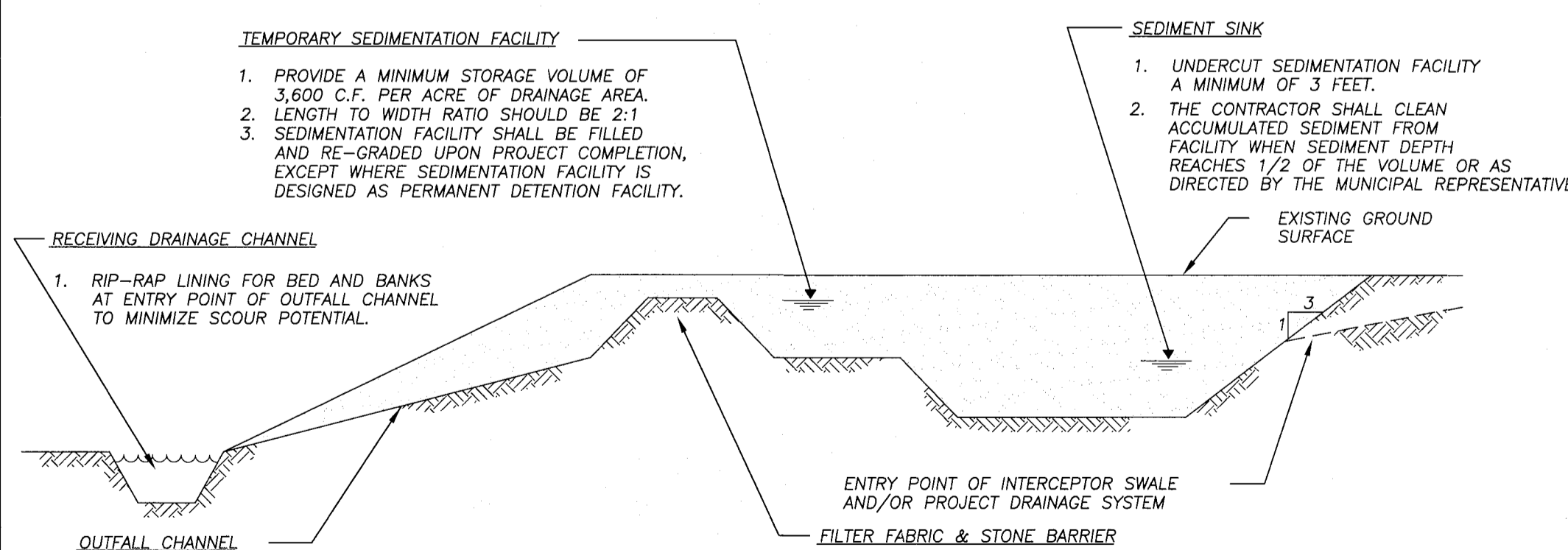
1 DROP INLET PROTECTION



CONSTRUCTION SPECIFICATIONS

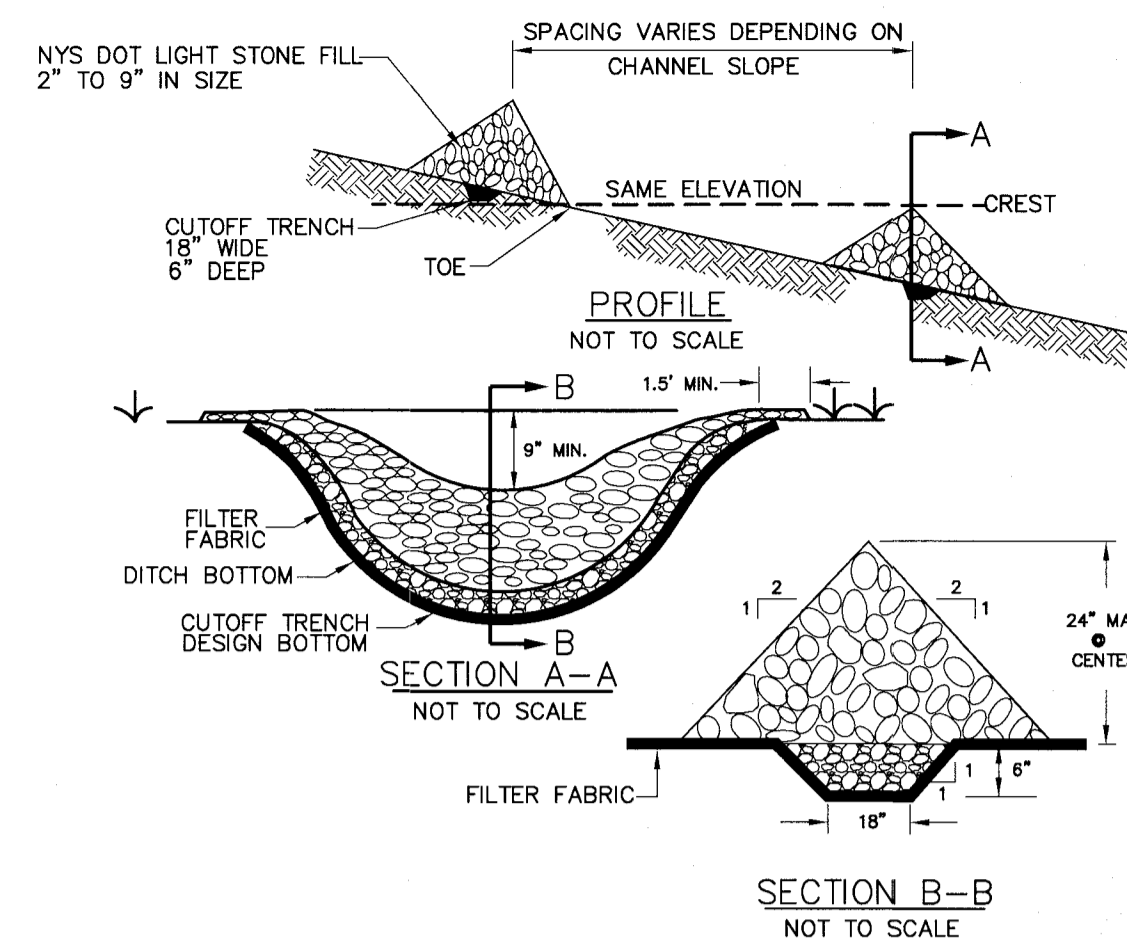
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OF HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. ENVIRO-FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

2 SILT FENCE



1. PROVIDE ADEQUATE PROTECTION TO OUTFALL CHANNEL TO PREVENT EROSION.
2. OUTFALL CHANNEL AND SEDIMENTATION FACILITIES SHOULD BE CONSTRUCTED PRIOR TO BEGINNING MASS EARTHWORK.

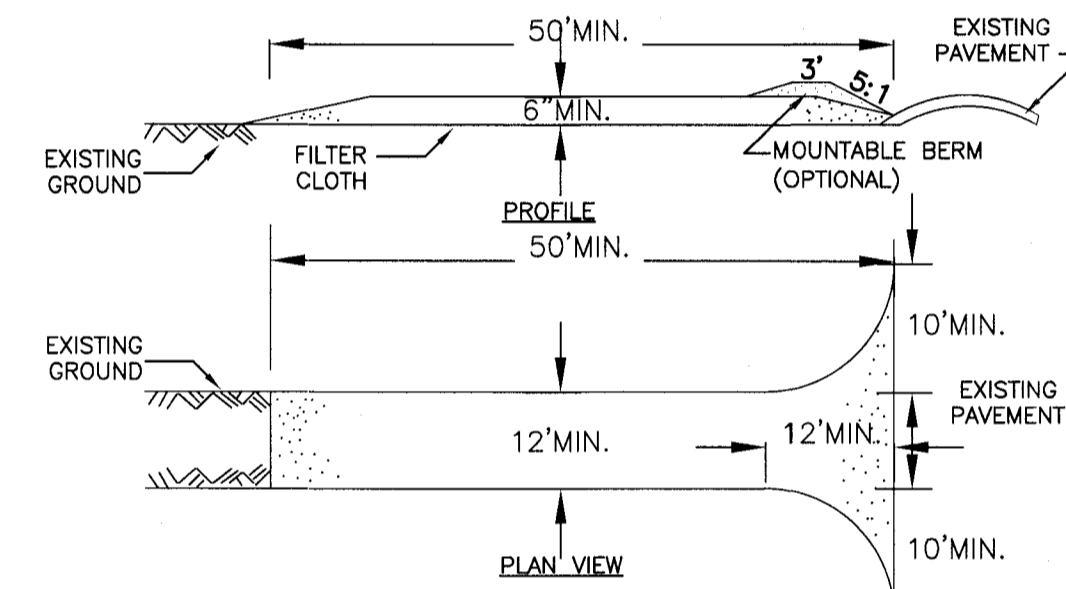
3 TEMPORARY SEDIMENTATION BASIN



CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATION SHOWN ON IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OF BLOCKAGE FROM DISPLACED STONES.

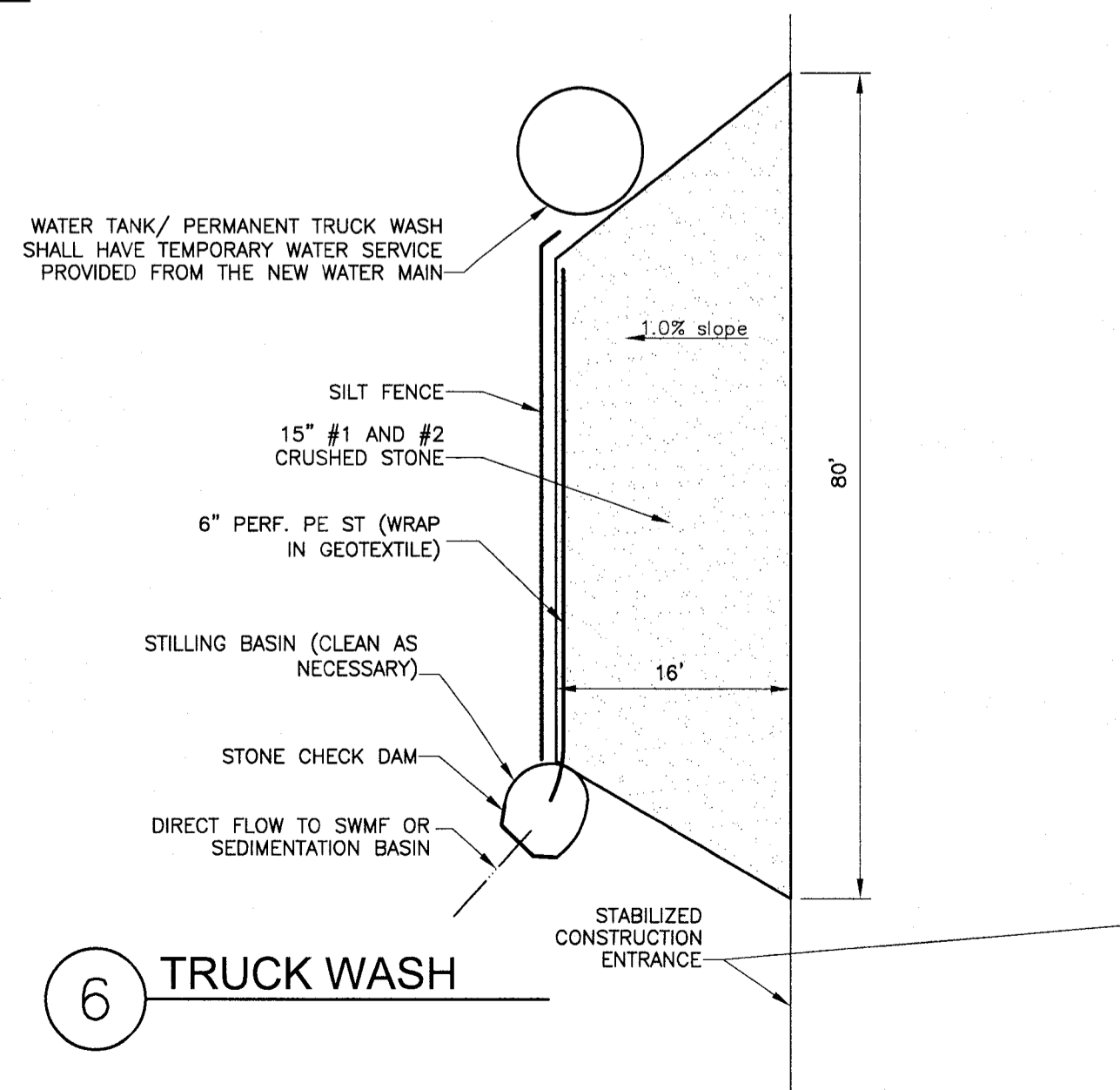
4 STONE CHECK DAM



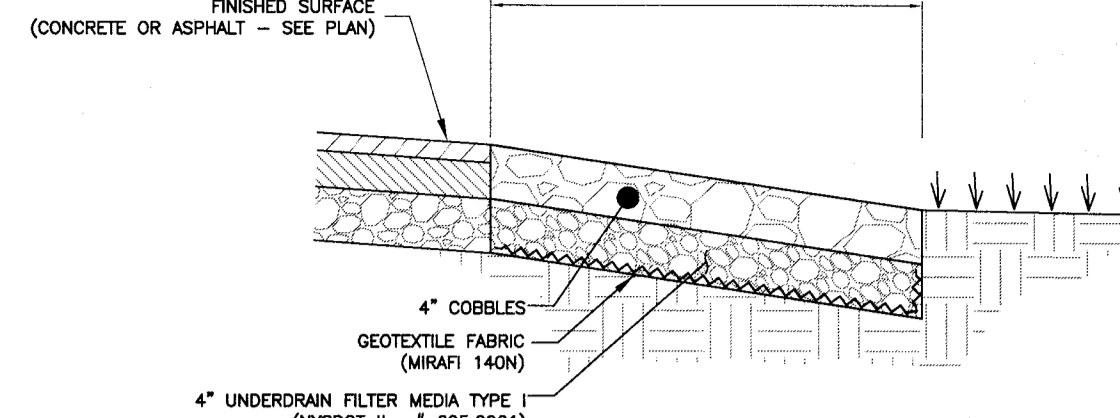
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - 100'
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, TACKED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

5 STABILIZED CONSTRUCTION ENTRANCE



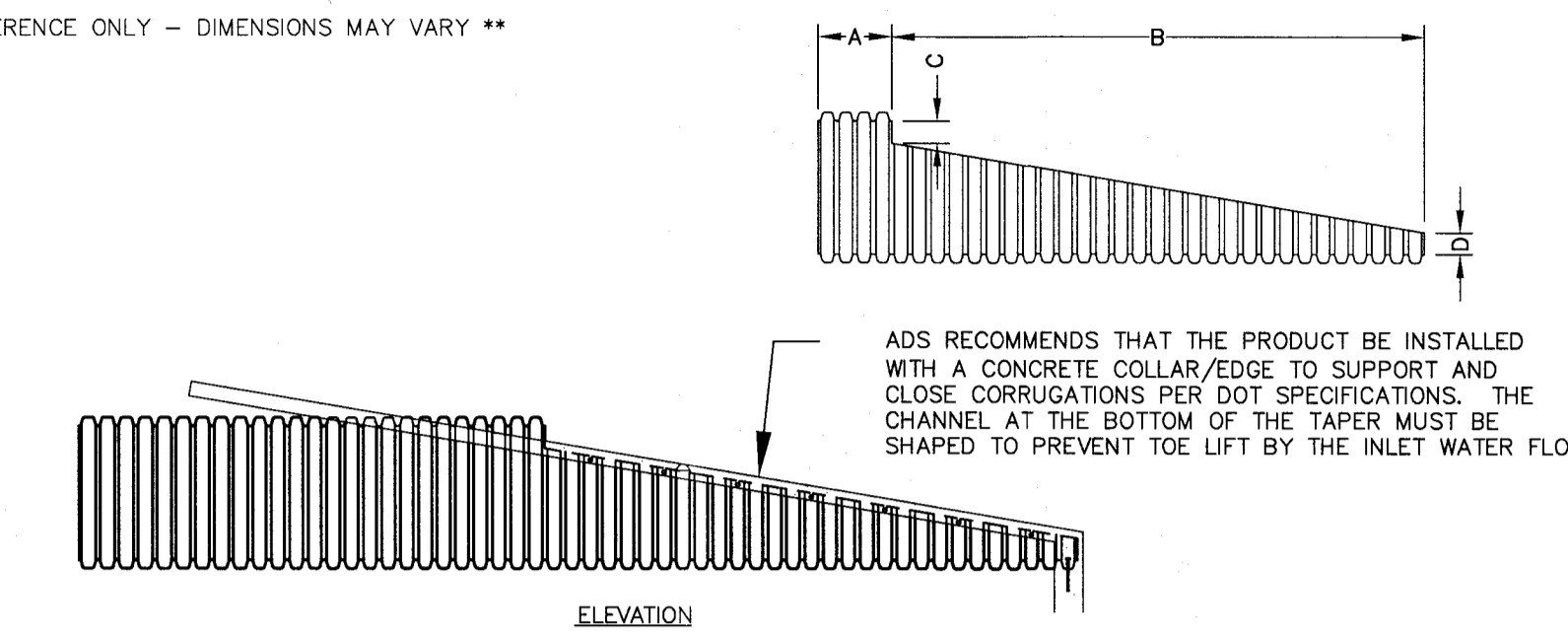
6 TRUCK WASH



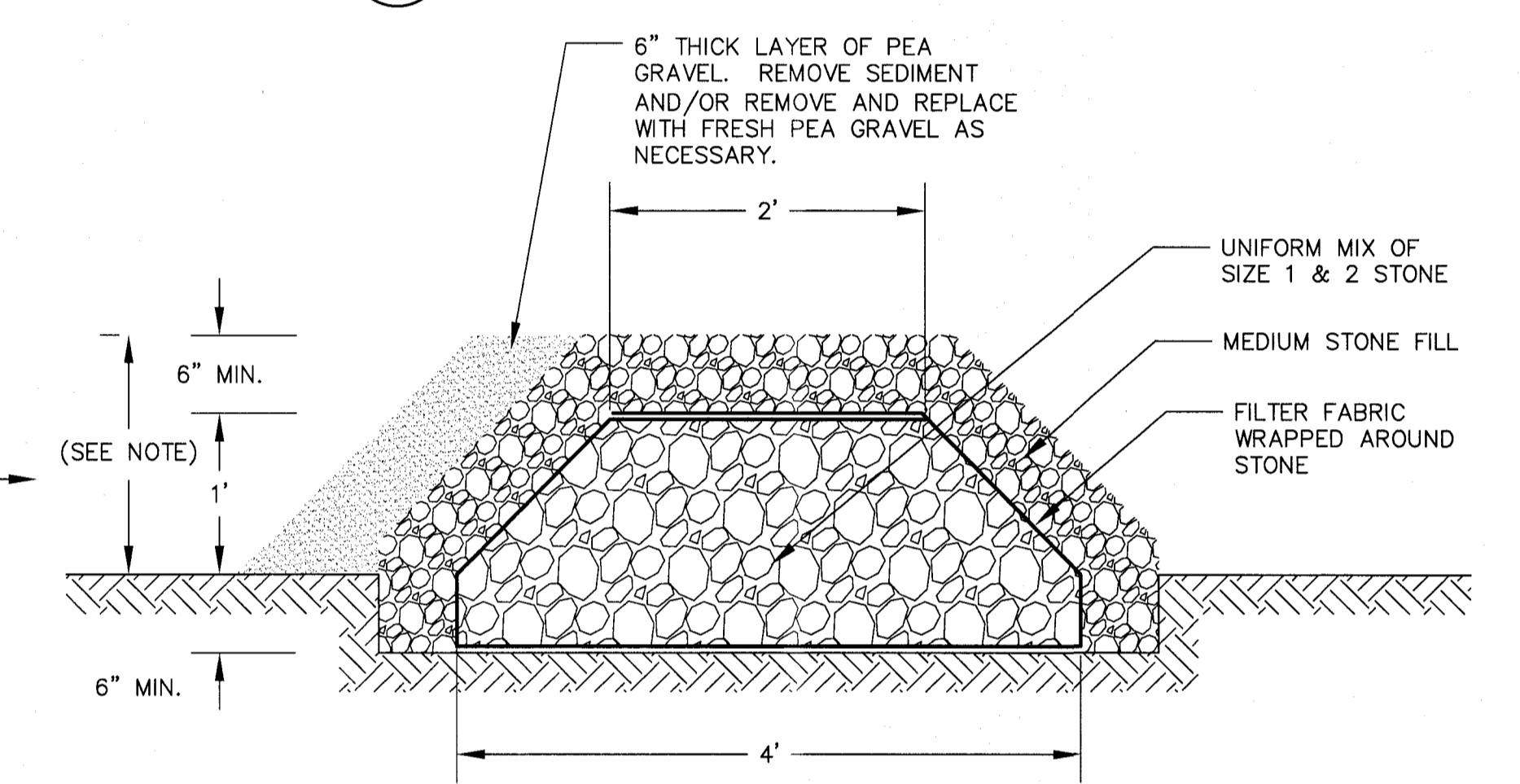
7 STONE EDGE TREATMENT

PIPE DIAMETER	2:1 SLOPE				OAL	3:1 SLOPE				OAL	4:1 SLOPE				OAL	6:1 SLOPE				OAL
	A	B	C	D		A	B	C	D		A	B	C	D		A	B	C	D	
12"	8"	12"	3"	3"	20"	8"	18"	3"	3"	28"	8"	24"	3"	3"	32"	8"	36"	3"	3"	44"
15"	9.75"	14.8"	4"	4"	24.5"	9.75"	22"	4"	4"	31.9"	9.75"	28.4"	4"	4"	39.1"	9.75"	41.6"	4"	4"	51.4"
18"	12"	21"	4.2"	4.2"	33"	12"	30"	4.2"	4.2"	42"	12"	39"	4.2"	4.2"	51"	12"	60"	4.2"	4.2"	72"
24"	16"	24"	6"	6"	40"	16"	36"	6"	6"	52"	16"	48"	6"	6"	64"	16"	72"	6"	6"	88"
30"	18"	30"	6"	6"	52"	18"	50"	6"	6"	72"	18"	72"	6"	6"	88"	18"	108"	6"	6"	124"
36"	18.5"	48.1"	6.9"	6.9"	64.6"	18.5"	73.9"	6.9"	6.9"	92.3"	18.5"	96.9"	6.9"	6.9"	115.4"	18.5"	135.4"	6.9"	6.9"	164"
42"	17.5"	64.4"	5.2"	6"	82"	17.5"	73.9"	5.2"	6"	111.3"	17.5"	122.9"	5.2"	6"	140.5"	17.5"	154.4"	5.2"	6"	192"
48"	17.5"	78.1"	5.4"	6"	93.6"	17.5"	111.2"	5.4"	6"	128.7"	17.5"	146.4"	5.4"	6"	163.9"	17.5"	183.9"	5.4"	6"	244"
60"	12"	100.6"	3.6"	6"	112.6"	12"	112.6"	3.6"	6"	128.7"	12"	146.4"	3.6"	6"	163.9"	12"	183.9"	3.6"	6"	244"

** REFERENCE ONLY - DIMENSIONS MAY VARY **

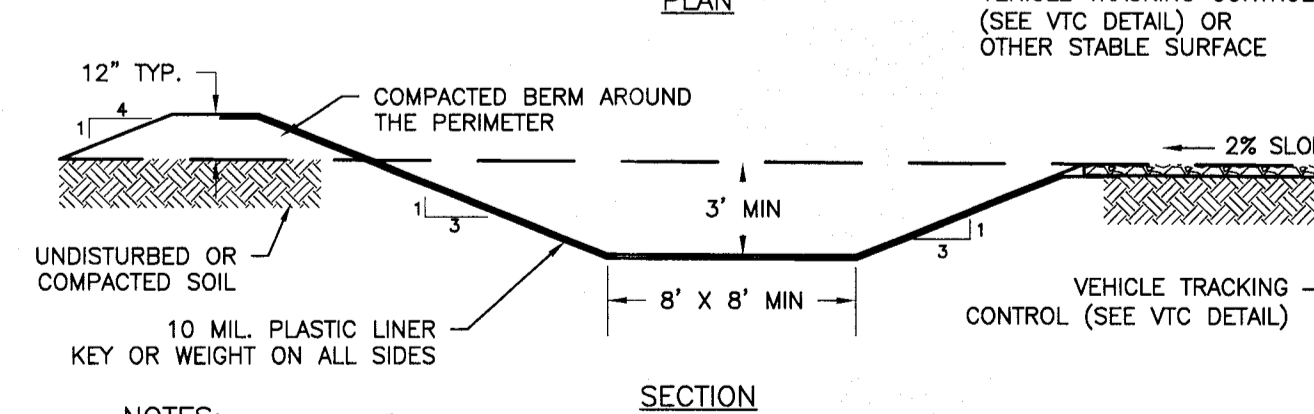
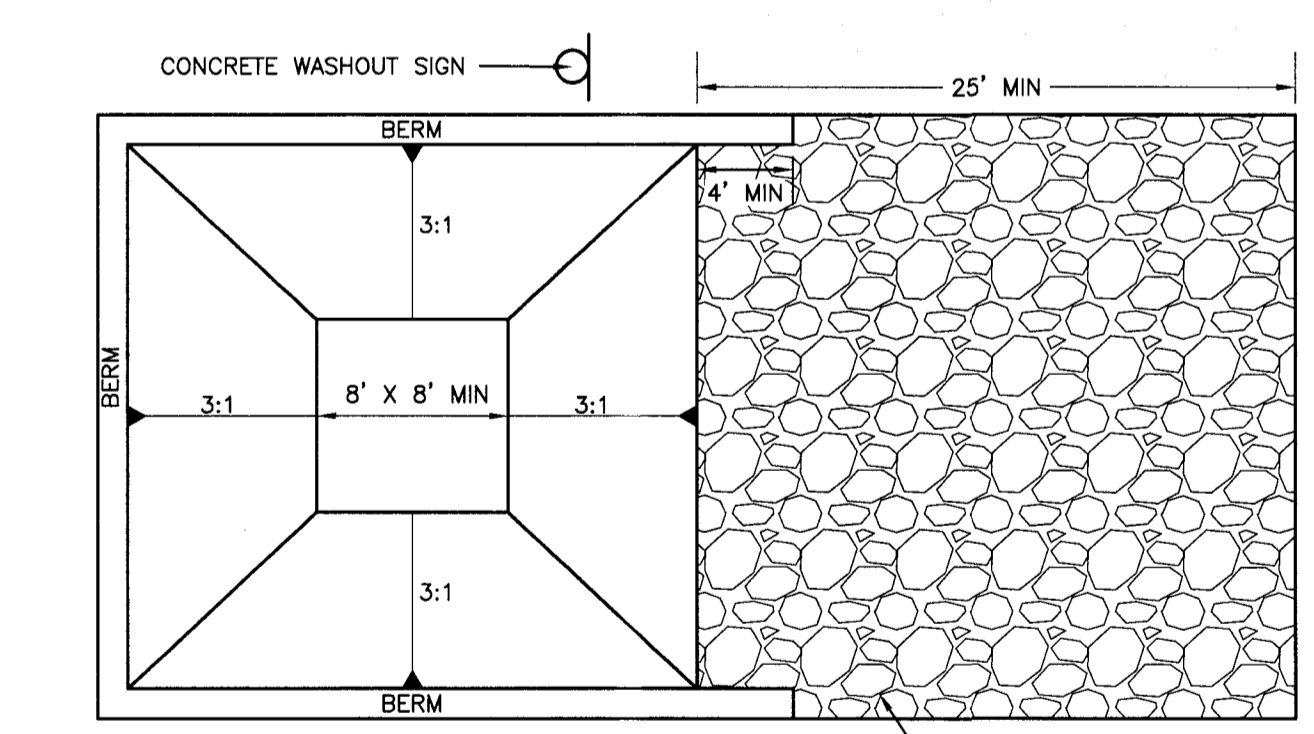


9 TAPERED END SECTION DETAIL



8 RESERVED

10 OUTLET CONTROL STRUCTURE STONE FILTER



1. CONTRACTOR TO VERIFY SIZE REQUIREMENTS BASED ON ANTICIPATED VOLUMES OF CONCRETE WASHOUT.
2. CONCRETE WASHOUT SHOULD BE PLACED TO NOT ACCEPT SURFACE RUNOFF.
3. IF WATER DOES NOT EVAPORATE AND IS GREATER THAN 75% FULL CONTRACTOR SHALL REMOVE LIQUIDS AS REQUIRED BY THE LOCAL AUTHORITY (VAC TRUCK)
4. PROVIDE MINIMUM AGGREGATE OF 10 MIL PLASTIC AS LINER. SECURE LINER TO PREVENT INFILTRATION & REPLACE AS NECESSARY FOR TEARS.

11 CONCRETE WASHOUT AREA

MARATHON ENGINEERING
 ROCHESTER LOCATION
 39 CASCADE DRIVE
 ROCHESTER, NY 14614
 585-458-7770
 ITHACA LOCATION
 840 HANSHAW RD, STE 6
 ITHACA, NY 14850
 607-241-2917
 www.marathoneng.com

SITE PLANS for
MEGA PROPERTIES INDUSTRIAL BUILDING AT GATEWAY II INDUSTRIAL PARK
 CALL PARKWAY
 GENESSEE COUNTY
 STATE OF NEW YORK
 TOWN OF BATAVIA

JOB NO: 1302-21
 SCALE: N/A
 DRAWN: LJB
 DESIGNED: RPB
 DATE: 05/04/22

REVISIONS

DATE	BY	REVISION

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 STATE OF NEW YORK
 ROBERT P. BRINGLEY
 LICENSED PROFESSIONAL ENGINEER
 NO. 066924

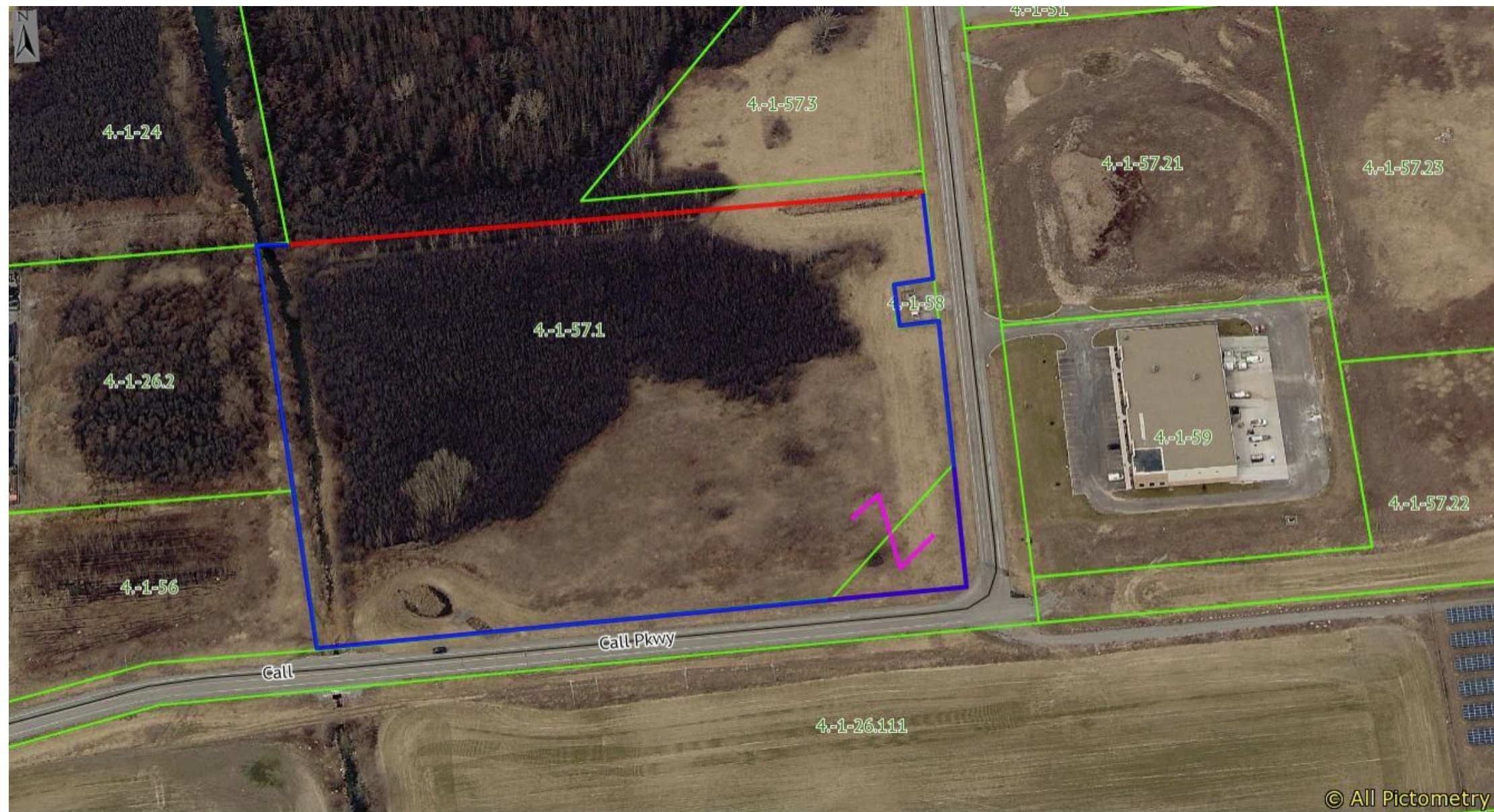
DRAWING TITLE:
CONSTRUCTION DETAILS

07 of 07
 SHEET No: **C4.2**

1302-21
 JOB No: DRAWING No:

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