



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID

T-04-BER-07-24

Review Date

7/11/2024

Municipality
Board Name
Applicant's Name
Referral Type
Variance(s)
Description:

BERGEN, T.

PLANNING BOARD

The Broadway Group, LLC

Site Plan Review

Area Variance(s)

Site Plan Review and Area Variance for an Approx. 10,640 sq. ft. new commercial retail building (Dollar General) and associated site improvements on vacant land within Apple Tree Acres Business Park.

Lot Coverage

Maximum allowed: 30%

Proposed: 35.4%

Location
Zoning District

Apple Tree Ave., Bergen

Interchange (INT-I) District

PLANNING BOARD RECOMMENDS:

APPROVAL WITH MODIFICATION(S)

EXPLANATION:

The required modifications are as follows: 1) The applicant obtain documentation from the State Historic Preservation Office (SHPO) as to the project's impacts on archaeological resources; 2) The applicant submit an updated plan that indicates any existing storm water infrastructure directing stormwater runoff from adjacent properties onto the subject property; 3) Given that the project will disturb more than one (1) acre, the applicant completes a Stormwater Pollution Prevention Plan (SWPPP) and obtains a Stormwater Permit for Construction Activity from NYS Department of Environmental Conservation (DEC); and 4) The applicant provide an updated plan that will not result in creating a nonconforming lot (Lot R-3DB) or obtain an area variance so all new parcels will comply with local zoning regulations. With these required modifications, the proposed development should pose no significant county-wide or intercommunity impact. It is recommended that 1) the applicant submits the enclosed application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that the address of the proposed use meets Enhanced 9-1-1 standards and; 2) that the applicant respond to the review comments provided by MRB Group dated May 23, 2024, and; 3) that all signage complies with the Town's zoning regulations.

Senior Planner

July 11, 2024

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901



DEPARTMENT USE ONLY:
GCDP Referral # T-04-BER-7-24

*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

RECEIVED
Genesee County
Dept. of Planning
7/2/2024

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Town of Bergen Planning Board

Address 10 Hunter St

City, State, Zip Bergen, NY 14416

Phone () - Ext.

2. APPLICANT INFORMATION

Name The Broadway Group (Dollar General)

Address 216 Westside Sq.

City, State, Zip Huntsville, AL 35801

Phone (256) 533 -7287 Ext. Email

MUNICIPALITY: City Town Village of Bergen

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____ | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address intersection of Buffalo Rd and Apple Tree

B. Nearest intersecting road NYS 19

C. Tax Map Parcel Number 13-1-59.211

D. Total area of the property 3.712 Area of property to be disturbed _____

E. Present zoning district(s) INT-1

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?

NO YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law

A variance is needed for Lot coverage- due to required number of parking spaces. (SP-24.03)

C. Please describe the nature of this request _____

Construction of commercial retail, stand alone bldg with accompanying lighting, parking, access, and drainage

10,640 sq ft bldg

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input type="checkbox"/> Location map or tax maps | <input type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input type="checkbox"/> Elevation drawings | <input type="checkbox"/> Other: <u>MRB Comments</u> |
| <input type="checkbox"/> SEQR forms | <input checked="" type="checkbox"/> Agricultural data statement | |

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Gary Fink Title Chairperson Planning Boa Phone () - Ext.

Address, City, State, Zip 10 Hunter St Bergen, NY 14416 Email

APPLICATION FOR ZONING and/or BUILDING PERMIT
TOWN OF BERGEN, N. Y. 14416

APPLICATION NUMBER: _____

APPLICATION DATE: 03.11.2024

OWNER	Name: <u>Genesee County Ind. Dev.</u>	APPLICANT	Name: <u>DeAnna Hyche, The Broadway Group</u>
	Address: <u>99 Med Tech Drive Suite 106</u> <u>Batavia, NY 14020</u>		Address: <u>216 WESTSIDE Square</u> <u>Huntsville, AL 35801</u>
	Phone #: <u>585.343.4866</u>		Phone #: <u>(O) 256.533.7287 / (C) 256.929.5874</u>

MUST BE FILLED IN PROJECT SITE LOCATION: intersection of Buffalo Rd & Apple Tree Ave Tax Map # (TMP) 13-1-59.211
Check w/ local Assessor or Tax Bill

INSTRUCTIONS: Using a ball point pen please fill out this application as completely as possible. Submit additional Attachment(s) (listed on the back of the Gold sheet) and the completed application to the Zoning Enforcement Officer (Z.E.O.). This application is **NON-TRANSFERRABLE** and is **NOT** a permit to commence work.

- 1 Application for Use: RESIDENTIAL ; COMMERCIAL ; INDUSTRIAL ; RECREATIONAL ; SITE PLAN ; AG
- 2 Permit for: NEW CONSTRUCTION ; ADDITION ; ALTERATION ; REPAIR ; CHANGE IN USE
- 3 Is this parcel? ; A corner lot: YES NO ; In a Sewer District? YES NO ; In a Water District? YES NO
- 4 List the DIMENSIONS of the parcel: _____ x _____ and/or TOTAL PARCEL AREA (Acres) 3.712 acres
- 5 What are the parcel setbacks [Ft.] from the project. FRONT 80ft; REAR 35ft & SIDE yards (a) 40ft (b) 40ft
- 6 Total % of coverage of ALL buildings on the parcel (including the proposed project): 30 TOTAL %
- 7 Does this project require County Health Department approval? NO YES , If yes, submit attachment F.
- 8 Is this parcel properly subdivided? NO YES , If yes, provide approved survey map. included, we will subdivide again
- 9 Do you give the Town VALID CONSENT to do the required inspections? YES NO , If no, what procedures?
- 10 Name of Architect/Engineer COSTICH Eng., Mike Montalto Telephone # 585.458.3020
Address 217 Lake Avenue Rochester, NY 14608

- 11 Name of Contractor(s) Broadway Construction Telephone # 254.533.7287
Address 216 WESTSIDE Square Huntsville, AL 35801

12 Estimated cost of the project? \$574,550.00 [Substantiation may be required]

PROPOSED PROJECT	HEIGHT	LENGTH	WIDTH	SQ. FT.
HOUSE (1st. floor)				
OTHER (or 2nd floor)	<u>18ft</u>	<u>140ft</u>	<u>76</u>	<u>10640</u>
GARAGE				
ACCESSORY BUILDING				
SWIMMING POOL				
DECK				
COMMERCIAL/INDUSTRIAL				
TOTAL SQ. FT.				

- 14 Total Dwelling units: _____
- 15 Will electric be installed? Yes No
- 16 Describe the proposed project and use:
construction of commercial retail,
stand alone bldg w/ accompanying
lighting, parking, access and drainage
10640 sq ft bldg

[Use additional sheet(s) for more information]

I hereby certify that I have read the instructions and examined this application and supporting attachments and know the same to be true and correct. All provisions of laws and ordinances covering this type of work or use will be complied with whether specified hereto or not. The granting of a permit does not presume to give authority to violate or cancel provisions of any other state or local law or ordinance regulating construction or performance of construction.

Redacted Sales Contract
Signature - OWNER

DeAnna Hyche Development Mgr
Signature - APPLICANT (if different than owner)
03-11-24
Date

Action taken by Zoning Enforcement Officer: APPROVED DENIED , Action necessary: SPECIAL USE: SITE PLAN:
 SCHEDULE A: VARIANCE: Area Use

Article _____ Section _____ Subsection _____ Paragraph _____ Briefly Describe: _____
 Zoning District: _____
 Attachments Required: _____
 Z.E.O. _____ Signature _____
 Date of Action: _____

Wetlands	<input type="checkbox"/>	<input type="checkbox"/>	F E S	Zoning \$ _____	F E S	Cash: _____
Flood Plain	<input type="checkbox"/>	<input type="checkbox"/>		Building \$ _____		Check #: _____
				Electric \$ _____		Receipt #: _____
			Late \$ _____			
			TOTAL \$ _____			

TOWN OF BERGEN

APPLICATION TO THE BOARD OF APPEALS

Appeal Number: SP-24.03

Date: 5/16/2023

OWNER

Name: Genessee County
Address: _____

APPLICANT (if other than owner)

Name: The Broadway Group
Address: 216 WESTSIDE ST
Huntsville, AL 35801
256.533-7287

Telephone # _____

Telephone # _____

1 Request to the Board of Appeals to overturn the Zoning Enforcement Officer's decision to DENY GRANT an application for a Zoning Permit Application Number _____ Dated _____

2. APPLICATION FOR: Use Variance Other
Area Variance
Interpretation

LOT COVERAGE

3 Address of Project Site: Apple Tree Ave @ NY-33
Tax Map Number: 13-1-59.211 Zoning District: INT-1

4. Has a previous appeal been filed pertaining to this parcel? No
Yes if yes, list Appeal No _____ Date _____ Purpose of Request variance for % of lot coverage

5. Justification for Request: General Response
ZBA has asked for additional parking in exchange for lot coverage variance

A more SPECIFIC RESPONSE should accompany this application on separate sheet(s) of paper. Address each of the statements listed on the back of the GOLD sheet which pertain to your specific appeal

The Applicant shall submit with this appeal, appropriate supporting materials including, but not limited to, site plans, elevations, traffic circulation diagrams, neighborhood land use maps and any other material that will assist the Board in making a determination regarding this request.

CERTIFICATION: I hereby certify that I have read and examined this application and supporting attachments and know the same to be true and correct. All provisions of laws and ordinances covering this type of work or use will be complied with whether specified herein or not. The granting of an appeal does not presume to give authority to violate or cancel the provisions of any other state or local ordinance or law regulating construction or performance of construction and/or use.

Applicant's Signature [Signature]

Owner's Signature (if other than applicant) _____

PROVISIONS of ZONING LAW APEALED:

1. Article _____ Section _____
Subsection _____ Paragraph _____
state reason: _____
2. Schedule A - state reason: _____

FEE COLLECTED: Check # _____

Appeal Fee \$ _____
Public Hearing Fee \$ _____
TOTAL FEE \$ _____

Signature _____ Zoning Enforcement Officer

Date _____

COPY DISTRIBUTION: White - ZEO, Yellow - PLANNING BOARD, Pink - BOARD OF APPEALS, Gold - APPLICANT

REQ

Proposed

**MAX Lot Coverage %
(including parking)**

30%

35.4%

OFFICE USE ONLY

DOLLAR GENERAL

3/29/2024

Town of Bergen, NY
Planning Board
10 Hunter St
Bergen, NY 14416

RE: Proposed Dollar General: Appletree Ave. Bergen, NY

To whom it may concern,

Through the years, Dollar General has been in the process of refining the design criteria for new store development. With almost 20,000 stores in productive operation, we have gathered a significant amount of data.

One area in which we are balanced between development cost and customer needs is in the area of parking requirements and accessibility for our build-to-suit locations. During the highest peak hours of sales, the prototype utilizes approximately 50% of its parking spaces. We have confirmed that the proposed 35 spaces at this location will accommodate and exceed the customer flow rate that our business generates.

Thank you for this inquiry and the opportunity to bring the Dollar General to the local community. Please feel free to contact me with any other questions you may have.

Best regards,

Sarah James Myatt

Architecture & Engineering Sr. Manager
Dollar General CORP.
100 Mission Ridge
Goodlettsville, TN

Town of Bergen Zoning Board of Appeals

Variance and Special Use Findings and Decisions

Applicant: Dollar General Variance #
The Broadway Group Published Notice on
DeAnna Hyde Notice to County Sent on
216 Westside Square Hearing Held on 6/20/24
Huntsville AL 35801

Property Location 13.-1-59.211

Requirement for which Variance is Requested Variance for 90% of lot coverage

Applicable Section of the Town Zoning Code Schedule A

Factors Considered:

1. Whether undesirable change would be produced in the character of the neighborhood or a detriment to nearby properties: YES NO X

Reasons Industrial unmerchange

2. Whether benefit sought by applicant can be achieved by a feasible alternative to the variance: YES NO X

Reasons min number of Parking Spaces

3. Whether the requested variance is substantial: YES X NO

Reasons NOT asking for more coverage than needed.

4. Would the variance have an adverse impact on the physical or environmental conditions in the neighborhood? YES NO X

Reasons Industrial unmerchange

5. Whether the alleged difficulty was self-created: YES X NO

Reasons violates code for allowable lot coverage

Determination of the ZBA Based on the previous 5 Factors:

The ZBA, after taking into consideration the five factors from page 1, finds that:

- The benefit to the applicant does not outweigh the detriment to the neighborhood or the community and therefore the variance is denied.
- The benefit to the applicant does outweigh the detriment to the neighborhood or community.

Reasons: industrial interchange

The ZBA further finds that a variance of 35.4% from Section Sec A of the zoning code is the minimum variance that should be granted to preserve and protect the character of the neighborhood and the health, safety and welfare of the community because:

Conditions: The ZBA finds that the following conditions are necessary to minimize adverse impacts upon the neighborhood or community, for the following reasons:

- Condition #1 N/A
- Condition #2
- Condition #3

Adverse impact to be minimized: _____

Date: 6/20/2024

Paul Cozper
Chairman ZBA

May 23, 2024

Mr. Gary Fink, Chairperson
and Planning Board Members
Town of Bergen
10 Hunter Street, PO Box 249
Bergen, NY 14416

**RE: NEW 10,640 SF +/- COMMERCIAL RETAIL SPACE
INTERSECTION OF BUFFALO ROAD AND APPLE TREE AVENUE
PRELIMINARY SITE PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REVIEW
MRB GROUP PROJECT NO. 0202.24000.000 – PHASE 007**

Dear Mr. Fink and Planning Board Members:

As requested, MRB Group has completed a review of the revised Preliminary Site Plans dated May 6, 2024 (originally dated February 20, 2024) and Preliminary Stormwater Pollution Prevention Plan (SWPPP) dated May 6, 2024 (originally dated September 2023), received on May 8, 2024. All materials were prepared by Costich Engineering. The Applicant is proposing to construct a +/- 10,640 SF commercial retail building with accompanying lighting, parking, access, and drainage on Tax Parcel 13-1-59.211 located at the intersection of Buffalo Road and Apple Tree Avenue on the east side of Apple Tree Avenue and south side of Buffalo Road. The property is a 3.71-acre tract that is subdivided into two lots (R-3DA and R3DB); The land parcel is zoned Interchange Industrial (INT-I) District.

We offer the following comments for the Planning Boards consideration. A brief written response to each comment should be provided by the design engineer.

MISCELLANEOUS/GENERAL COMMENT

1. This review was conducted, and comments were made solely on the materials received (Revised Preliminary SWPPP and Site Plans). Comments from MRB's previous review (dated March 21, 2024) that could be verified as being addressed in the SWPPP and Site Plans have been removed from this letter. As it appears that a response letter from the Applicant was not provided, some comments from the previous MRB review remain. It is requested that a response letter be provided for clarity and ease of review.

SEQR COMMENTS

2. The application is considered an Unlisted Action under SEQRA and requires a determination to be made by the Planning Board. Unless already provided, the applicant should submit a Short Environmental Assessment Form (SEAF) Part 1.
3. It should be noted that if any Impacts are identified on the SEAF Part 1, external coordination and permitting may be required.

SITE PLAN AND GENERAL COMMENTS

4. The application form states that the site will be subdivided and a separate "revised" subdivision map was provided; please clarify and provide more details regarding the intent behind this proposed subdivision.
5. The following comments pertain to the Site Plan (Sheet CA110):
 - a. A sequence of construction should be added to the plans. This should include each step of the project clearing, erosion and sediment control measures, grading, stormwater, etc. in chronological order.
 - b. It appears that the parking size has been increased, but the number of spaces has not been increased. Per Town Code 475-46.G, one parking space is required for every 200 square feet of business area. The proposed sales area is approximately 8,500 SF, which would require 43 parking spaces; it appears that the total number of proposed spaces is currently 35.
 - c. It should be noted that the current proposed lot coverage % (including parking) is 29.7%, which is under the maximum allowance of 30% (Per Town Zoning Schedule A); however, given the parking consideration above, the lot coverage may need to be addressed.
 - d. The proposed curb cut for ingress/egress is to be reviewed and approved by the Town Highway Superintendent and NYS DOT.
6. The following comments pertain to the Turning Movements Plan (Sheet CE-120):
 - a. It is recommended that this drawing be completed to show that an emergency vehicle has appropriate clearance for ingress/egress and reviewed/approved by the Fire Marshall.
7. The following comments pertain to the Initial Phasing ESPC Plan (Sheet CE-130):
 - a. It is acknowledged that inlet protection was provided on some structures and a detail was provide as requested; however, all inlets should be shown provided with inlet protection (i.e. the catch basin south of the access drive is shown without protection).

8. The following comments pertain to the Utility Plan (Sheet CA150)
 - a. It is acknowledged that a note was added to provide 18-inch vertical separation between the water line and the storm water/drainage piping; however, this should also be added for the separation between the sanitary sewer lateral and the water main. Water and sanitary sewer service sizing calculations and service installation details should be provided for review and approval by the Town Highway Superintendent.
9. The following comments pertain to the Landscaping Plan (Sheet LA-100):
 - a. Under "site estimates", the postconstruction conditions lists that the impervious area will cover 30.5% of the site (revised from the original submittal value of 31.7%); however, in the Application Package as well as on sheet CA-110, the lot coverage is proposed to be 29.7%. Per Town Code Schedule A, the maximum lot coverage is to be 30%. Please verify what the proposed coverage is.

SWPPP AND DRAINAGE COMMENTS:

10. The proposed emergency overflow elevations (secondary routing structures) added to the revised plans appear to be inaccurate. The emergency spillway elevation for the bioretention is labelled as 643.5 on the Plans while the SWPPP says this is at 644.2. The Stormwater Management Facility is labelled on the Plans as 844.5 which is over 200 feet higher than the contours shown of the facility. Please review all information in the SWPPP, clarify, and revise.
11. It appears that at the 100-year storm the bioretention pond will overflow (hydrographs show a peak elevation of 644.54' while the plans appear to show a top of bank elevation of 644' around the pond; please verify what the actual elevation is around the pond and that the pond has sufficient capacity.
12. Inspector information and contractor information forms will need to be filled out prior to final SWPPP approval. Additionally, the draft NOI should be reviewed and updated as necessary for all final information for the site.
13. All NOI Certification Forms should be updated (submitted draft NOI has a start date of November 2023 and completion date of May 2024) and signed prior to final approval.
14. The project will be required to enter into a Stormwater Maintenance Agreement with the Town of Bergen. A draft agreement is to be included in the SWPPP as well as submitted to the Town Attorney for review and approval.

Should you have any questions, please do not hesitate to call.

Sincerely,



Matthew Sousa
Senior Planning Associate

Copies by Email Only to:

- c: Mike Montalto – Costich Engineering
- Kim Donley – Planning Board Secretary
- Gerald Wood – Code Enforcement Officer

March 21, 2024

Mr. Gary Fink, Chairperson
and Planning Board Members
Town of Bergen
10 Hunter Street, PO Box 249
Bergen, NY 14416

**RE: NEW 10,640 SF +/- COMMERCIAL RETAIL SPACE
INTERSECTION OF BUFFALO ROAD AND APPLE TREE AVENUE
PRELIMINARY SITE PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REVIEW
MRB GROUP PROJECT NO. 0202.24000.000 – PHASE 007**

Dear Mr. Fink and Planning Board Members:

As requested, MRB Group has completed a review of the submitted Preliminary Site Plans dated February 20, 2024 and Preliminary Stormwater Pollution Prevention Plan (SWPPP) dated September, 2023, received on March 12, 2024. All materials were prepared by Costich Engineering. The Applicant is proposing to construct a +/- 10,640 SF commercial retail building with accompanying lighting, parking, access, and drainage on Tax Parcel 13-1-59.211 located at the intersection of Buffalo Road and Apple Tree Avenue on the east side of Apple Tree Avenue and south side of Buffalo Road. The property is a 3.71-acre tract that is subdivided into two lots (R-3DA and R3DB); The land parcel is zoned Interchange Industrial (INT-I) District.

We offer the following comments for the Planning Boards consideration. A brief written response to each comment should be provided by the design engineer.

SEQR COMMENTS

1. The application is considered an Unlisted Action under SEQRA and requires a determination to be made by the Planning Board. Unless already provided, the applicant should submit a Short Environmental Assessment Form (SEAF) Part 1.
2. It should be noted that if any Impacts are identified on the SEAF Part 1, external coordination and permitting may be required.

SITE PLAN AND GENERAL COMMENTS

3. The application form states that the site will be subdivided and a separate "revised" subdivision map was provided; please clarify and provide more details regarding the intent behind this proposed subdivision.

4. The following comments pertain to the Site Plan (Sheet CA110):
 - a. There currently is a label for "Engineer's Opinion of Earthwork" on the plans but the values are "xxx"; these values should be added to the plan for cut and fill values.
 - b. A sequence of construction should be added to the plans. This should include each step of the project clearing, erosion and sediment control measures, grading, stormwater, etc. in chronological order.
 - c. Per Town Code 475-46.G, one parking space is required for every 200 square feet of business area. The proposed sales area is approximately 8,500 SF, which would require 43 parking spaces; it appears that the total number of proposed spaces is currently 35. Additionally, Per Town Code 475-5, off-street spaces are to have a width of at least 10 feet and an area of not less than 200 square feet; the proposed parking spaces are 9 feet wide and 18 feet long (area of 162 square feet).
 - d. It should be noted that the current proposed lot coverage % (including parking) is 29.7%, which is under the maximum allowance of 30% (Per Town Zoning Schedule A); however, given the parking consideration above, the lot coverage may need to be addressed.
 - e. The proposed curb cut for ingress/egress is to be reviewed and approved by the Town Highway Superintendent and NYS DOT.
 - f. Any proposed signage such as stop signs (at ingress/egress) should be added to the site plan for review.
5. The following comments pertain to the Turning Movements Plan (Sheet CE-120):
 - a. It is recommended that this drawing be completed to show that an emergency vehicle has appropriate clearance for ingress/egress and reviewed/approved by the Fire Marshall.
6. The following comments pertain to the Initial Phasing ESPC Plan (Sheet CE-130):
 - a. All inlets should be provided with inlet protection from sediment runoff; please show on all inlets (i.e. catch basins, ST-2.0) and provide a detail.
 - b. It appears that a portion of runoff from the northwest corner of the site could run off away from the intended path towards the stormwater management facility; it is recommended that a length of silt fence be extended to this section of the site.

7. The following comments pertain to the Utility Plan (Sheet CA150)
 - a. The proposed gas line and tie-in at the existing main should be labelled on the site plans and details should be provided.
 - b. Either a note should be added to the plans that states that a minimum clearance distance of 18" between the proposed sanitary sewer service and the water service shall be maintained or a profile view with proposed elevations showing the offset should be added.
 - c. Water and sanitary sewer service sizing calculations and service installation details should be provided for review and approval by the Town Highway Superintendent.

8. The following comments pertain to the Landscaping Plan (Sheet LA-100):
 - a. Under "site estimates", the postconstruction conditions lists that the impervious area will cover 31.7% of the site; however, in the Application Package as well as on sheet CA-110, the lot coverage is proposed to be 29.7%. Per Town Code Schedule A, the maximum lot coverage is to be 30%. Please verify what the proposed coverage is.
 - b. Please provide a schedule/detail that summarizes the proposed seeding and planting requirements for the bio-retention area.

SWPPP AND DRAINAGE COMMENTS:

9. It is recommended that the word "proposed" be added in front of "stormwater management facility" for developed drainage D-2 under the "Developed Conditions" in the introduction on page 6 of the SWPPP for clarity.
10. The proposed emergency overflow elevations (secondary routing structures) and the top of banks should be added to the plans for both the bioretention pond and the Stormwater Management Facility.
11. It appears that at the 100-year storm the bioretention pond will overflow (hydrographs show a peak elevation of 644.54' while the plans appear to show a top of bank elevation of 644' around the pond; please verify what the actual elevation is around the pond and that the pond has sufficient capacity.
12. Inspector information and contractor information forms will need to be filled out prior to final SWPPP approval.
13. All NOI Certification Forms should be updated (submitted draft NOI has a start date of November 2023 and completion date of May 2024) and signed prior to final approval.

14. The project will be required to enter into a Stormwater Maintenance Agreement with the Town of Bergen. A draft agreement is to be included in the SWPPP as well as submitted to the Town Attorney for review and approval.

Should you have any questions, please do not hesitate to call.

Sincerely,



Matthew Sousa
Senior Planning Associate

Copies by Email Only to:

- c: Mike Montalto – Costich Engineering
- Kim Donley – Planning Board Secretary
- Gerald Wood – Code Enforcement Officer

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: New Retail Store - Bergen			
Project Location (describe, and attach a location map): Buffalo Road & Big Tree Avenue, Town of Bergen			
Brief Description of Proposed Action: Construction of a 10,640 square-foot retail store with related site improvements including parking areas, landscaping, stormwater management, connection to public roadway system, and utility infrastructure (sanitary, water, gas & electric) associated with the building.			
Name of Applicant or Sponsor: The Broadway Group, LLC		Telephone: (256) 533-7287	
Address: PO Box 18968		E-Mail: deanna.hyche@broadwaygroup.net	
City/PO: Huntsville		State: AL	Zip Code: 35804
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Bergen Planning Board, NYSDEC (SWPPP)			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 2.7 acres			
b. Total acreage to be physically disturbed? _____ 1.7 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 2.7 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, NGCC, (c) OpenStreetMap contributors, and the GIS User Community

- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] No
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
- Part 1 / Question 20 [Remediation Site] No

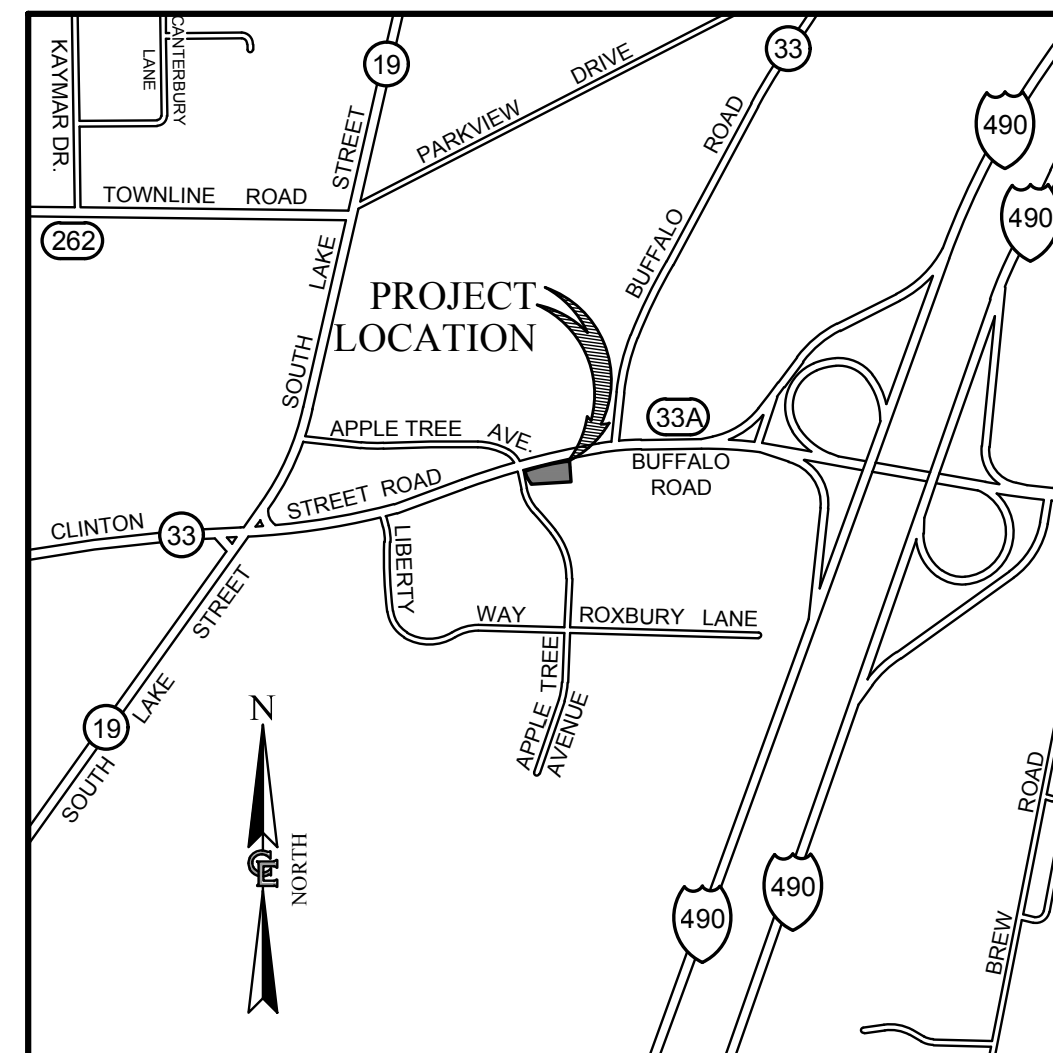
NEW RETAIL STORE SITE DEVELOPMENT PLANS

BUFFALO ROAD & APPLE TREE AVENUE

TOWN OF BERGEN COUNTY OF GENESEE STATE OF NEW YORK

INDEX OF DRAWINGS

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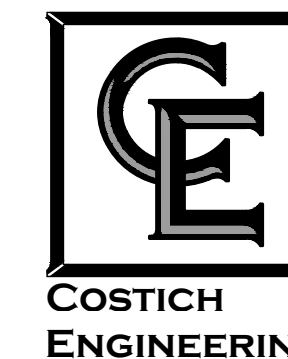
LOCATION SKETCH
NOT TO SCALE

PREPARED FOR:



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**NEW RETAIL STORE
SITE DEVELOPMENT PLANS**
BUFFALO ROAD &
APPLE TREE AVENUE
TOWN OF BERGEN
COUNTY OF GENESEE
STATE OF NEW YORK

DATE: REVISED: MAY 24, 2024
SEPTEMBER 20, 2023

PROJECT NO. 8828

SHEET NO. SHEET 01 OF 15

GRADING GENERAL NOTES	
1.	PREFERRED GRADING PLAN SHOWN HEREIN IS PROVIDED FOR INFORMATIONAL AND PRELIMINARY PURPOSES ONLY. DEVELOPER SHALL SUBMIT DESIGN GRADING PLAN TO NEW RETAIL STORE FOR PRIOR APPROVAL. PRELIMINARY GRADING PLAN SHOWN HEREIN DOES NOT INCLUDE ANY PROVISIONS FOR STORM WATER DETENTION OR OTHER POTENTIAL JURISDICTIONAL REQUIREMENTS.
2.	A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE COMPLETED FOR THIS PROJECT IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS. THE SWPPP GENERAL CONSTRUCTION PERMIT (GP-0-20-001) IS REQUIRED FROM THE NYS-DEC, DUE TO A SOIL DISTURBANCE GREATER THAN ONE (1) ACRE.
2.	SIDEWALKS ADJOINING THE BUILDING MUST HAVE A 6" HIGH INTEGRAL CURB.
3.	PLAN SHOWN HEREIN DOES NOT ASSUME ANY LEDGES AT BUILDING EXTERIOR FOR BRICK VENEER OF METAL BUILDING WALLS PANELS.
4.	PLAN SHOWN HEREIN IS BASED ON PAVEMENT WITHOUT CURBS AND/OR GUTTERS. PLAN IS BASED ON SHEET FLOW TO EARTHEN DITCHES BEYOND THE EDGES OF THE PAVEMENT.
5.	SLOPE CONCRETE SIDEWALKS AWAY FROM BUILDING AT A SLOPE OF 1/8" PER FOOT. INCLUDING RECESSED ENTRY.
6.	FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.
7.	FINISH FLOOR TO BE A MINIMUM OF 12 INCHES ABOVE 100 YEAR FLOOD PLAIN.

GRADING REQUIREMENTS	
①	DELIVERY TRUCK UNLOADING ZONE/DUMPSTER AREA: PREFERRED SLOPE = 0.50% MINIMUM SLOPE = 0.50% MAXIMUM SLOPE = 1.00%
②	DELIVERY TRUCK PARKING AREA: PREFERRED SLOPE = 1.25% MINIMUM SLOPE = 1.25% MAXIMUM SLOPE = 2.50%
③	CUSTOMER PARKING AREAS: PREFERRED SLOPE = 2.00% MINIMUM SLOPE = 1.00% MAXIMUM SLOPE = 3.50% NOTE: ANY SLOPE ABOVE 3.50% MUST HAVE PRIOR WRITTEN APPROVAL BY NEW RETAIL STORE CONSTRUCTION DEPT.
④	HANDICAP PARKING AREAS: PREFERRED SLOPE = 1.00% MINIMUM SLOPE = 1.00% MAXIMUM SLOPE = 2.00% NOTE: SLOPE SHALL NOT EXCEED 2.00% IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS, ACCESS AISLES AND ROUTE TO BLDG.
⑤	SIDEWALKS: PREFERRED SLOPE = 2.00% MINIMUM SLOPE = 1.00% MAXIMUM SLOPE = 2.00%
⑥	ENTRY DRIVE/DRIVEWAY: NOTES: 1. SEE DRIVEWAY DETAILS BELOW. 2. GRADES WITH HIGHWAYS/STREET RIGHT-OF-WAYS SHALL MEET JURISDICTIONAL REQUIREMENTS. 3. THE LEAST PERCENT GRADE REQUIREMENTS IN NOTES 1 & 2 ABOVE SHALL GOVERN.
⑦	ON-SITE UNIMPROVED (NON-PAVED) AREAS (WITHIN 6' OF BUILDING & PAVED AREAS): PREFERRED SLOPE = 5.00% MINIMUM SLOPE = 2.00% MAXIMUM SLOPE = 12.50% NOTES: 1. THE FFE OF BUILDING SHALL BE 6" ABOVE FINISHED GRADE AT EXTERIOR PERIMETER OF BUILDING. 2. TRANSITION GRADES TO CONCRETE DOOR STOOPS AS REQUIRED.
⑧	ON-SITE UNIMPROVED (NON-PAVED) AREAS (BEYOND 6' OF BUILDING & PAVED AREAS): PREFERRED SLOPE = 2.00% MINIMUM SLOPE = 0.50% MAXIMUM SLOPE = 25.00% (4:1)
⑨	OFF-SITE UNIMPROVED AREAS: NOTE: GRADES WITHIN HIGHWAY/STREET RIGHT-OF-WAYS SHALL MEET JURISDICTIONAL REQUIREMENTS.
⑩	OFF-SITE DRAINAGE CONDUITS AND DITCHES: NOTE: OFF-SITE DRAINAGE CONDUIT SHALL BE SIZED, AND OFF-SITE DITCHES SHALL BE GRADED IN ACCORD WITH JURISDICTIONAL REQUIREMENTS.

A. GENERAL CIVIL SITEWORK NOTES:

- THE CIVIL SITEWORK DRAWINGS IN THIS PACKAGE ARE PROVIDED TO INDICATE MINIMUM STANDARDS FOR NEW RETAIL STORE NEW STORE DEVELOPMENTS. IT IS NOT INTENDED, NOR WILL BE ACCEPTABLE BY NEW RETAIL STORE, AS FINAL CIVIL SITEWORK DRAWINGS AND/OR SPECIFICATIONS FOR NEW STORE SITE DEVELOPMENTS. COORDINATE SITE SPECIFIC PLANS WITH ALL DISCIPLINES.
- PRIOR TO CONSTRUCTION DEVELOPER SHALL PROVIDE NEW RETAIL STORE ARCHITECTURAL AND ENGINEERING DEPARTMENT A COMPLETE SET OF CIVIL SITEWORK DRAWINGS STAMPED BY A CIVIL ENGINEER LICENSED IN THE STATE IN WHICH THE DEVELOPMENT IS PROPOSED. NEW RETAIL STORE SHALL APPROVE ENGINEERED DRAWINGS PRIOR TO DEVELOPER STARTING CONSTRUCTION. ANY MAJOR MODIFICATIONS OF THE DRAWINGS, AFTER INITIAL APPROVAL, SHALL BE RESUBMITTED TO NEW RETAIL STORE FOR PRIOR APPROVAL. ANY CHANGES MADE THAT ARE NOT APPROVED BY NEW RETAIL STORE ARCHITECTURAL AND ENGINEERING DEPARTMENT, MAY NOT BE ACCEPTABLE, AND MAY REQUIRE RECONSTRUCTION.
- A BOUNDARY AND TOPOGRAPHIC SURVEY SHALL BE INCLUDED IN THE CIVIL SITEWORK DRAWINGS SUBMITTED TO NEW RETAIL STORE. THE DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL LICENSED SURVEYOR REGISTERED IN THE STATE IN WHICH THE DEVELOPMENT IS PROPOSED. TOPOGRAPHIC SURVEY SHALL SHOW UTILITIES (ABOVE AND UNDERGROUND) AND EXISTING GRADE CONTOURS AT ONE FOOT (1') INTERVALS. TOPOGRAPHIC SURVEY SHALL EXTEND BEYOND THE PROPERTY BOUNDARY AS REQUIRED TO SHOW LOCAL STREETS, NEARBY INTERSECTIONS, ADJACENT DITCHES, ETC. AS ITEMS PERTAIN TO NEW DEVELOPMENT.
- A UTILITY PLAN SHALL BE INCLUDED IN THE CIVIL SITEWORK DRAWINGS. THE PLAN SHALL INCLUDE UTILITIES REQUIRED FOR BUILDING SERVICES AND ANY UTILITY MAIN IMPROVEMENTS THAT MAY BE REQUIRED. UTILITY DETAILS SHALL BE INCLUDED IN THE DRAWINGS. UTILITIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL JURISDICTIONAL REQUIREMENTS.
- DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR ANY NATIONAL, STATE AND/OR LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS. EROSION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED TO INSURE THAT NO SEDIMENT IS CONVEYED OFF THE SITE TO ADJACENT PROPERTIES. AT A MINIMUM, CONTRACTOR/DEVELOPER SHALL SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS. A SUITABLE STAND OF GRASS SHALL BE OBTAINED AT ALL UNIMPROVED AND NON-LANDSCAPED AREAS.
- PROVISIONS FOR LOCAL AND/OR REGIONAL LANDSCAPING REQUIREMENTS, INCLUDING LANDSCAPING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
- HANDICAP REQUIREMENTS SHOWN ON THE DRAWINGS ARE MINIMUM REQUIREMENTS. DEVELOPMENT SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- PRIOR TO FINAL ACCEPTANCE OF STORE BY NEW RETAIL STORE, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH.
- DEVELOPER SHALL OBTAIN ALL JURISDICTIONAL APPROVALS AND PERMITS REQUIRED FOR THE DEVELOPMENT.
- WHERE OFFSITE WORK IS REQUIRED FOR THE DEVELOPMENT, SUCH AS DOT STREET IMPROVEMENTS, UTILITY IMPROVEMENTS, ETC., DEVELOPER SHALL INCORPORATE THE IMPROVEMENTS AND/OR OFFSITE DESIGN DRAWINGS INTO THE NEW RETAIL STORE SITEWORK DRAWINGS.
- NEW RETAIL STORE MINIMUM PAVEMENT RECOMMENDATIONS MUST BE MET. DEVIATIONS WILL REQUIRE A GEOTECHNICAL INVESTIGATION INCLUDING DESIGN RECOMMENDATIONS AND APPROVAL BY NEW RETAIL STORE ARCHITECTURAL AND ENGINEERING DEPARTMENT.

B. SITE ELECTRICAL AND SIGNAGE GENERAL NOTES:

- UNDERGROUND ELECTRICAL SERVICE IS PREFERRED FOR NEW RETAIL STORE DEVELOPMENTS. TRANSFORMER PAD DESIGN SHALL BE PROVIDED BY ELECTRICAL UTILITY PROVIDER AND SHALL BE BOLLARD PROTECTED WHEN LOCATED IN A HAZARDOUS AREA.
- SITE LIGHTING SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 1.5 FOOT-CANDELS AT THE PARKING LOT AREAS, BUILDING ENTRANCES, DUMPSTER AREA AND TRUCK DELIVERY AREA. THE OUTER PERIMETER OF THE BUILDING SHALL BE LIGHTED FOR SECURITY. SITE LIGHTING SHALL BE INSTALLED ALONG THE WALLS OF THE BUILDING AND POLE MOUNTED AT THE PERIMETER OF THE PARKING LOT AS NECESSARY.
- REQUIRED POLE MOUNTED LIGHTING: 24" HEIGHT POLES WITH LED HEADS. CONFIRM WITH ELECTRICAL DRAWINGS AND PHOTOMETRICS.
- REQUIRED WALL MOUNTED LIGHTING: 400 WATT METAL HALIDE WALL PACKS. CONFIRM WITH ELECTRICAL DRAWINGS AND PHOTOMETRICS.
- LIGHTED PYLON SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT TO PYLON. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND AND A 20-AMP 2-POLE BREAKER AT THE PANEL. A TEMPORARY 3' TALL WIRING STAKE SHALL BE PROVIDED AT THE PYLON SIGN LOCATION UNTIL THE SIGN IS PERMANENTLY INSTALLED.
- LIGHTED BUILDING SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO THE CENTER OF THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND AND A 20-AMP 2-POLE BREAKER AT THE PANEL. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE NEW RETAIL STORE SIGN. SIGN WEIGHT UP TO 1,400 LBS.
NOTE: IF THE LEASE SPECIFIES A 5'-0" X 40'-0" BUILDING SIGN OR 24" (OR LARGER) LETTER SET, WITH TWO - 10/2 WIRE WITH GROUND AND TWO 20 AMP FUSES THE BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE NEW RETAIL STORE SIGN
- UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
- THE FINAL PYLON SIGN CONNECTION AND UNDERGROUND CONDUIT IS LANDLORD RESPONSIBILITY.
- NATIONAL ACCOUNTS FOR NEW RETAIL STORE VENDOR PRICING FOR LIGHTING WALL PACKS AND POLE LIGHT FIXTURES ARE SHOWN ON THE NATIONAL ACCOUNT VENDOR LIST ON SHEET 101.

C. SITE PLAN GENERAL NOTES:

- THE SITE PLAN IS BASED ON MINIMUM REQUIREMENTS FOR SITE ACCESS, PARKING AND FREIGHT DELIVERY. DEVIATIONS FROM THIS PLAN SHALL INSURE PROPER SITE ACCESS FOR NEW RETAIL STORE'S FREIGHT TRUCKS DURING NORMAL BUSINESS (OPERATING) HOURS. ON-SITE DELIVERY TRUCK MANEUVERING PATHS SHALL BE DESIGNED UTILIZING NEW RETAIL STORE'S 75-FOOT LONG FREIGHT TRUCK. PATHS SHALL BE UNOBSTRUCTED AND FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, BOLLARDS, ETC. HEAVY DUTY PAVEMENT IS REQUIRED ALONG THE ENTIRE DELIVERY TRUCK (MANEUVERING) PATH.
- A MINIMUM OF 30 PARKING SPACES, WHICH INCLUDE 2 HANDICAP ACCESSIBLE SPACES, ARE REQUIRED FOR THIS DEVELOPMENT. THE NUMBER OF PARKING SPACES SHALL BE INCREASED AS REQUIRED BY TRUCK MANEUVERING PATHS. IF ADDITIONAL PARKING SPACES ARE REQUIRED OR PROVIDED, THE TOTAL NUMBER OF H.C. SPACES SHALL BE INCREASED IN ACCORDANCE WITH ADA REQUIREMENTS.
- STANDARD PARKING SPACES SHALL HAVE MINIMUM SIZE OF 9'X 20' UNLESS LOCAL JURISDICTION REQUIRE LARGER SPACES. PARKING SPACE STRIPING SHALL BE STANDARD 90 DEGREE STYLE. MINIMUM SIZE OF H.C. PARKING SPACES AND ACCESS AISLE ARE SHOWN ON DETAILS.
- PAINTED STANDARD PARKING SPACE AND ISLAND STRIPE COLOR SHALL BE YELLOW FOR ASPHALT PAVEMENT AND CONCRETE PAVEMENT. COLOR FOR PAINTED H.C. ACCESSIBLE PARKING SPACE STRIPES, ACCESS AISLE OR ISLAND STRIPES, H.C. SYMBOLS, SHALL BE PAINTED PER THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. BOLLARDS SHALL BE PAINTED YELLOW. PAINT SHALL BE REFLECTIVE TYPE.
- PAINTED FIRE LANE STRIPING OR PAINTED CURBS SHALL BE PROVIDED AS REQUIRED BY JURISDICTIONAL REQUIREMENTS.
- CONCRETE PARKING STOPS SHALL BE USED AS PARKING SPACES ALONG THE OUTER PERIMETER OF PARKING LOT WHEN CONCRETE CURBS ARE NOT USED.
- CONCRETE PARKING STOPS SHALL NOT BE USED AT THE FRONT OF THE BUILDING OR ALONG THE PERIMETER (ADJACENT) TO THE BUILDING.
- THE SIDEWALK AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 9-FEET WIDE. THE SIDEWALK SHALL INCLUDE A 10-FOOT MINIMUM WIDE ADA ACCESSIBLE RAMP CLOSE TO THE STORE MAIN ENTRANCE. SIDEWALKS ALONG OTHER SIDES OF BUILDING SHALL BE MINIMUM 3'-6" WIDE. SIDEWALKS ADJACENT TO BUILDING SLABS SHALL HAVE SEALED ISOLATION JOINTS AND SHALL BE 6" HIGH ABOVE EXTERIOR OR PAVEMENT FINISH GRADES. ALL EXTERIOR SIDEWALKS SHALL HAVE A BROOM FINISH.
- PORTLAND CEMENT SIDEWALKS SHALL BE MINIMUM 4" THICK WITH A 6" HIGH CURB AT ALL PAVEMENT TRANSITIONS, USE WELDED WIRE FABRIC REINFORCING.
- THE PREFERRED WIDTH OF SITE CURB CUTS IS 36" WITH ONE ENTRANCE LANE AND TWO (RIGHT TURN AND LEFT TURN) EXIT LANES.
- DRIVEWAY CONSTRUCTION WITHIN ROAD RIGHT-OF-WAYS, INCLUDES RADIUS SIZES, PAVEMENT MARKINGS, DRIVEWAY WIDTHS, ETC. SHALL BE IN ACCORDANCE WITH JURISDICTIONAL REQUIREMENTS.
- A 25' MINIMUM RADIUS SHALL BE USED FOR DRIVEWAY TURNOUTS AS SHOWN ON PLAN.
- SITE PLANS SHALL UTILIZE NEW RETAIL STORE'S PROTOTYPICAL BUILDING DESIGN WITH 70'-0" BY 130'-0" DIMENSIONS. SHOULD SITE CONSTRAINTS NOT ALLOW THE PROTOTYPICAL BUILDING DESIGN, DEVELOPER SHALL CONTACT NEW RETAIL STORE SITE COMPLIANCE COORDINATORS FOR OPTIONS AND APPROVAL. GROW BUILDING OUTWARD IF NECESSARY TO MAINTAIN CLEAR SALES FLOOR AREA AS SHOWN ON SHEET A1.
- THE BUILDING MAIN ENTRANCE SHALL BE ORIENTED ON THE SITE TO FACE THE MAIN ACCESS ROAD. PARKING SHOULD BE CONCENTRATED AT THE FRONT OF THE STORE.
- THE ACTUAL LOCATION FOR THE PYLON SIGN SHALL BE SITUATED FOR OPTIMUM VISIBILITY ALONG THE MAIN FRONT TRAFFIC CORRIDOR.
- THE LANE OR DRIVE BETWEEN PARKING SPACES SHALL HAVE A MINIMUM WIDTH OF 36" WHEN LANE IS HEAVY DUTY PAVEMENT AND USED FOR FREIGHT TRUCK MANEUVERING. THE LANE SHALL HAVE A MINIMUM WIDTH OF 24" WHEN THE LANE IS CONSTRUCTED OF STANDARD DUTY PAVEMENT AND NOT USED FOR FREIGHT TRUCK MANEUVERING.
- BUILDING CORNERS ADJACENT TO PAVED AREAS SHALL BE BOLLARD PROTECTED. ABOVE GROUND UTILITY APPURTENANCES, SUCH AS METERS, TRANSFORMERS, FIRE HYDRANTS IN PAVED AREAS, ETC. SHALL BE BOLLARD PROTECTED.
- DOWNSPOUTS SHALL NOT BE ALLOWED TO DISCHARGE ON CONCRETE SIDEWALKS. SEE DETAIL ON 2/C1.
- DUMPSTER AND DELIVERY PADS SHALL BE CONSTRUCTED OF CONCRETE AS DETAILED ON THE DRAWINGS. AN ENCLOSURE SHALL BE PROVIDED ON THE DUMPSTER PAD IF REQUIRED BY JURISDICTIONAL REQUIREMENTS, OR IF VISIBLE BY CUSTOMER TRAFFIC OR ABUTTING RESIDENTIAL. SANITARY SEWER AND DOMESTIC HOT WATER SHALL BE PROVIDED AT DUMPSTER AREA IF REQUIRED BY JURISDICTIONAL REQUIREMENTS.
- HOLDING TANK SYSTEMS ARE NOT ALLOWED.
- LIFT STATIONS ARE NOT ALLOWED WITHOUT NEW RETAIL STORE APPROVAL.
- EXTERIOR WALLS AND FOUNDATION SHALL HAVE WATERPROOFING.
- FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.
- ALL DOWNSPOUTS DISCHARGING ONTO NON PAVED AREAS ARE TO HAVE A MINIMUM FIVE FOOT PERFORATED LANDSCAPE PIPE STRAPPED TO A MINIMUM 12 INCH X 24 INCH CONCRETE SPLASH BLOCK.
- FINISH FLOOR TO BE A MINIMUM OF 12 INCHES ABOVE 100 YEAR FLOOD PLAIN.
- IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THEN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE CRITERIA SET PLANS AND ANY APPLICABLE GOVERNMENTAL AGENCIES.

D. SITE PARKING LOT:

- USE PAVING SPECIFICATIONS NOTED ON SHEET C4 UNLESS A CERTIFIED GEOTECH REPORT SPECIFIES AN ALTERNATE REQUIREMENT (SEE PAGE C4 FOR DETAILS) AND IS APPROVED BY NEW RETAIL STORE.
- PROVIDE PARKING LOT IN GOOD CONDITION, PROPERLY STRIPED PER SHEET C1 WITH YELLOW PAINT. MINIMUM OF 30 PARKING SPACES REQUIRED, INCLUDING A MINIMUM OF 2 HANDICAP ACCESSIBLE SPACES (PROPERLY MARKED, SIGNED, AND ADA COMPLIANT).
- PROPER ACCESS FOR NEW RETAIL STORE'S FREIGHT TRUCKS (FREIGHT TRUCKS ARE APPROXIMATELY 75'-0" IN TOTAL LENGTH) ARE REQUIRED DURING NORMAL BUSINESS HOURS. THIS INCLUDES A TRUCK PATH THAT IS FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, AND OTHER BARRIERS WHILE MAINTAINING WIDE RADIUS CURVES ON ALL ENTRANCES AND EXITS. HEAVY DUTY PAVING (SEE PAGE C4 FOR SPECIFICATIONS) REQUIRED FOR TRUCK PATHS.
- PROVIDE PROTECTION (BOLLARDS, GUARD RAILS, OR EQUIVALENT) FOR ELECTRIC, GAS, HVAC, AND WATER METERS THAT ARE IN POTENTIALLY HAZARDOUS LOCATIONS.
- CONTRACTOR WILL COMPLETE ALL SITE WORK: FINAL GRADING, LANDSCAPING, SEEDING, PAVING, RETENTION, AND REMOVAL OF DEBRIS.
- ROUTE DOWNSPOUTS UNDER SIDEWALKS AS DETAILED IN 2/C1 AT ALL SIDEWALK LOCATIONS.
- PLEASE NOTE THAT THERE SHOULD NOT BE ANY PARKING STOPS LOCATED DIRECTLY IN FRONT OF OR DIRECTLY ADJACENT TO THE BUILDING.
- EROSION CONTROL AROUND PROPERTY IS REQUIRED BY CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING. ALL LOCAL LANDSCAPE REQUIREMENTS MUST BE MET.
- THE GRADE FOR THE PAVED TRUCK RECEIVING LANE IS NOT TO EXCEED 2.5%. IF THIS CONDITION CANNOT BE MET, NOTIFY NEW RETAIL STORE. IN WRITING WITH PROPOSED GRADING PLAN FOR APPROVAL.
- THE GRADE FOR THE PAVED PARKING AREA IS NOT TO EXCEED 3.5%. IF THIS CONDITION CANNOT BE MET, NOTIFY THE NEW RETAIL STORE ARCHITECTURAL AND ENGINEERING DEPARTMENT IN WRITING WITH PROPOSED GRADING PLAN FOR APPROVAL.
- THE CONCRETE DELIVERY TRUCK RECEIVING PAD MUST BE A MINIMUM OF 16'X16'. THE CONCRETE PAD MUST SLOPE AWAY FROM THE BUILDING AT 1/8" PER FOOT.
- THE CONCRETE DUMPSTER PAD MUST BE A MINIMUM OF 18' X 18'.
- IF REQUIRED, THE DUMPSTER ENCLOSURE MUST BE 18' WIDE BY 12' DEEP AND HAVE WOOD FENCE ON SIDES AND REAR WITH CHAIN LINK GATES AND PRIVACY SLATS AS A MINIMUM BASIS OF DESIGN.
- CURBING OR CONCRETE PARKING STOPS SHOULD BE LOCATED AT PERIMETER PARKING ZONES ONLY.
- LANDSCAPING AND SITE WORK SHALL BE FREE OF DEBRIS AND IN LIKE NEW CONDITION.

E. HVAC SECURITY FENCING:

- (*ONLY TO BE USED IF HVAC UNITS ARE ON THE GROUND)
- PROVIDE THE FOLLOWING WHEN THE STORE IS DEFINED AS BOTH SELECT AND UTILIZING NNN LEASE.
- PROVIDE 69 LINEAL FEET X 8'-0" HIGH 6 GAUGE CHAIN LINK FENCING.
 - SCHEDULE 40 GALVANIZED PIPE.
 - PROVIDE POLYETHYLENE THERMOPLASTIC PRIVACY SLATS, COLOR TO MATCH BUILDING WITH UV INHIBITORS. USE WHEN UNITS ARE FACING STREET OR RESIDENTIAL.
 - PROVIDE (2) 30" GATES WITH COMMERCIAL GRADE HEAVY DUTY HINGES AND LOCKS, FRAMES TO BE SAME AS TOP RAIL.
 - MAINTAIN A MINIMUM OF 4'-0" IN-BETWEEN UNITS AND FENCING. FENCING IS TO BE 6" INSIDE OF THE EDGE OF CONCRETE PAD. ADJUST PAD AND FENCING DIMENSIONS ACCORDINGLY.
 - PROVIDE RAZOR COIL FULL LENGTH OF FENCING, 18" DIAMETER, GALVANIZED.
 - CONFIRM NUMBER OF UNITS AND SIZE OF UNITS AND ADJUST PAD AND FENCING ACCORDINGLY.



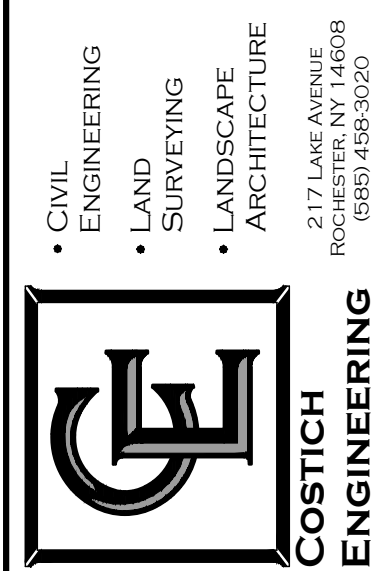
NEW RETAIL STORE
BUFFALO ROAD & APPLE TREE AVENUE

GENERAL NOTES

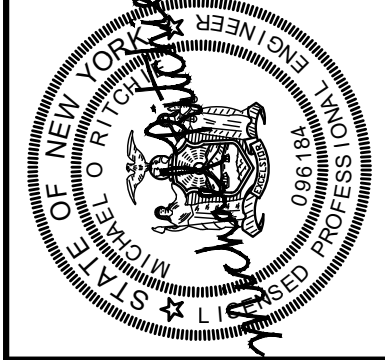
LOCATION OF PROJECT: TAX PARCEL NO. 13-18-9211
TOWN LOTS 1 & 12, SECTION 6, TOWNSHIP 2, TRIANGLE TRACT,
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE,
HUNTSVILLE, ALABAMA 35891

DWG # 8828
GA002
SHEET 02 OF 15



PROJECT ENGINEER: M.P.M.
DRAWING: D.J.L.
BOUNDARY: -
TOPOGRA: -
DATE: 09/20/2023
SCALE: -
N.T.S.



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COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON TO REPRODUCE OR TRANSMIT IN ANY MANNER, OR TO STORE IN A RETRIEVABLE MEDIUM, OR TO MAKE AVAILABLE TO ANY OTHER PERSON, IN ANY MANNER, ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OR ARCHITECT. VIOLATION IS SUBJECT TO PENALTIES AS PROVIDED BY LAW TO BE ENFORCED BY THE PROFESSION.

NO.	DATE	REVISION	BY	CHKD.
5	05/04/2024	ADDING ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 05/04/2024	D.J.L.	M.P.M.
4	05/08/2024	REVISED PER CLIENT COMMENTS RECEIVED 2024/04/29	D.J.L.	M.P.M.
2	3/29/2024	REVISED PER URBAN REVIEW COMMENTS DATED 2024/03/21	D.J.L.	M.P.M.
1	02/29/2024	REVISED PLAN PER REZONING DIVISION OF LOT R-30	D.J.L.	M.P.M.
0	09/20/2023	ISSUED PRELIMINARY FOR REVIEW	D.J.L.	M.P.M.

REFERENCES

1. THE DEEDS AS SHOWN ON FILE AT THE GENESSEE COUNTY CLERK'S OFFICE.
2. TITLE REPORT PREPARED BY FRONTIER ABSTRACT, HAVING COMMITMENT NO. 5162587, HAVING AN COMMITMENT DATED 12/30/2022.
3. MAP ENTITLED "RESUBDIVISION PLAN OF LOTS R-3A AND R-3B APPLE TREE ACRES CORPORATE PARK" PREPARED BY WELCH AND O'DONOGHUE LAND SURVEYORS DATED MAY 8, 2018 HAVING JOB # G18-4509S AND IS FILED IN THE GENESSEE COUNTY CLERK'S OFFICE AS INSTRUMENT NO. 2531.
4. MAP ENTITLED "RESUBDIVISION MAP 1490 BUSINESS PARK SUBDIVISION OF LANDS OF OGNIBENE ASSOCIATES, LLC" PREPARED BY WARREN R. MCGRAIL, L.S. LAST REVISED MARCH 27, 2000 HAVING FILE # 17617-99-2 AND IS FILED IN THE GENESSEE COUNTY CLERK'S OFFICE.

SURVEY NOTES

1. TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 1/5/2023 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYS DOT CORNS NETWORK REFERENCED TO THE FOLLOWING MONUMENT

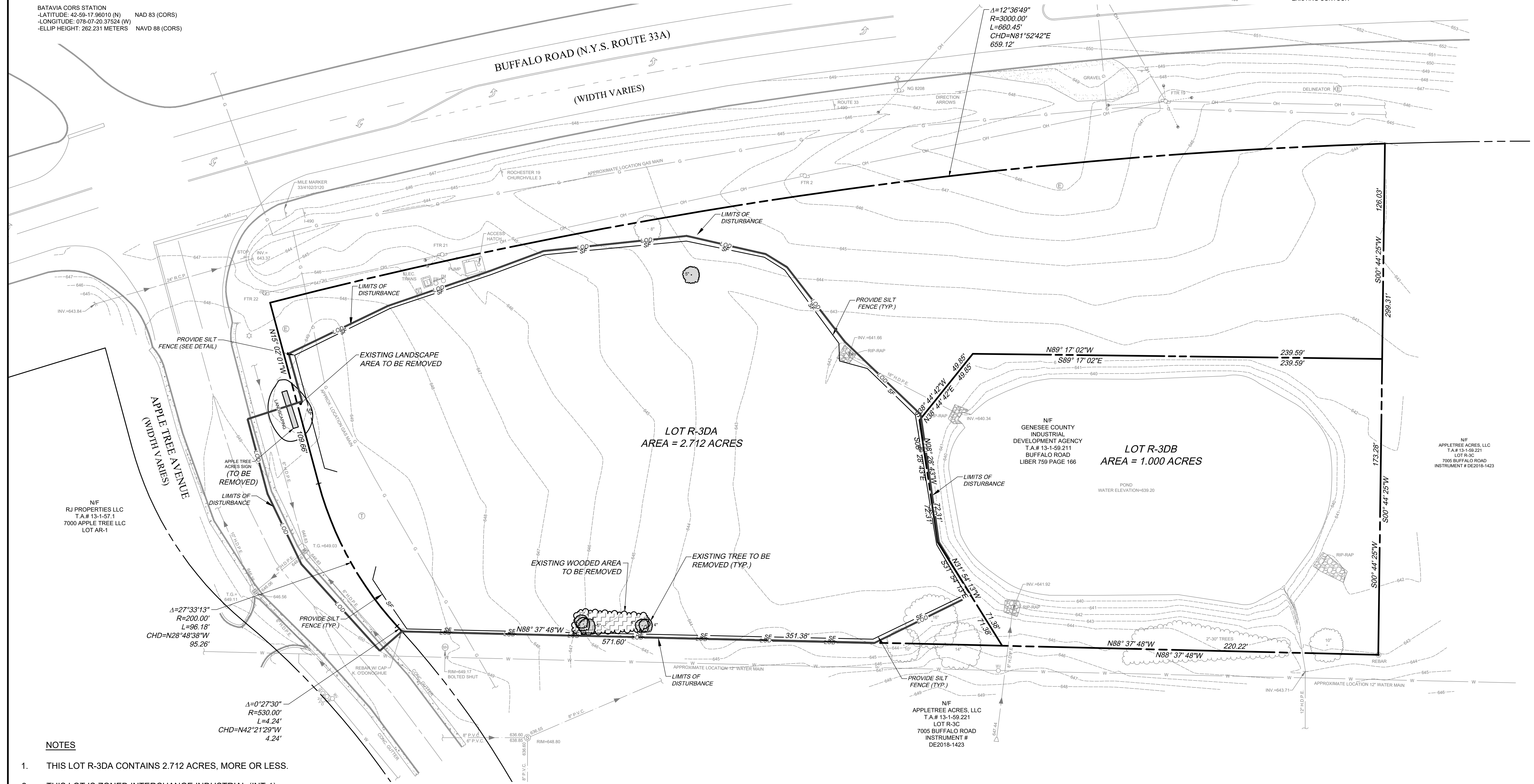
BATAVIA CORNS STATION
 -LATITUDE: 42-59-17.96010 (N) NAD 83 (CORS)
 -LONGITUDE: 078-07-20.37524 (W)
 -ELLIP HEIGHT: 262.231 METERS NAVD 88 (CORS)

DEMOLITION LEGEND

- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING WOODED AREA TO BE REMOVED
- EXISTING SIGN TO BE REMOVED
- SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE

LINE & SYMBOL LEGEND

- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE PAD/ CONCRETE SIDEWALK
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- EXISTING WATER MAIN, VALVE, & HYDRANT
- EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
- EXISTING SANITARY SEWER, & MANHOLE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS MAIN
- EXISTING ELECTRIC SERVICE
- EXISTING GUARD RAIL
- TREES, HEDGE, EDGE OF WOODS
- EXISTING SWALE
- EXISTING STOCKADE & CHAIN LINKED FENCE
- EXISTING CONTOUR



NOTES

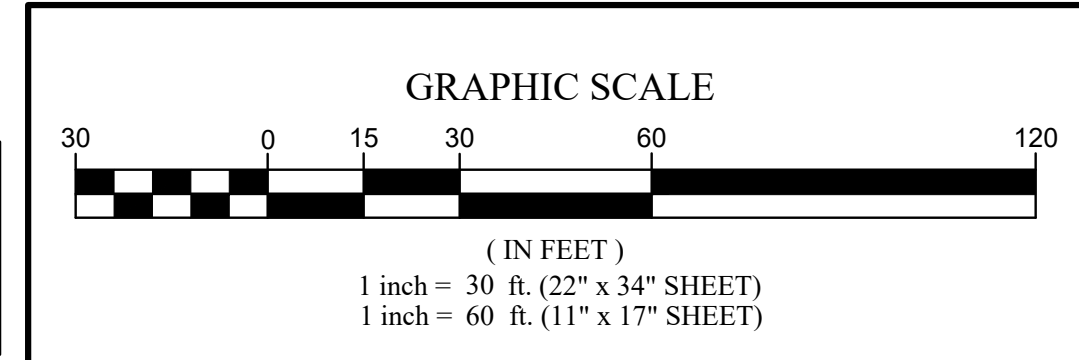
1. THIS LOT R-3DA CONTAINS 2.712 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED INTERCHANGE INDUSTRIAL (INT-1) DISTRICT.
3. TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT, TOWN OF BERGEN, COUNTY OF GENESSEE, STATE OF NEW YORK
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY COSTICH ENGINEERING



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

FLOOD NOTE:
 By graphic plotting only, this property is in Zone C of the Flood Insurance Rate Map, Community Panel No. 361137 B, Town of Bergen, which bears an effective date of July 6, 1984. No field surveying was performed to determine this zone, and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

ADVERSE CONDITIONS INCURRED DURING CONSTRUCTION, AS RESULT OF GRADING INTERPRETATIONS (GPS MODELING OR OTHERWISE), SHALL BE THE RESPONSIBILITY OF THE PARTY MAKING SAID INTERPRETATIONS. ALL CLARIFICATIONS, INTERPRETATIONS, AND OTHER SUPPLEMENTAL INFORMATION NECESSARY TO ACCURATELY LAYOUT AND ESTABLISH PROPOSED GRADING, SHALL BE REPORTED TO THE DESIGN ENGINEER OF RECORD FOR INPUT PRIOR TO INSTALLATION.



The Broadway Group
Commercial Real Estate Development

DWG # 8828
 CA 100
 SHEET 03 OF 15

TITLE OF PROJECT: **NEW RETAIL STORE**
 BUFFALO ROAD & APPLE TREE AVENUE

TITLE OF DRAWING: **EXISTING FEATURES/ DEMOLITION PLAN**

LOCATION OF PROJECT: TAX PARCEL NO. 13-1-59-211
 TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT,
 TOWN OF BERGEN, COUNTY OF GENESSEE, STATE OF NEW YORK

CLIENT: **THE BROADWAY GROUP**
 216 WESTSIDE SQUARE
 HUNTSVILLE, ALABAMA 35891

PROJECT ENGINEER: **CIVIL ENGINEERING**

DRAWN BY: **M.P.M.**

BOUNDARY: **D.J.L.**

TOPOGRAHY: **G.M.S.**

DATE: **09/20/2023**

SCALE: **1"=30'**

COSTICH ENGINEERING

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 COSTICH ENGINEERING, D.P.C.

NO.	DATE	REVISION	BY	CHKD.	APR.
1	05/24/2024	ISSUED PRELIMINARY FOR REVIEW	D.J.L.	M.P.M.	
2	05/29/2024	REVISION PER CLIENT COMMENTS DATED 05/29/24	D.J.L.	M.P.M.	
3	05/29/2024	REVISION PER CLIENT COMMENTS DATED 05/29/24	D.J.L.	M.P.M.	
4	06/06/2024	REVISION PER CLIENT COMMENTS RECEIVED 06/06/24	D.J.L.	M.P.M.	
5	06/20/2024	ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 06/20/24	D.J.L.	M.P.M.	

NOTES

- THIS LOT R-3DA CONTAINS 2.712 ACRES, MORE OR LESS.
- THIS LOT IS ZONED INTERCHANGE INDUSTRIAL (INT-1) DISTRICT.
- TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT, TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY COSTICH ENGINEERING

PARKING LOT CONSTRUCTION NOTES:

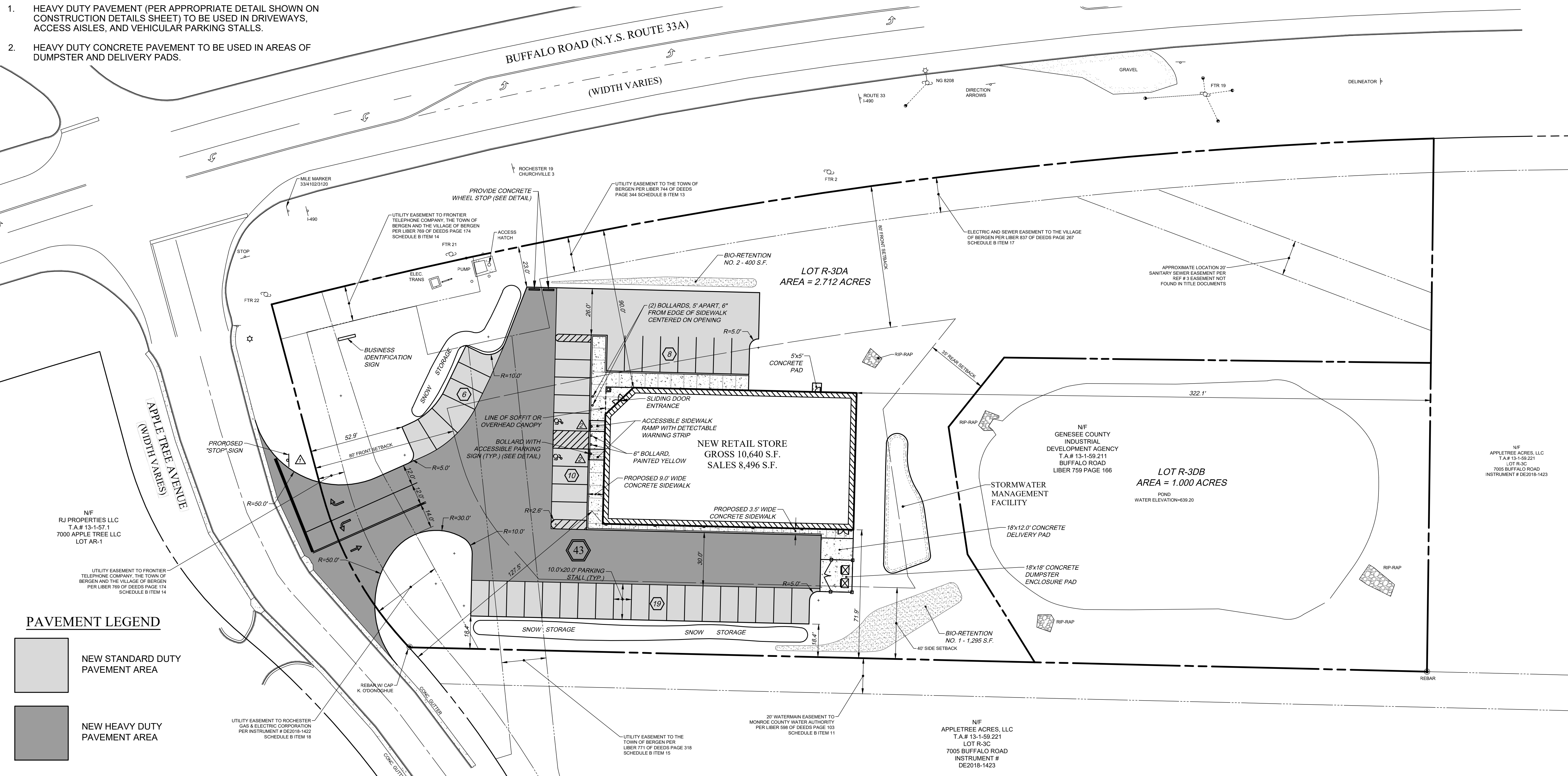
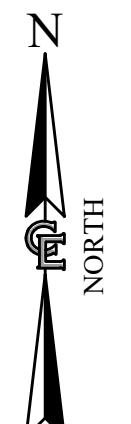
- HEAVY DUTY PAVEMENT (PER APPROPRIATE DETAIL SHOWN ON CONSTRUCTION DETAILS SHEET) TO BE USED IN DRIVEWAYS, ACCESS AISLES, AND VEHICULAR PARKING STALLS.
- HEAVY DUTY CONCRETE PAVEMENT TO BE USED IN AREAS OF DUMPSTER AND DELIVERY PADS.

BUILDING SETBACKS:	REQUIRED	PROPOSED
MIN. LOT AREA (SF)	30,000	118,135
MIN. LOT WIDTH (FT)	200	205.5
MIN. FRONT YARD SETBACK (FT)	80	127.5
MIN. SIDE YARD SETBACK (FT)	40	71.9
MIN. REAR YARD SETBACK (FT)	35	322.1
MAX. BUILDING HEIGHT (FT)	35	18
MAX. LOT COVERAGE (%) (INCLUDING PARKING)	30	35.4

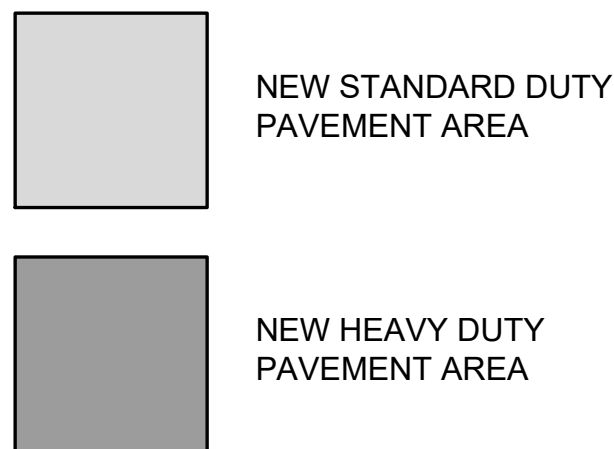
SIGN LEGEND					
SIGN NO.	TEXT	MUTCD NUMBER	DESCRIPTION	TYPE OR MOUNT	HEIGHT
▲	STOP	R1-1	30"x30" OCTAGONAL WHITE ON RED	"A" OR FREE-STANDING PEDESTAL	7'-0"
▲	RESERVED PARKING	P4-6	12"x18" WHITE ON BLUE	(SEE DETAIL ON SHEET CA500)	7'-0"

SITE LINE & SYMBOL LEGEND

	PARCEL BOUNDARY		EXISTING GUARD RAIL
	EXISTING RIGHT-OF-WAY LINE		EXISTING SIGNS
	EXISTING ADJACENT PROPERTY LINE		EXISTING STOCKADE & CHAIN LINK FENCE
	MIN. BUILDING SETBACK		EXISTING BARB WIRE FENCE
	CENTER LINE		EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
	EXISTING EASEMENT LINE		PROPOSED EDGE OF PAVEMENT
	EXISTING BUILDING		PROPOSED BUILDING
	EXISTING CONCRETE CURB		PROPOSED SIDEWALK
	EXISTING EDGE OF PAVEMENT		PROPOSED ADA SIDEWALK RAMPS
	EXISTING EDGE OF GRAVEL		PROPOSED SIGNS
	EXISTING CONC. PAD/ CONC. SIDEWALK		



PAVEMENT LEGEND



PARKING REQUIREMENTS

TOWN CODE FOR COMMERCIAL AND BUSINESS PARKING USE:

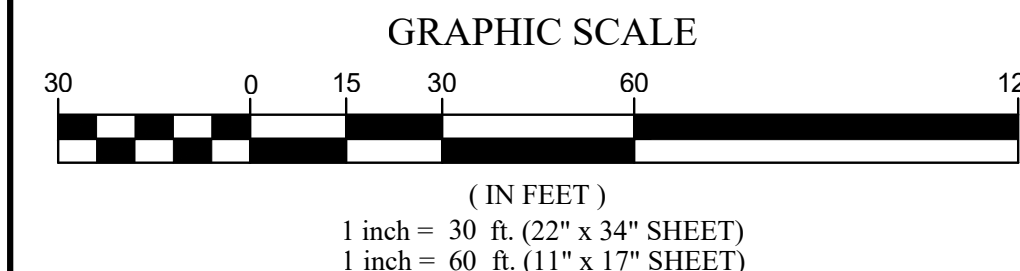
PLANNING BOARD TO DETERMINE PARKING

PROVIDED SPACES:	43
ADA REQUIRED HANDICAP SPACES:	2
PROVIDED HANDICAP SPACES:	2
REQUIRED VAN ACCESSIBLE SPACES:	1
PROVIDED VAN ACCESSIBLE SPACES:	2

FLOOD NOTE:
By graphic plotting only, this property is in Zone C of the Flood Insurance Rate Map, Community Panel No. 361137 B, Town of Bergen, which bears an effective date of July 6, 1984. No field surveying was performed to determine this zone, and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.



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SITE QUANTITIES	
BUILDING SLAB	10,953 SQ. FT.
BUILDING SIDEWALKS	2,167 SQ. FT.
ON-SITE PAVEMENT	26,813 SQ. FT.
DELIVERY/DUMPSTER AREA	542 SQ. FT.
CURB	350 LIN. FT.
R.O.W. QUANTITIES	
DRIVEWAY PAVEMENT	1,993 SQ. FT.
DECEL LANE PAVEMENT	100 SQ. FT.
CURB	0 LIN. FT.

ENGINEER'S OPINION OF EARTHWORK
CUT: 1,903 CU. YD.
FILL: 3,129 CU. YD.*

NOTE: VOLUMES DO NOT ACCOUNT FOR SHRINK/SWELL, BUILDING DEMOLITION, REMOVAL OF UNSUITABLE MATERIAL, UTILITY INSTALLATION, ETC.

* ADJUSTED TO INCLUDE AN ESTIMATED TOPSOIL REPLACEMENT VOLUME OF 1,225 CU. YD. (BASED ON AN ASSUMED 6" OF TOPSOIL ACROSS FILL AREAS OF SITE)

THE BROADWAY GROUP
Commercial Real Estate Development
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

PROJECT NO. 2023-001
DATE: 09/20/2023
SCALE: 1"=30'

PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
BOUNDARY: G.M.S.
TOPOGRA: M.G.
DATE: 09/20/2023
SCALE: 1"=30'

PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
BOUNDARY: G.M.S.
TOPOGRA: M.G.
DATE: 09/20/2023
SCALE: 1"=30'

TITLE OF PROJECT: NEW RETAIL STORE
BUFFALO ROAD & APPLE TREE AVENUE

TITLE OF DRAWING: SITE PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 13-1-59-211
TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT,
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
BOUNDARY: G.M.S.
TOPOGRA: M.G.
DATE: 09/20/2023
SCALE: 1"=30'

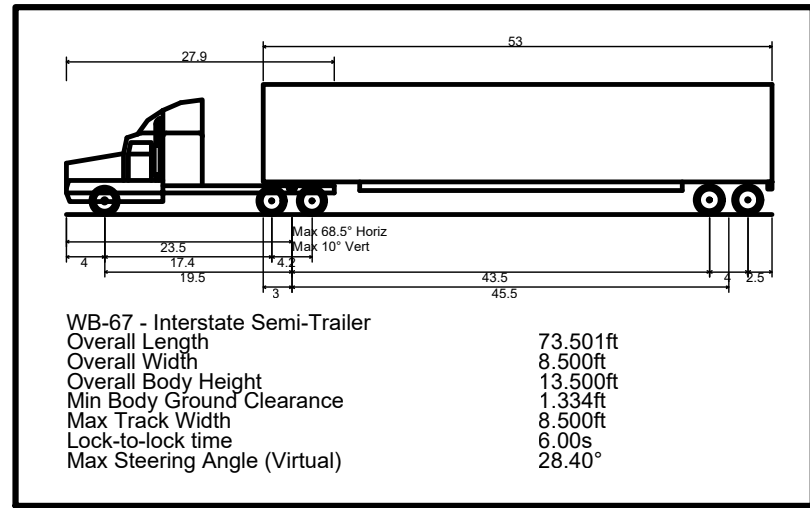
PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
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DATE: 09/20/2023
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PROJECT ENGINEER: M.P.M.
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TOPOGRA: M.G.
DATE: 09/20/2023
SCALE: 1"=30'

PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
BOUNDARY: G.M.S.
TOPOGRA: M.G.
DATE: 09/20/2023
SCALE: 1"=30'

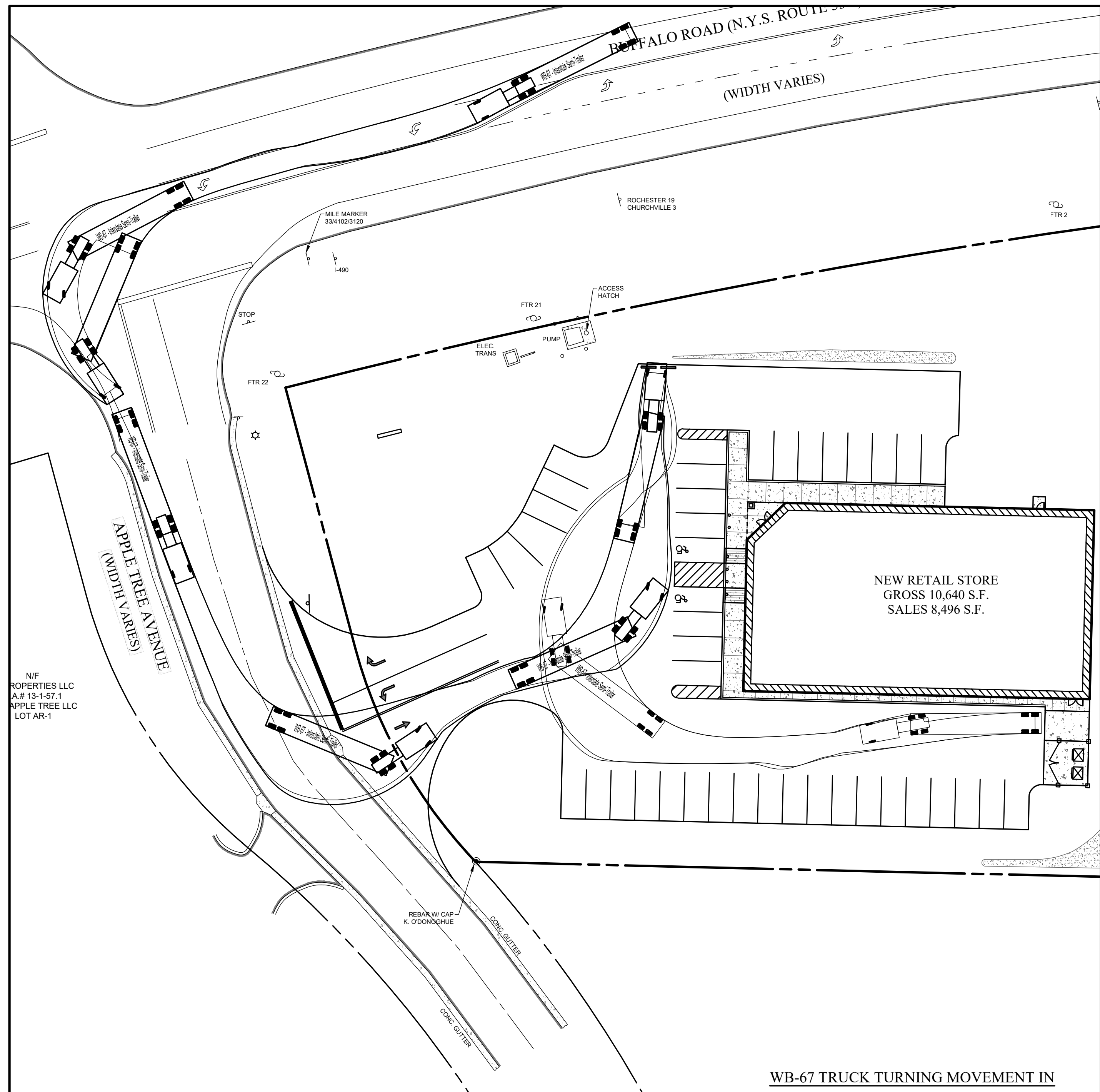
PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
BOUNDARY: G.M.S.
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DATE: 09/20/2023
SCALE: 1"=30'

PROJECT ENGINEER: M.P.M.
DRAWN BY: D.J.L.
BOUNDARY: G.M.S.
TOPOGRA: M.G.
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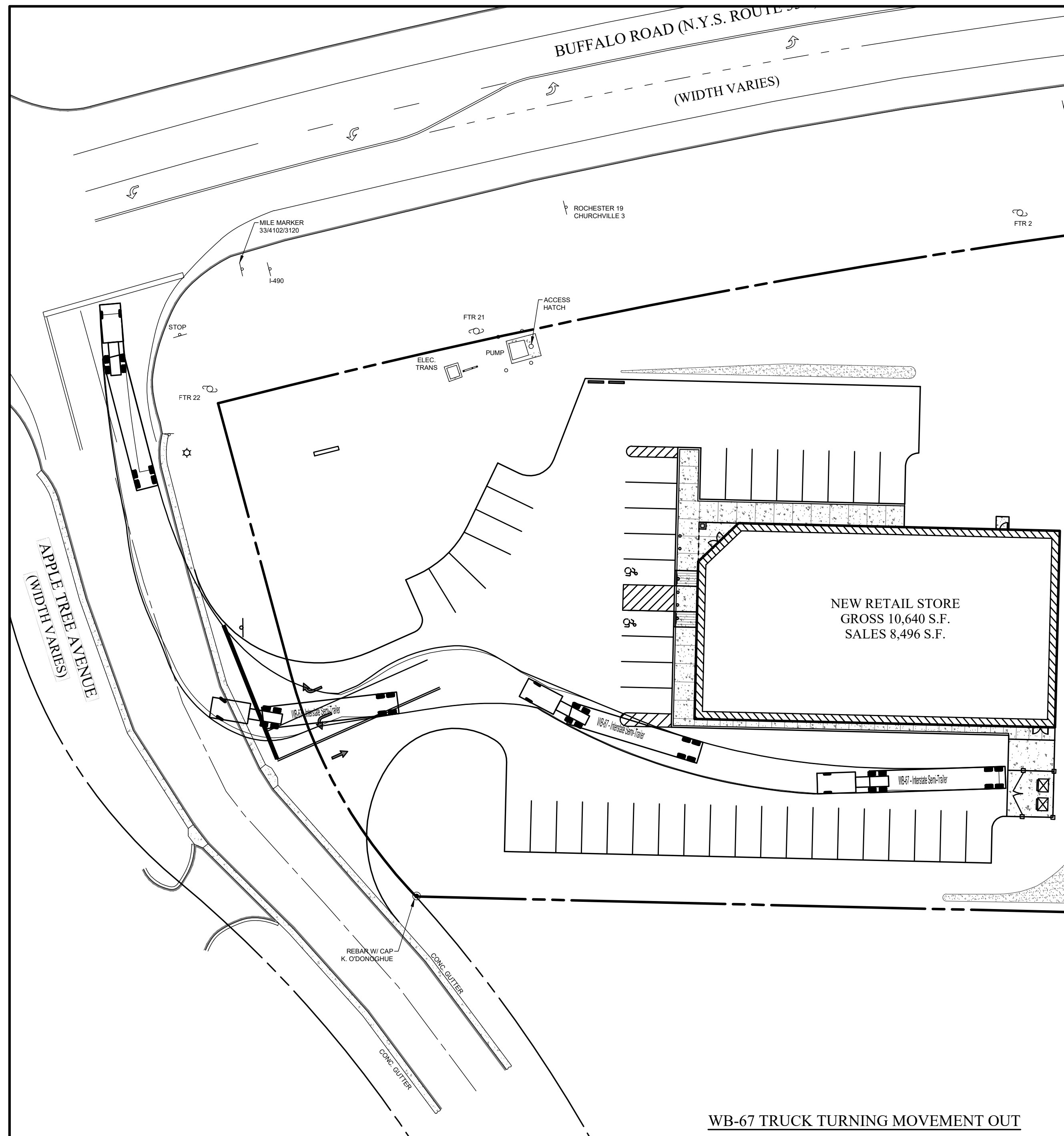


SITE LINE & SYMBOL LEGEND

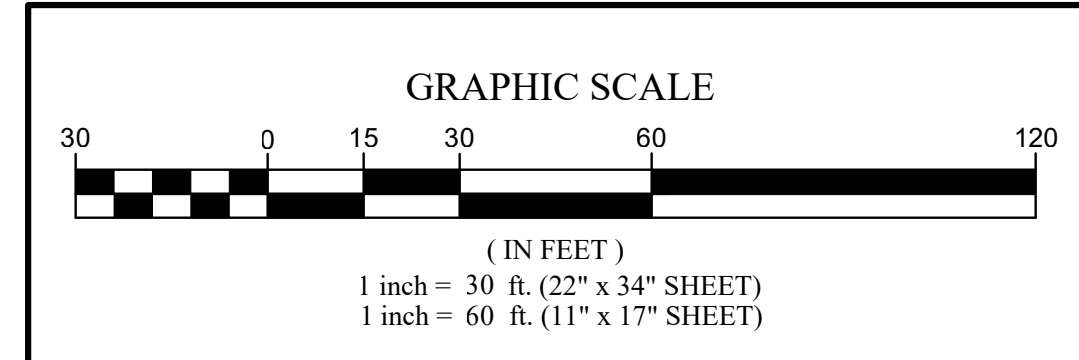
- PARCEL BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- EXISTING ADJACENT PROPERTY LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- EXISTING CONCRETE CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING CONC. PAD/ CONC. SIDEWALK
- EXISTING GUARD RAIL
- EXISTING SIGNS
- EXISTING STOCKADE & CHAIN LINK FENCE
- EXISTING BARB WIRE FENCE
- EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED ADA SIDEWALK RAMPS
- PROPOSED SIGNS



WB-67 TRUCK TURNING MOVEMENT IN



WB-67 TRUCK TURNING MOVEMENT OUT

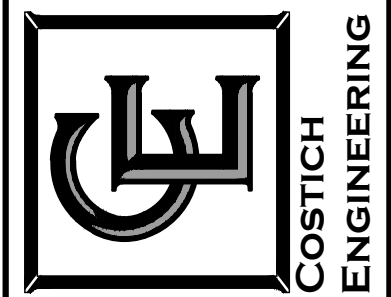


NIF PROPERTIES LLC
 A/E 13-1-57.1
 APPLE TREE LLC
 LOT AR-1

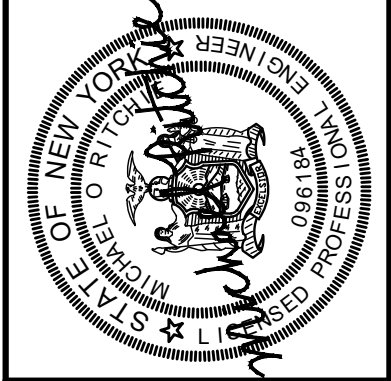


THE BROADWAY GROUP
 216 WESTSIDE SQUARE
 HUNTSVILLE, ALABAMA 35891

COSTICH ENGINEERING
 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020



PROJECT ENGINEER: M.P.M.
 DRAWING: D.J.L.
 BOUNDARY: G.M.S.
 TOPOGRA: M.G.
 DATE: 09/20/2023
 SCALE: 1"=30'



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 "ALTERED BY" FOLLOWED BY THE
 SIGNATURE AND SPECIFIC DESCRIPTION OF
 THE PERSON TO THE DOCUMENT.

NO.	DATE	REVISION	BY	CHKD.	APRVL.
4	05/24/2024	ADDED ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 05/24/2024	D.J.L.	M.P.M.	
3	05/08/2024	REVISED PER CLIENT COMMENTS RECEIVED 2024/04/28	D.J.L.	M.P.M.	
2	03/28/2024	REVISED PER CAR REVIEW COMMENTS DATED 2024/03/21	D.J.L.	M.P.M.	
1	02/20/2024	REVISED PLAN PER REVISIONS OF LOT R-30	D.J.L.	M.P.M.	
0	05/20/2023	ISSUED PRELIMINARY FOR REVIEW	D.J.L.	M.P.M.	

NOTES

- THIS LOT R-3DA CONTAINS 2.712 ACRES, MORE OR LESS.
- THIS LOT IS ZONED INTERCHANGE INDUSTRIAL (INT-1) DISTRICT.
- TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT, TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY COSTICH ENGINEERING

GENERAL STABILIZATION NOTE:

- TEMPORARY STABILIZATION OF DISTURBED AREA MUST BE INITIATED IMMEDIATELY WHENEVER WORK TOWARD PROJECT COMPLETION AND FINAL STABILIZATION OF ANY PORTION OF THE SITE HAS TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS.
- FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE. THE SPDES GENERAL CONSTRUCTION PERMIT (GP-0-20-001) IS REQUIRED FROM THE NYS-DEC, DUE TO A SOIL DISTURBANCE GREATER THAN ONE (1) ACRE.
- SLOPES STEEPER THAN 15% (APPROXIMATELY 7:1 H: V) ARE TO BE STABILIZED IMMEDIATELY AFTER COMPLETION TO PREVENT EROSION OF THESE STEEP SLOPES. TEMPORARY SEEDING WITH MULCHING IS TO BE USED FOR THIS STABILIZATION. PERMANENT STABILIZATION WITH SODDING MAY BE USED WITH PEGS OR STAPLES IF THESE AREAS WILL NOT BE DISTURBED BY FURTHER CONSTRUCTION ACTIVITIES.

SITE ESTIMATES:

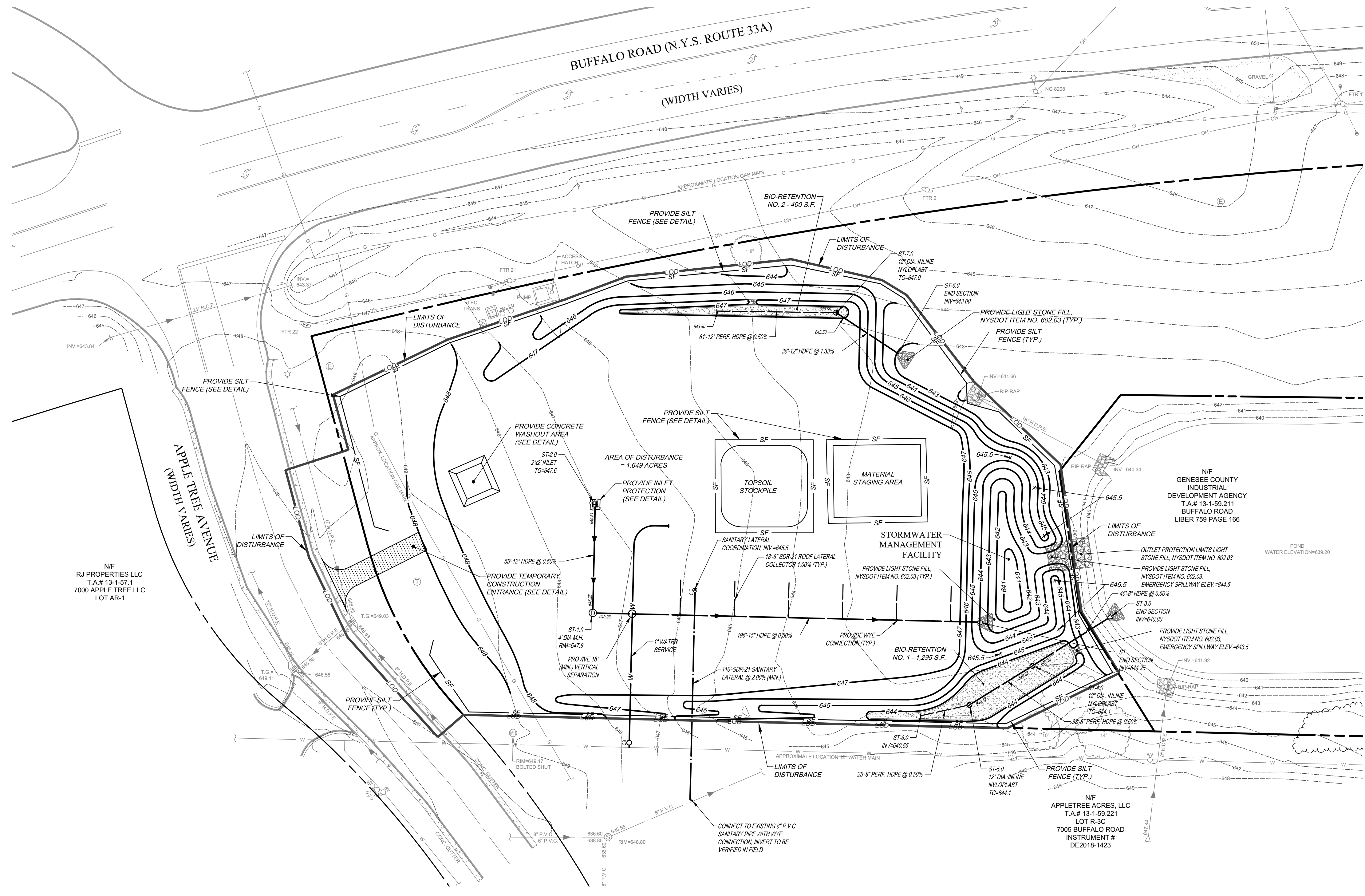
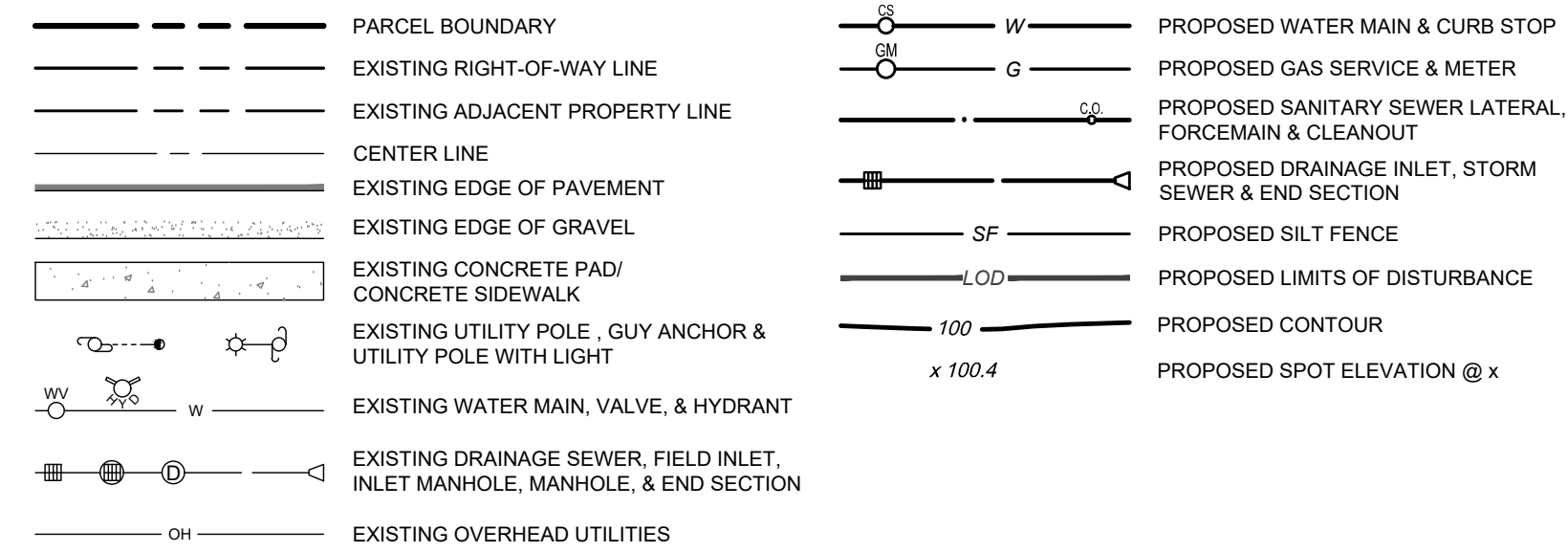
PRECONSTRUCTION IMPERVIOUS AREA: 0.0%
 POSTCONSTRUCTION IMPERVIOUS AREA: 31.7%

EROSION CONTROL IMPLEMENTATION SCHEDULE:

INITIAL PHASE

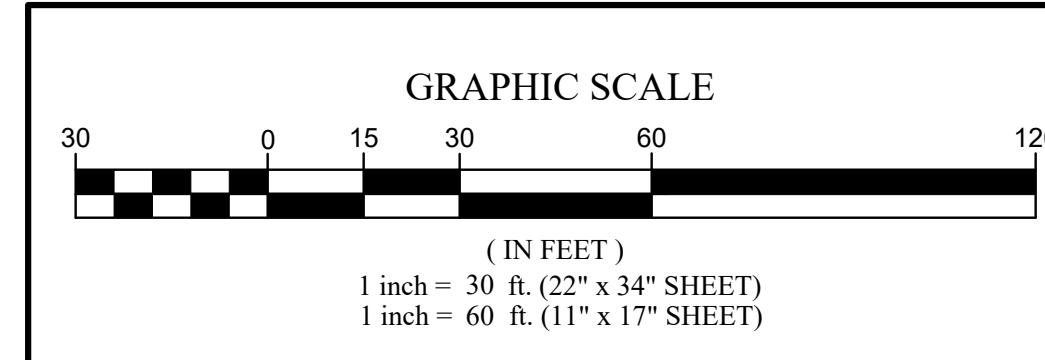
- INSTALL CONSTRUCTION EXIT PAD AND TYPE "A" SILT FENCE
- CLEAR AREA NEEDED FOR INSTALLATION OF SEDIMENT BASIN.
- INSTALL SEDIMENT BASIN WITH SKIMMER AND BAFFLES. STABILIZE THE SPILLWAY, EMBANKMENT, BASIN BOTTOM AND ALL DISTURBED AREAS OF BASIN WITH TEMPORARY SEEDING AND MULCHING. BASIN OUTLET PIPE TO BE STABILIZED WITH OUTLET PROTECTION.
- STRIP AND STOCKPILE TOPSOIL, AND REMOVE UNSUITABLE MATERIAL.
- TEMPORARY SEEDING TO BE INSTALLED ON AREAS WHERE GRADING AND STABILIZATION OPERATIONS HAVE CEASED AND WILL NOT RESUME FOR 13 DAYS.

LINE LEGEND



N/F
 RJ PROPERTIES LLC
 T.A.# 13-1-57-1
 7000 APPLE TREE LLC
 LOT AR-1

N/F
 APPLE TREE ACRES, LLC
 T.A.# 13-1-59-221
 LOT R-3C
 7005 BUFFALO ROAD
 INSTRUMENT #
 DEZ016-1423



SITE INFORMATION		
FACILITY NAME	BUFFALO ROAD - GENESEO, NY - NEW RETAIL STORE	
FRONT GATE COORDINATES	N 1120645.6814 E 1319840.6575	
TOTAL DEVELOPMENT	3.712 ACRES	
TOTAL DISTURBED AREA	1.649 ACRES	
RECEIVED WATER	DISCHARGE COORDINATES	CLASSIFICATION

The Broadway Group
Commercial Real Estate Development

PROJECT # 8828
 SHEET 06 OF 15

PROJECT: NEW RETAIL STORE
 BUFFALO ROAD & APPLE TREE AVENUE

DRAWING: INITIAL PHASE ESPC PLAN

LOCATION: TAX PARCEL NO. 13-1-59-211
 TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT,
 TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT: THE BROADWAY GROUP
 216 WESTSIDE SQUARE
 HUNTSVILLE, ALABAMA, 35891

CIVIL ENGINEERING

LAND SURVEYING

LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 456-5020

COSTICH ENGINEERING

PROJECT ENGINEER: M.P.M.

DRAWING: D.L.L.

BOUNDARY: G.M.S.

TOPOGRA: M.G.

DATE: 09/20/2023

SCALE: 1"=30'

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NO.	DATE	REVISION	BY	APPROVED
4	05/04/2024	ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 05/04/2024	D.L.L.	M.P.M.
3	05/08/2024	REQUIRED PER CLIENT COMMENTS RECEIVED 05/04/2024	D.L.L.	M.P.M.
2	03/09/2024	REQUIRED PER DAB REVIEW COMMENTS DATED 03/09/24	D.L.L.	M.P.M.
1	02/09/2024	REQUIRED PLAN PER RESUBMISSION OF LOT R-3C	D.L.L.	M.P.M.
0	05/02/2023	ISSUED PRELIMINARY FOR REVIEW	D.L.L.	M.P.M.

NOTES

- THIS LOT R-3DA CONTAINS 2.712 ACRES, MORE OR LESS.
- THIS LOT IS ZONED INTERCHANGE INDUSTRIAL (INT-1) DISTRICT.
- TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT, TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY COSTICH ENGINEERING

GENERAL STABILIZATION NOTE:

- TEMPORARY STABILIZATION OF DISTURBED AREA MUST BE INITIATED IMMEDIATELY WHENEVER WORK TOWARD PROJECT COMPLETION AND FINAL STABILIZATION OF ANY PORTION OF THE SITE HAS TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS.
- FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE. THE SPDES GENERAL CONSTRUCTION PERMIT (GP-0-20-001) IS REQUIRED FROM THE NYS-DEC, DUE TO A SOIL DISTURBANCE GREATER THAN ONE (1) ACRE.
- SLOPES STEEPER THAN 15% (APPROXIMATELY 7:1 H: V) ARE TO BE STABILIZED IMMEDIATELY AFTER COMPLETION TO PREVENT EROSION OF THESE STEEP SLOPES. TEMPORARY SEEDING WITH MULCHING IS TO BE USED FOR THIS STABILIZATION. PERMANENT STABILIZATION WITH SODDING MAY BE USED WITH PEGS OR STAPLES IF THESE AREAS WILL NOT BE DISTURBED BY FURTHER CONSTRUCTION ACTIVITIES.

SITE ESTIMATES:

PRECONSTRUCTION IMPERVIOUS AREA: 0.0%
 POSTCONSTRUCTION IMPERVIOUS AREA: 31.7%

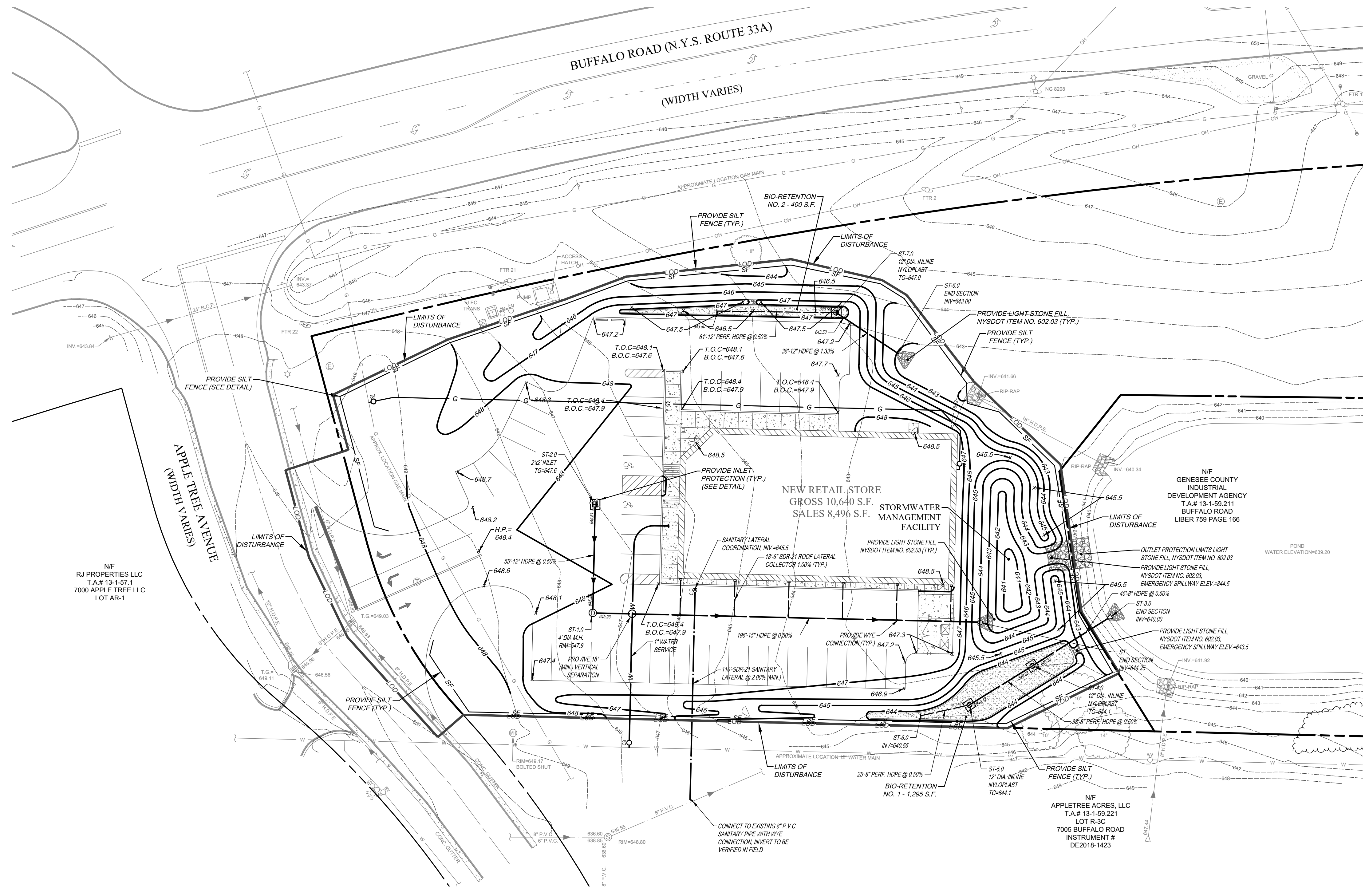
EROSION CONTROL IMPLEMENTATION SCHEDULE:

INITIAL PHASE

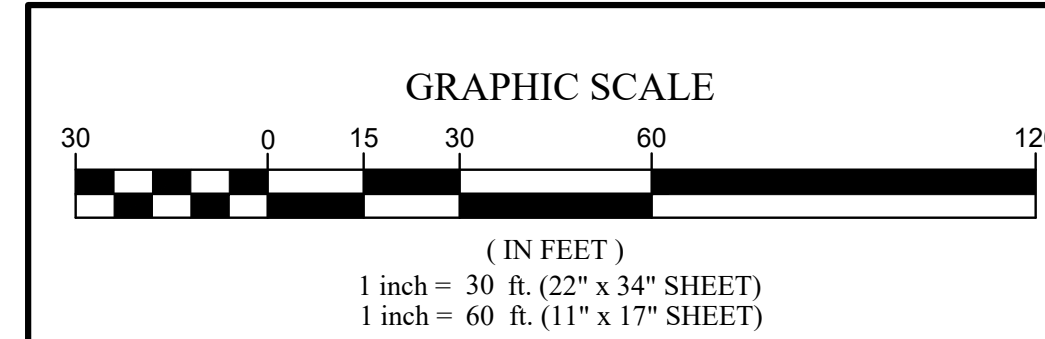
- INSTALL CONSTRUCTION EXIT PAD AND TYPE "A" SILT FENCE
- CLEAR AREA NEEDED FOR INSTALLATION OF SEDIMENT BASIN.
- INSTALL SEDIMENT BASIN WITH SKIMMER AND BAFFLES. STABILIZE THE SPILLWAY, EMBANKMENT, BASIN BOTTOM AND ALL DISTURBED AREAS OF BASIN WITH TEMPORARY SEEDING AND MULCHING. BASIN OUTLET PIPE TO BE STABILIZED WITH OUTLET PROTECTION.
- STRIP AND STOCKPILE TOPSOIL, AND REMOVE UNSUITABLE MATERIAL.
- TEMPORARY SEEDING TO BE INSTALLED ON AREAS WHERE GRADING AND STABILIZATION OPERATIONS HAVE CEASED AND WILL NOT RESUME FOR 13 DAYS.

LINE LEGEND

	PARCEL BOUNDARY		PROPOSED WATER MAIN & CURB STOP
	EXISTING RIGHT-OF-WAY LINE		PROPOSED GAS SERVICE & METER
	EXISTING ADJACENT PROPERTY LINE		PROPOSED SANITARY SEWER LATERAL, FORCEMAIN & CLEANOUT
	CENTER LINE		PROPOSED DRAINAGE INLET, STORM SEWER & END SECTION
	EXISTING EDGE OF PAVEMENT		PROPOSED SILT FENCE
	EXISTING EDGE OF GRAVEL		PROPOSED LIMITS OF DISTURBANCE
	EXISTING CONCRETE PAD/ CONCRETE SIDEWALK		PROPOSED CONTOUR
	EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT		PROPOSED SPOT ELEVATION @ x
	EXISTING WATER MAIN, VALVE, & HYDRANT		
	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION		
	EXISTING OVERHEAD UTILITIES		



SITE INFORMATION		
FACILITY NAME	BUFFALO ROAD - GENESEO, NY - NEW RETAIL STORE	
FRONT GATE COORDINATES	N 1120645.6814 E 1319840.6575	
TOTAL DEVELOPMENT	3.712 ACRES	
TOTAL DISTURBED AREA	1.649 ACRES	
RECEIVED WATER	DISCHARGE COORDINATES	CLASSIFICATION



The Broadway Group
Commercial Real Estate Development

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

PROJECT: NEW RETAIL STORE
DRAWING: BUFFALO ROAD & APPLE TREE AVENUE

TITLE OF PROJECT: FINAL PHASE ESPC PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 13-1-59-211
TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT,
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

PROFESSIONAL ENGINEER: CIVIL ENGINEERING

PROFESSIONAL SURVEYOR: LAND SURVEYING

PROFESSIONAL ARCHITECT: LANDSCAPE ARCHITECTURE

PROJECT MANAGER: M.P.M.

BOUNDARY: D.L.L.

TOPOGRAHY: G.M.S.

DATE: 09/20/2023

SCALE: 1"=30'

PROJECT NO: 2023-09-01

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STATE OF NEW YORK
ENGINEER
M.P.M.
026184
EXPIRES 12/31/2024

NO. 4

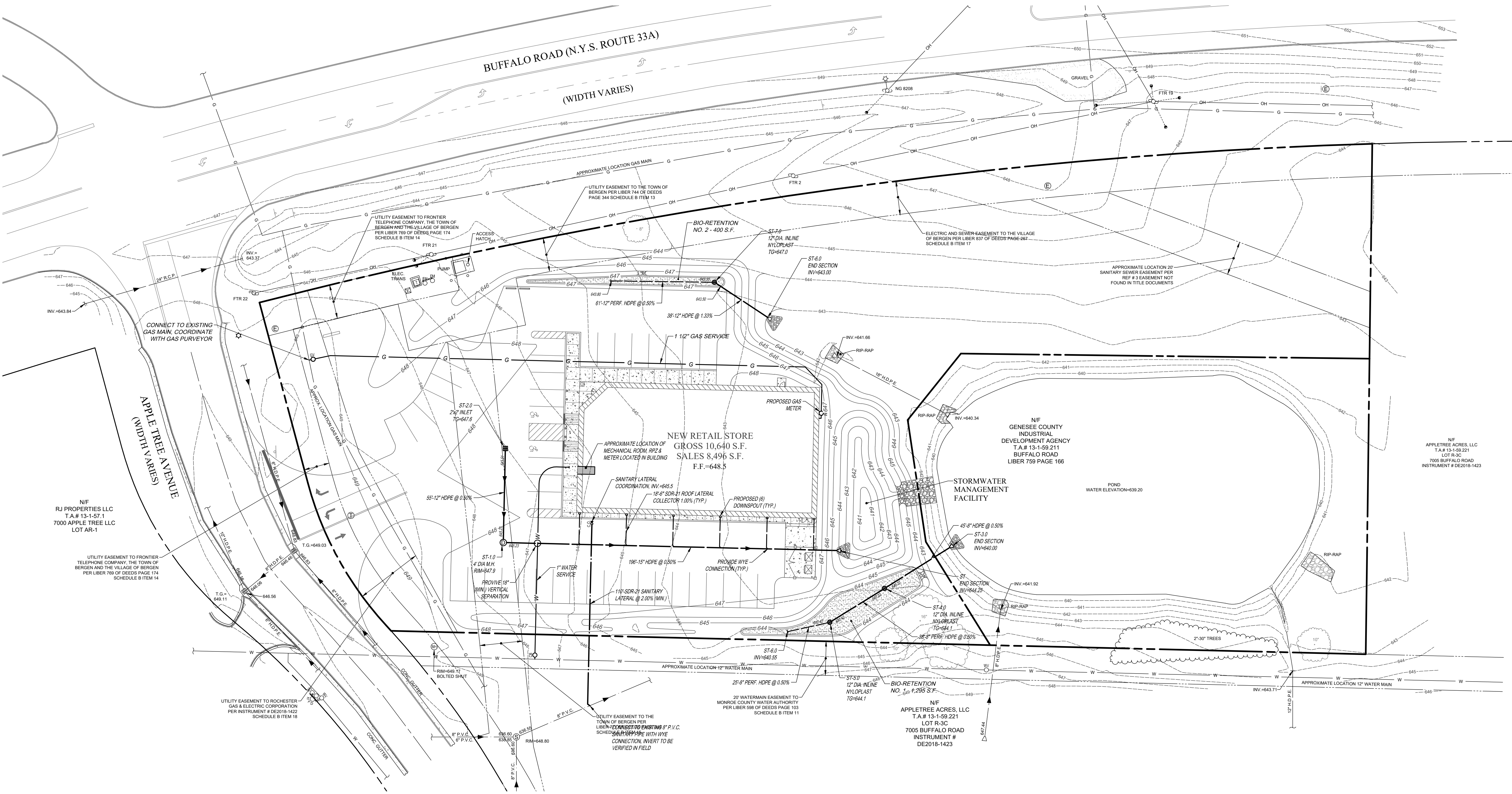
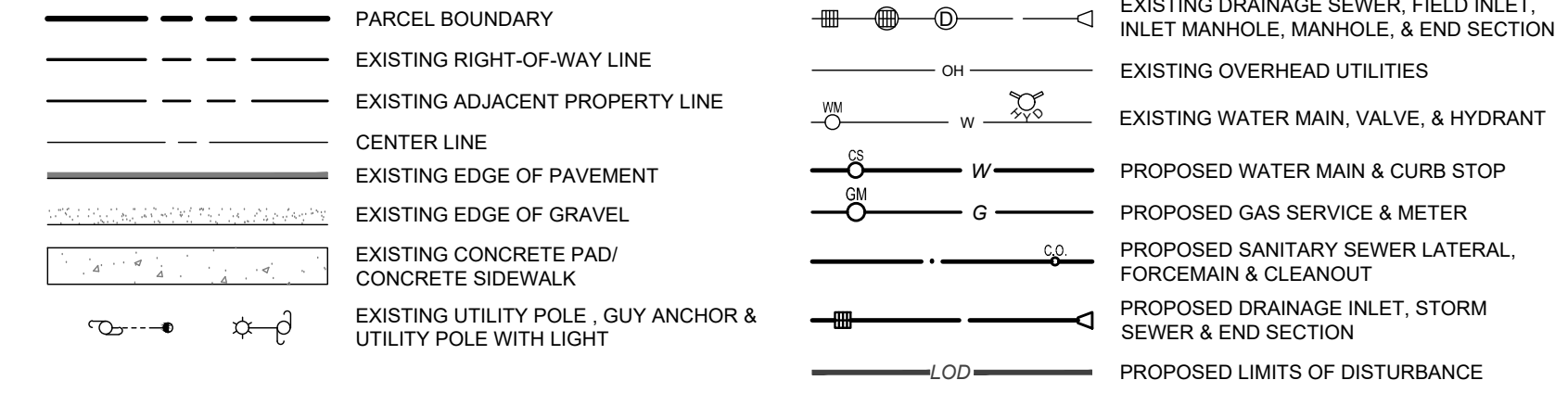
DATE

BY

NOTES

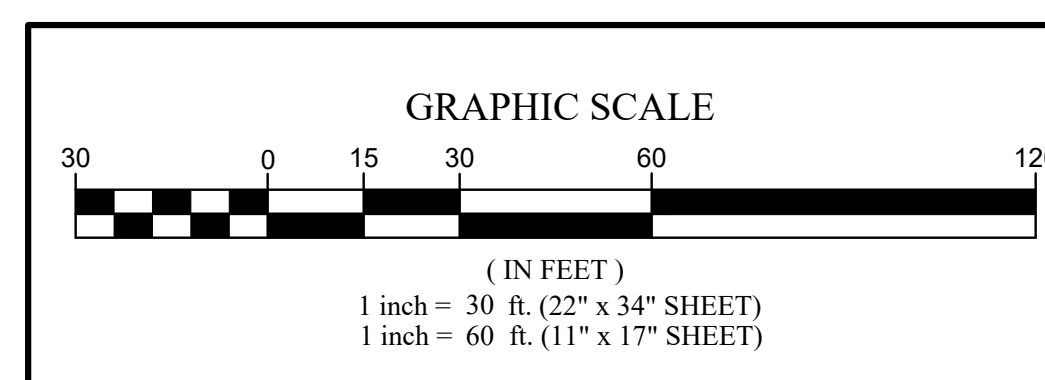
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- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY COSTICH ENGINEERING

UTILITY LINE & SYMBOLS LEGEND



UDIG-NY

EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



The Broadway Group
Commercial Real Estate Development

UTILITY PLAN

NEW RETAIL STORE
BUFFALO ROAD & APPLE TREE AVENUE

LOCATION OF PROJECT: TAX PARCEL NO. 13-1-59-211
TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT,
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

DWG. # 8828
CA 150
SHEET 06 OF 15

PROJECT ENGINEER: CIVIL ENGINEERING

DRAWN BY: M.P.M.

BOUNDARY: D.L.L.

TOPOGRA: G.M.S.

DATE: 09/20/2023

SCALE: 1"=30'

COSTICH ENGINEERING

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 456-3020

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NO.	DATE	REVISION	BY	APPROVED
4	05/04/2024	ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 05/04/2024	D.L.L.	M.P.M.
3	05/09/2024	REQUIRED PER CLIENT COMMENTS RECEIVED 2024.04.29	D.L.L.	M.P.M.
2	03/29/2024	REQUIRED PER DMR REVIEW COMMENTS DATED 2024.03.21	D.L.L.	M.P.M.
1	02/02/2024	REQUIRED PER PER REVISIONS OF LOT R-3D	D.L.L.	M.P.M.
0	05/02/2023	ISSUED PRELIMINARY FOR REVIEW	D.L.L.	M.P.M.

N/F APPLE TREE ACRES, LLC
T.A.# 13-1-59-221
LOT R-3C
7005 BUFFALO ROAD
INSTRUMENT # DE2018-1423

N/F GENESEE COUNTY INDUSTRIAL DEVELOPMENT AGENCY
T.A.# 13-1-59-211
BUFFALO ROAD
LIBER 759 PAGE 166

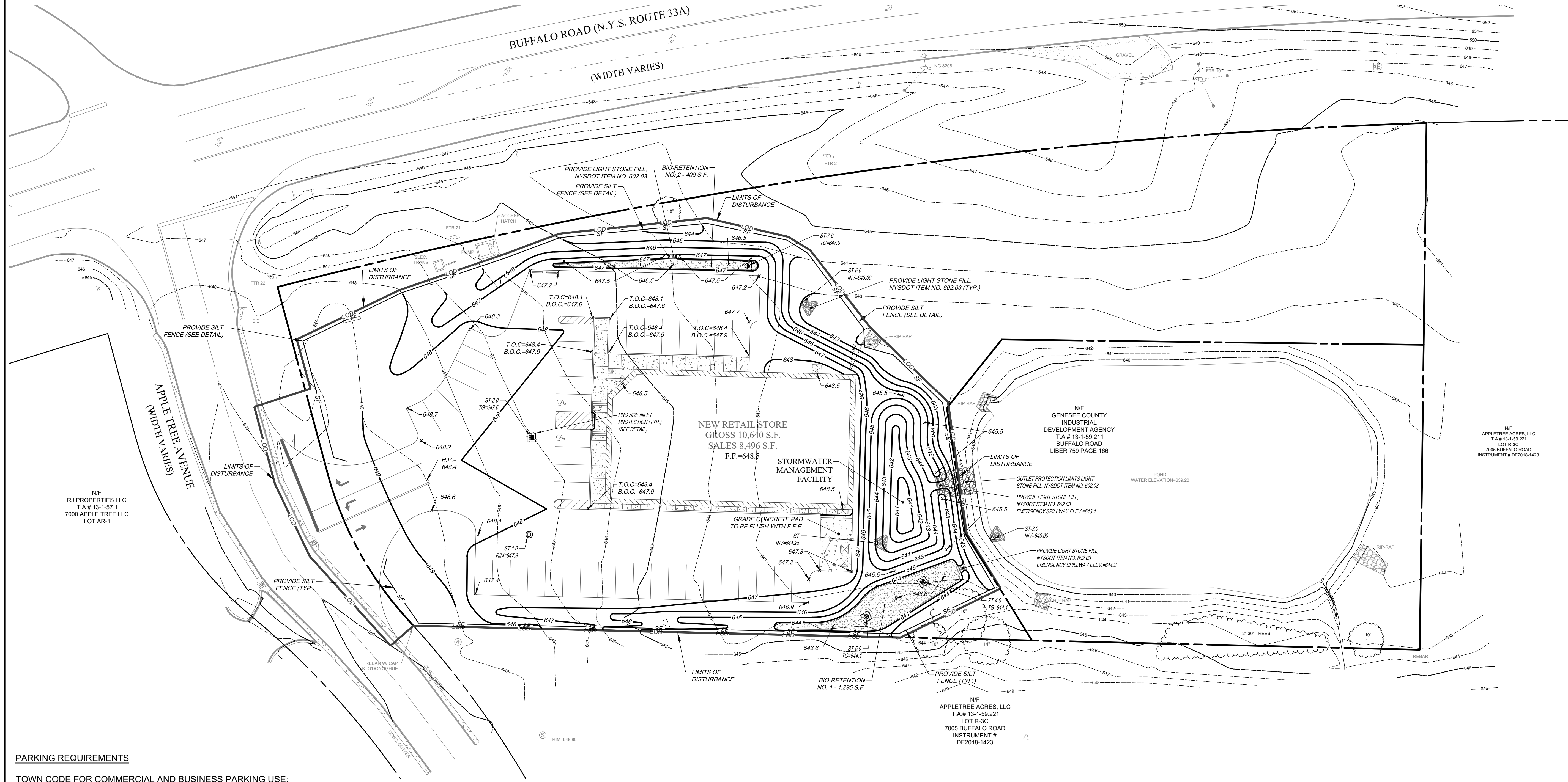
N/F APPLETREE ACRES, LLC
T.A.# 13-1-59-221
LOT R-3C
7005 BUFFALO ROAD
INSTRUMENT # DE2018-1423

NOTES

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GRADING LINE LEGEND

	PARCEL BOUNDARY		EXISTING SWALE
	EXISTING RIGHT-OF-WAY LINE		EXISTING STOCKADE & CHAIN LINKED FENCE
	EXISTING ADJACENT PROPERTY LINE		EXISTING CONTOUR
	MIN. BUILDING SETBACK		EXISTING SPOT ELEVATION @ x
	CENTER LINE		PROPOSED CONTOUR
	EXISTING EASEMENT LINE		PROPOSED SPOT ELEVATION @ x
	EXISTING CONCRETE CURB		PROPOSED SPOT ELEVATION @ x
	EXISTING EDGE OF PAVEMENT		PROPOSED PERIMETER SILT FENCE
	EXISTING EDGE OF GRAVEL		PROPOSED SILT SOCK INLET PROTECTION ONLY
	EXISTING CONCRETE PAD/ CONCRETE SIDEWALK		PROPOSED CONCRETE PAD/ CONCRETE SIDEWALK
	EXISTING UTILITY POLE, GUY ANCHOR & UTILITY POLE WITH LIGHT		PROPOSED LIMITS OF DISTURBANCE
	TREES, HEDGE, EDGE OF WOODS		



PARKING REQUIREMENTS

TOWN CODE FOR COMMERCIAL AND BUSINESS PARKING USE:

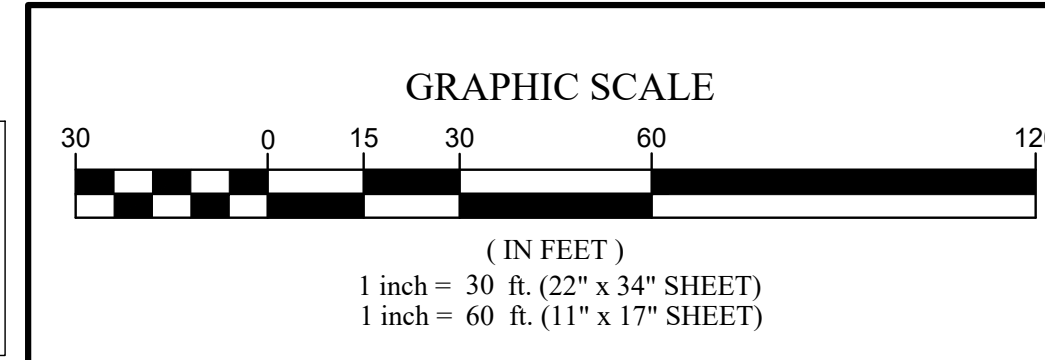
PLANNING BOARD TO DETERMINE PARKING

PROVIDED SPACES:	43
ADA REQUIRED HANDICAP SPACES:	2
PROVIDED HANDICAP SPACES:	2
REQUIRED VAN ACCESSIBLE SPACES:	1
PROVIDED VAN ACCESSIBLE SPACES:	2



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FLOOD NOTE:
By graphic plotting only, this property is in Zone C of the Flood Insurance Rate Map, Community Panel No. 361137 B, Town of Bergen, which bears an effective date of July 6, 1984. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.



The Broadway Group
Commercial Real Estate Development

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

TITLE OF PROJECT: NEW RETAIL STORE
BUFFALO ROAD & APPLE TREE AVENUE

TITLE OF DRAWING: GRADING & EROSION CONTROL PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 13-1-59-211
TOWN LOTS 11 & 12, SECTION 4, TOWNSHIP 2, TRIANGLE TRACT,
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

DWG # 8828
CA 160
SHEET 09 OF 15

PROJECT MANAGER: M.P.M.

DRAWING: D.L.L.

BOUNDARY: G.M.S.

TOPOGRA: M.G.

DATE: 09/20/2023

SCALE: 1"=30'

CIVIL ENGINEERING

LAND SURVEYING

LANDSCAPE ARCHITECTURE

COSTICH ENGINEERING

217 LAKE AVENUE
ROCHESTER, NY 14608
(GBS) 4583020

PROJECT MANAGER: M.P.M.

DRAWING: D.L.L.

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217 LAKE AVENUE
ROCHESTER, NY 14608
(GBS) 4583020

GENERAL STABILIZATION NOTE:

1. TEMPORARY STABILIZATION OF DISTURBED AREA MUST BE INITIATED IMMEDIATELY WHENEVER WORK TOWARD PROJECT COMPLETION AND FINAL STABILIZATION OF ANY PORTION OF THE SITE HAS TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS.
2. FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE.
3. SLOPES STEEPER THAN 15% (APPROXIMATELY 7:1 H: V) ARE TO BE STABILIZED IMMEDIATELY AFTER COMPLETION TO PREVENT EROSION OF THESE STEEP SLOPES. TEMPORARY SEEDING WITH MULCHING IS TO BE USED FOR THIS STABILIZATION. PERMANENT STABILIZATION WITH SODDING MAY BE USED WITH PEGS OR STAPLES IF THESE AREAS WILL NOT BE DISTURBED BY FURTHER CONSTRUCTION ACTIVITIES.

SITE ESTIMATES:

PRECONSTRUCTION IMPERVIOUS AREA: 0%
 POSTCONSTRUCTION IMPERVIOUS AREA: 30.5%

EROSION CONTROL IMPLEMENTATION SCHEDULE:
INITIAL PHASE

1. INSTALL CONSTRUCTION EXIT PAD AND TYPE "A" SILT FENCE
2. CLEAR AREA NEEDED FOR INSTALLATION OF SEDIMENT BASIN.
3. INSTALL SEDIMENT BASIN WITH SKIMMER AND BAFFLES. STABILIZE THE SPILLWAY, EMBACKMENT, BASIN BOTTOM AND ALL DISTURBED AREAS OF BASIN WITH TEMPORARY SEEDING AND MULCHING. BASIN OUTLET PIPE TO BE STABILIZED WITH OUTLET PROTECTION.
4. STRIP AND STOCKPILE TOPSOIL, AND REMOVE UNSUITABLE MATERIAL.
5. TEMPORARY SEEDING TO BE INSTALLED ON AREAS WHERE GRADING AND STABILIZATION OPERATIONS HAVE CEASED AND WILL NOT RESUME FOR 13 DAYS.

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
DECIDUOUS TREES						
5	Am	AMELANCHIER X GRANDIFLORA 'TRAZAM'	TRADITION SERVICEBERRY (SINGLE LEADER)	1.5-2" CAL.	BB	HT. 30', SP. 30'
5	Ar	ACER RUBRUM 'FRANK JR.'	REDPOINTE RED MAPLE	1.5-2" CAL.	BB	HT. 50', SP. 30'

ABBREVIATIONS:
 BB=BALLED & BURLAPPED
 BR=BARE ROOT

CAL=CALIPER IN INCHES
 CONT.=CONTAINER
 HT=HEIGHT
 NO.=GALLON SIZE
 SP=SPREAD

NOTES:
 - CALIPER TO BE MEASURED 6" ABOVE GRADE
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE
 - HEIGHT IS MEASURED FROM BASE OF ROOT BALL

LEGEND



LANDSCAPE & MAINTENANCE NOTES

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
4. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE OWNER/OWNERS REPRESENTATIVE AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL.
5. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
6. SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
7. A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM DATE OF PROVISIONAL ACCEPTANCE.
8. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST.
9. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST.
10. ALL TREE AND SHRUB BEDS SHALL RECEIVE BLACK SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED.
11. STAKE TREES IMMEDIATELY AFTER PLANTING.
12. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 4" OF TOPSOIL AND BE SODDED.

 RESTORATION OF NYS-DOT RIGHT OF WAY SHALL COMPLY WITH NYS-DOT NYS-DOT ITEM NO. ITEM 610.1402 - TOPSOIL - ROADSIDE
 ITEM 610.1401 - TOPSOIL - REUSE ONSITE MATERIALS
 ITEM 610.1802 - TURF ESTABLISHMENT
 ITEM 610.18 - SODDING
13. REFER TO 'NYS DOT PERMIT PLANS' ISSUED WITH APPLICABLE PERMITS FOR ALL WORK WITHIN THE NYS DOT RIGHT-OF-WAY.
14. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH 6 NYCRR PART 575 PROHIBITED AND REGULATED INVASIVE SPECIES.

LANDSCAPE QTY. TAKE-OFFS

LOT SIZE = 161,683 SF

BED AREAS = 200 SF (MULCH RINGS)

MULCH COLOR = BLACK

MOWABLE AREA = 34,773 SF
 (INCLUDES SITE & ROW @ APPLE TREE AVENUE)

SOD AREA = 0 SF

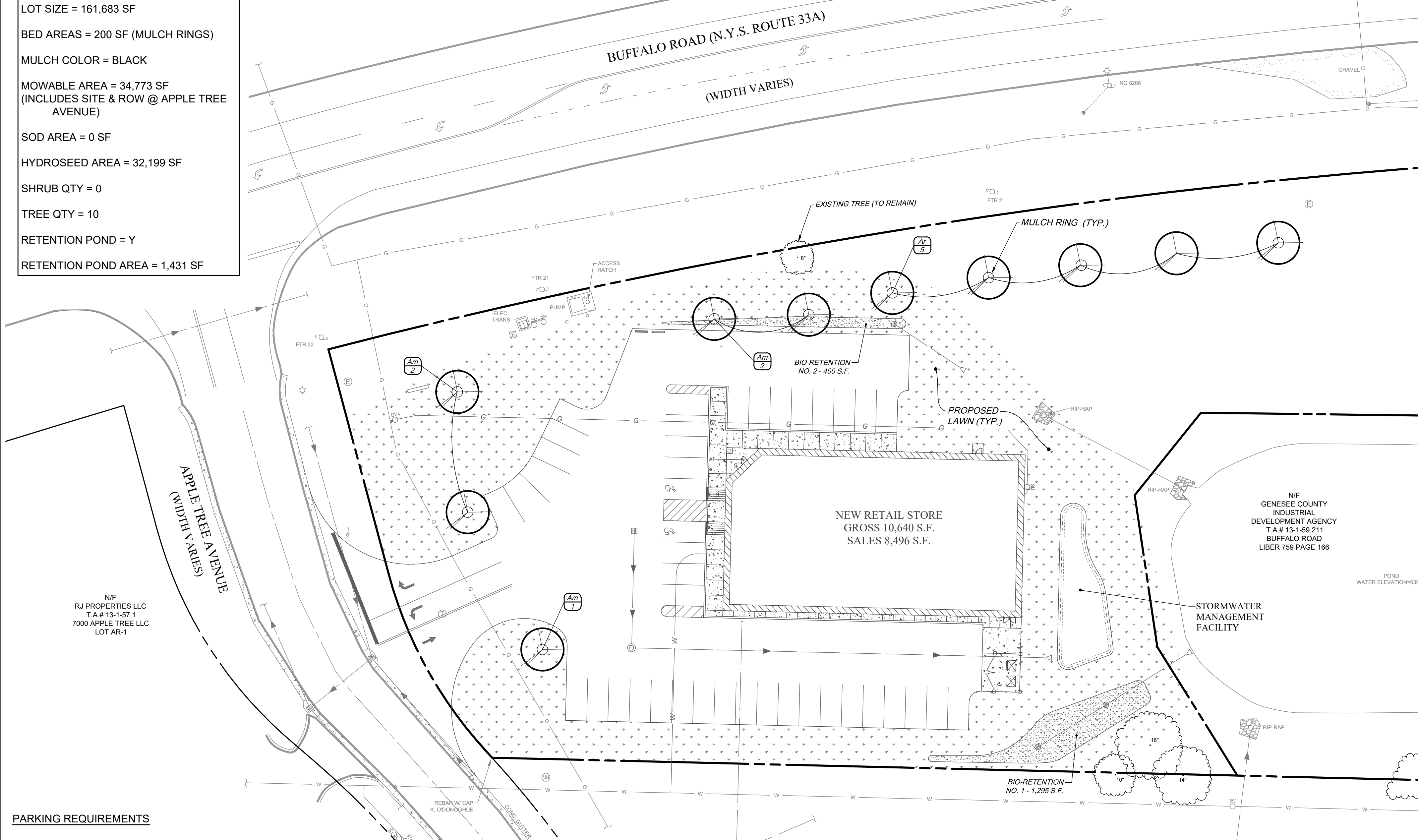
HYDROSEED AREA = 32,199 SF

SHRUB QTY = 0

TREE QTY = 10

RETENTION POND = Y

RETENTION POND AREA = 1,431 SF



PARKING REQUIREMENTS

TOWN CODE FOR COMMERCIAL AND BUSINESS PARKING USE:

PLANNING BOARD TO DETERMINE PARKING

PROVIDED SPACES:	43
ADA REQUIRED HANDICAP SPACES:	2
PROVIDED HANDICAP SPACES:	2
REQUIRED VAN ACCESSIBLE SPACES:	1
PROVIDED VAN ACCESSIBLE SPACES:	2



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLIE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

New York State Stormwater Management Design Manual
 Chapter 5.1 Green Infrastructure Practices
 Section 5.1 Planning for Green Infrastructure: Preservation of Natural Features and Conservation Design

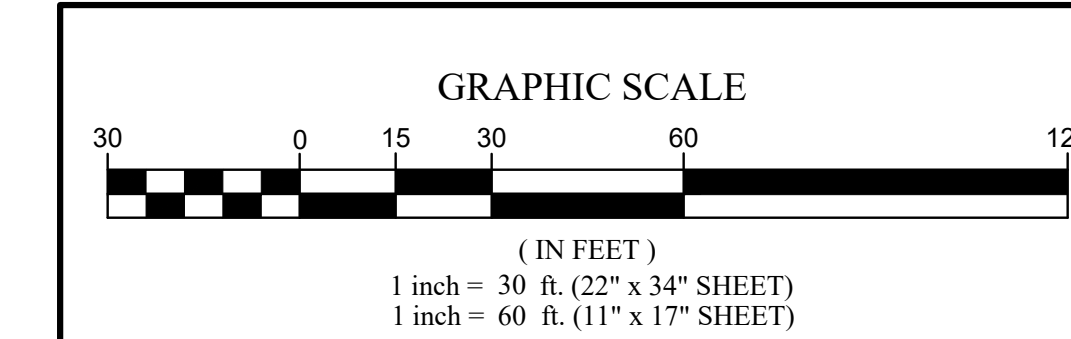
Table 5.1 Soil Restoration Requirements		
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples
No soil disturbance	Restoration not permitted	Preservation of Natural Features
Minimal soil disturbance	Restoration not required	Clearing and grubbing
Areas where topsoil is stripped only - no change in grade	HSG A & B apply 6 inches of topsoil	Protect area from any ongoing construction activities.
	HSG C & D Aerate* and apply 6 inches of topsoil	
Areas of cut or fill	HSG A & B Aerate and apply 6 inches of topsoil	Apply full Soil Restoration **
	HSG C & D	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)	
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.	

*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.
 ** Per "Deep Ripping and De-compaction, DEC 2008".

Using this Practice

During periods of relatively low to moderate subsoil moisture, the disturbed subsoils are returned to rough grade and the following Soil Restoration steps applied:

- 1) Apply 3 inches of compost over subsoil



The Broadway Group
 Commercial Real Estate Development

PROJECT: NEW RETAIL STORE
 ADDRESS: BUFFALO ROAD & APPLE TREE AVENUE
 TOWN: TOWN OF BERGEN, COUNTY OF GENESSEE, STATE OF NEW YORK
 CLIENT: THE BROADWAY GROUP
 216 WESTSIDE SQUARE, HUNTSVILLE, ALABAMA, 35891

DATE: 09/20/2023
 SCALE: 1"=30'

PROJECT ENGINEER: M.P.M.
 DRAWING: D.J.L.
 BOUNDARY: G.M.S.
 TOPOGRA: M.G.
 DATE: 09/20/2023
 SCALE: 1"=30'

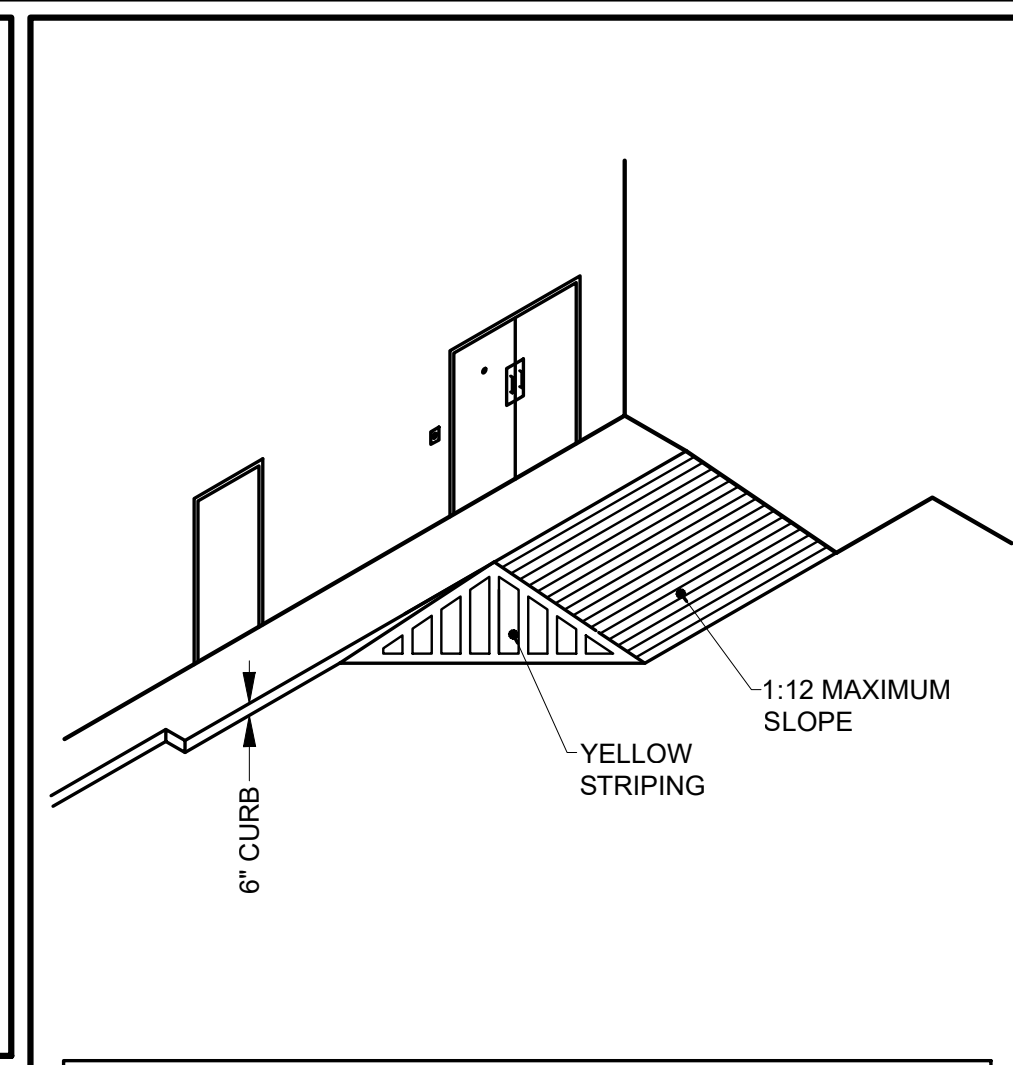
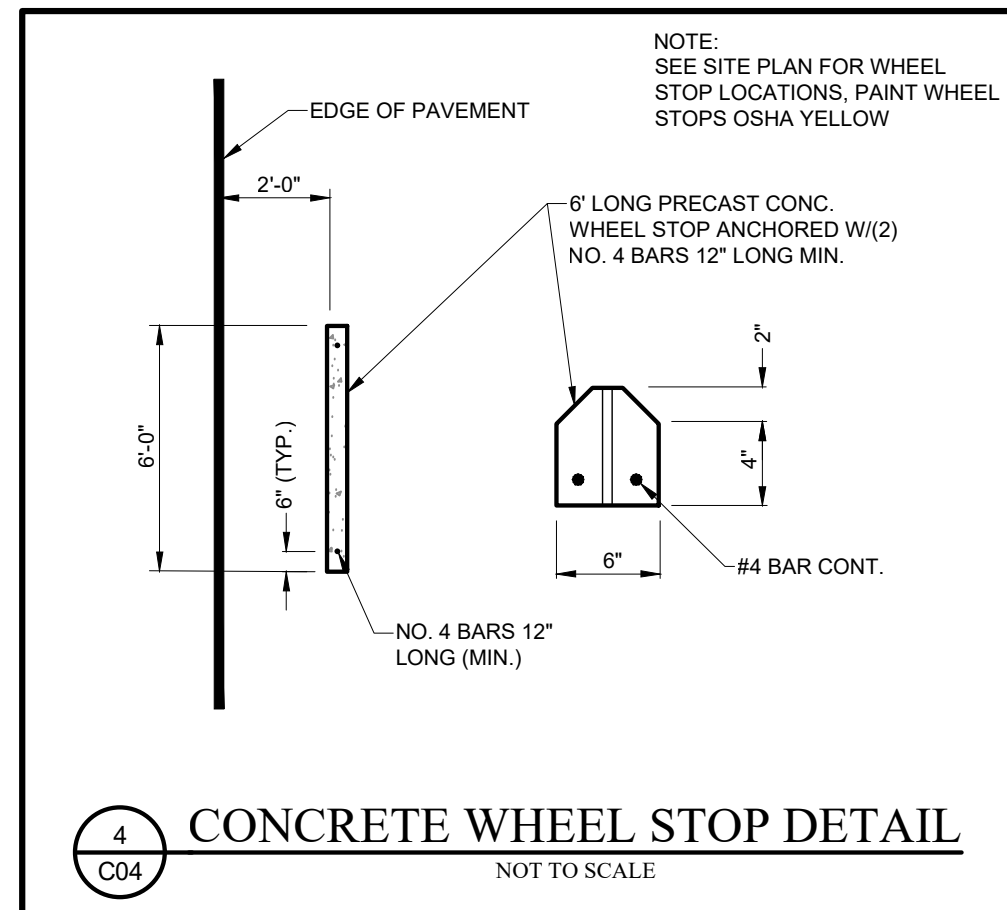
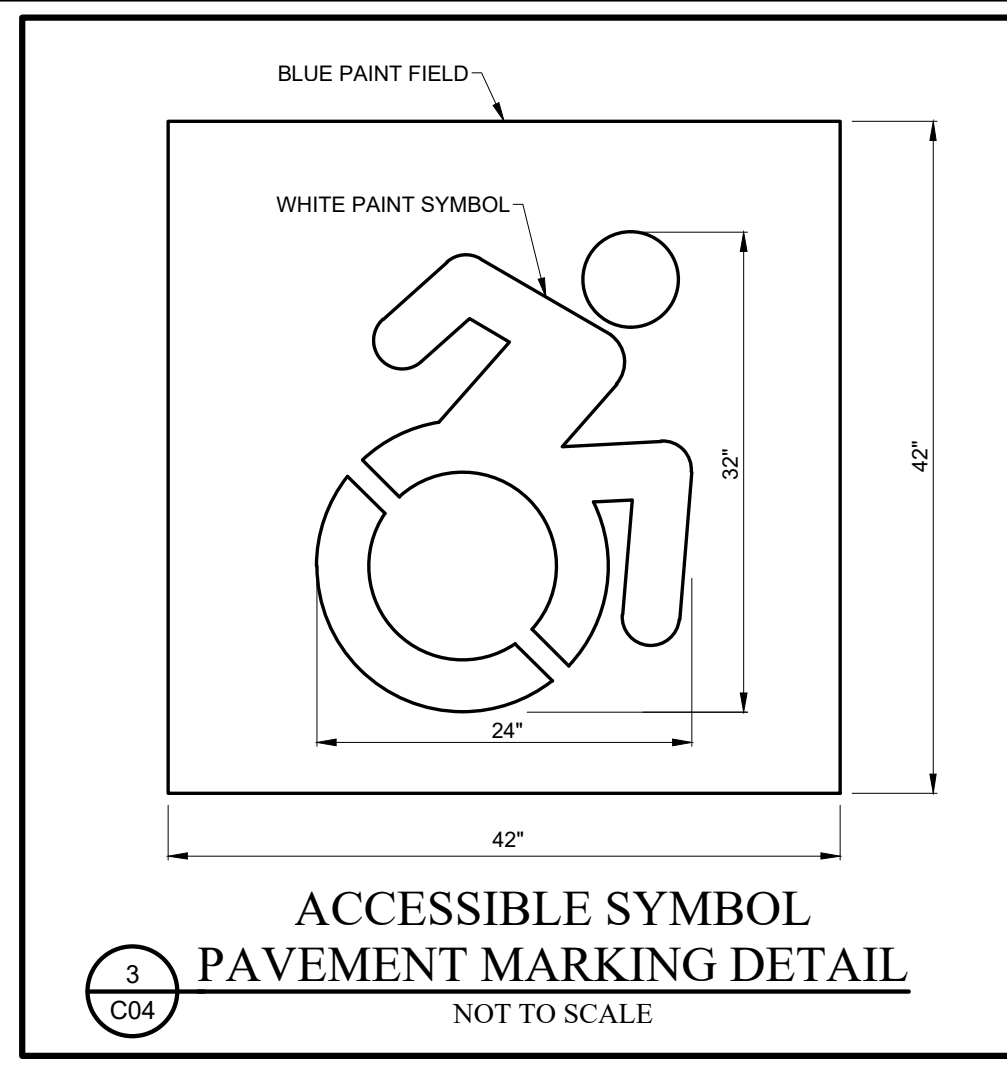
COSTICH ENGINEERING
 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 456-3020

REGISTERED PROFESSIONAL ARCHITECT
 STATE OF NEW YORK
 NO. 0021416

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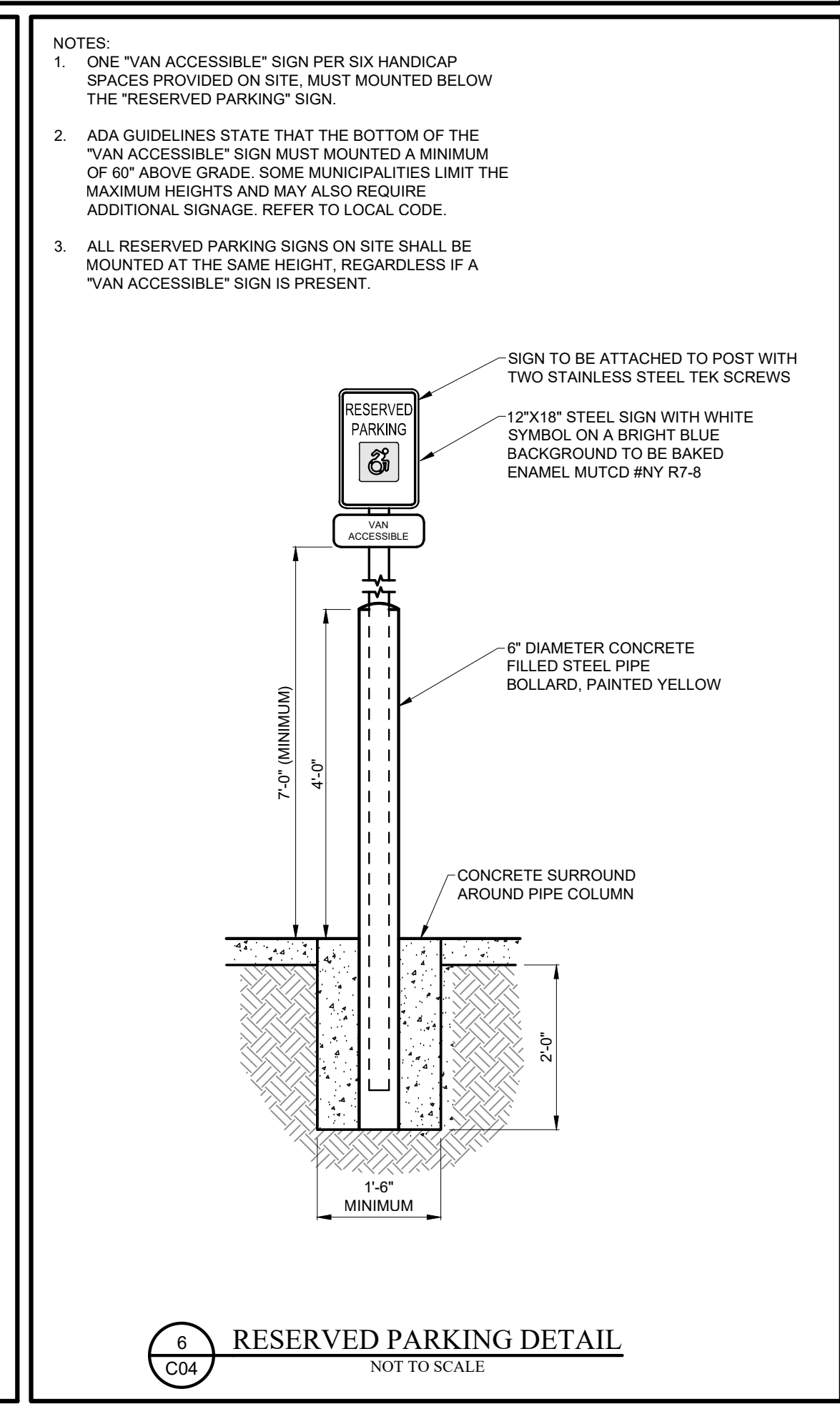
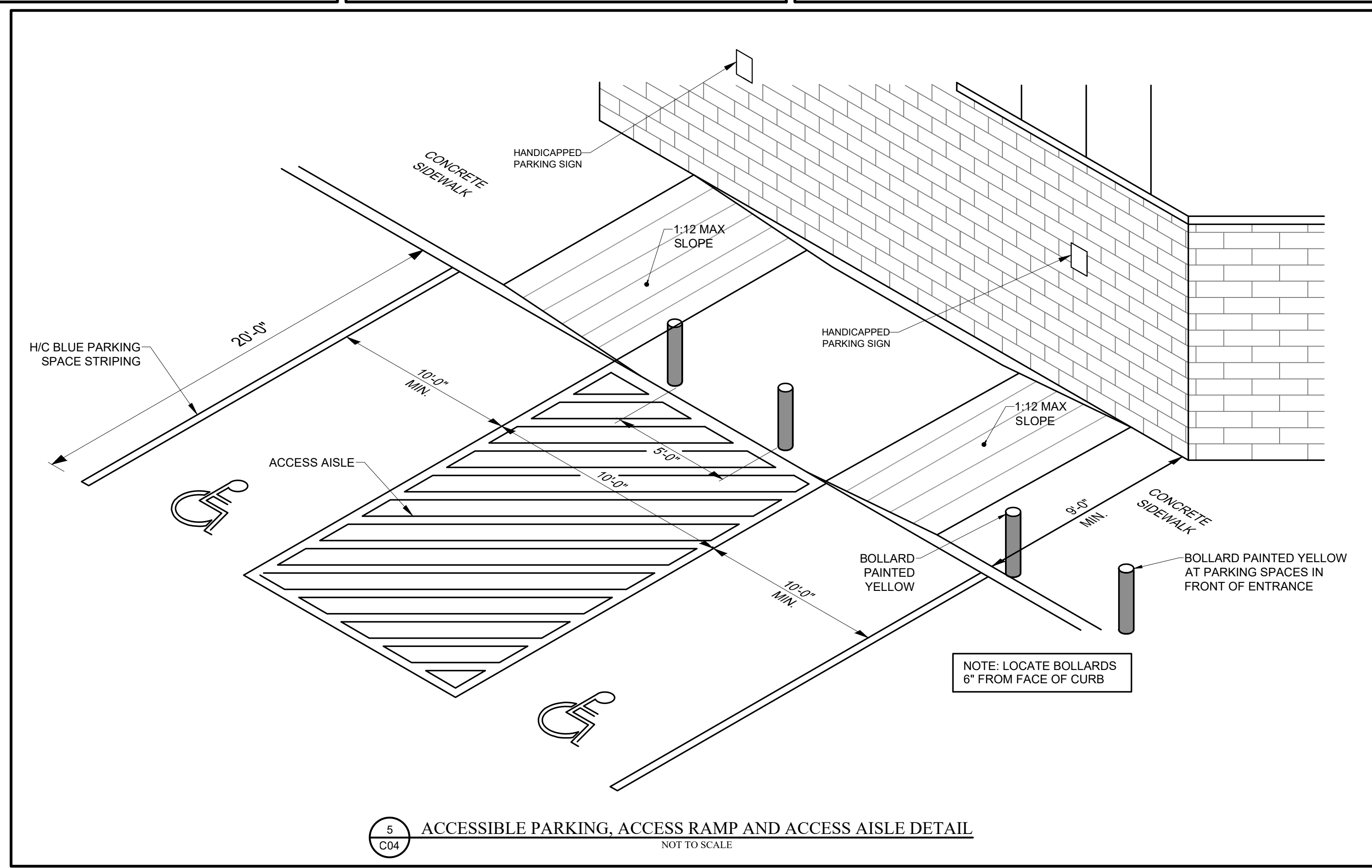
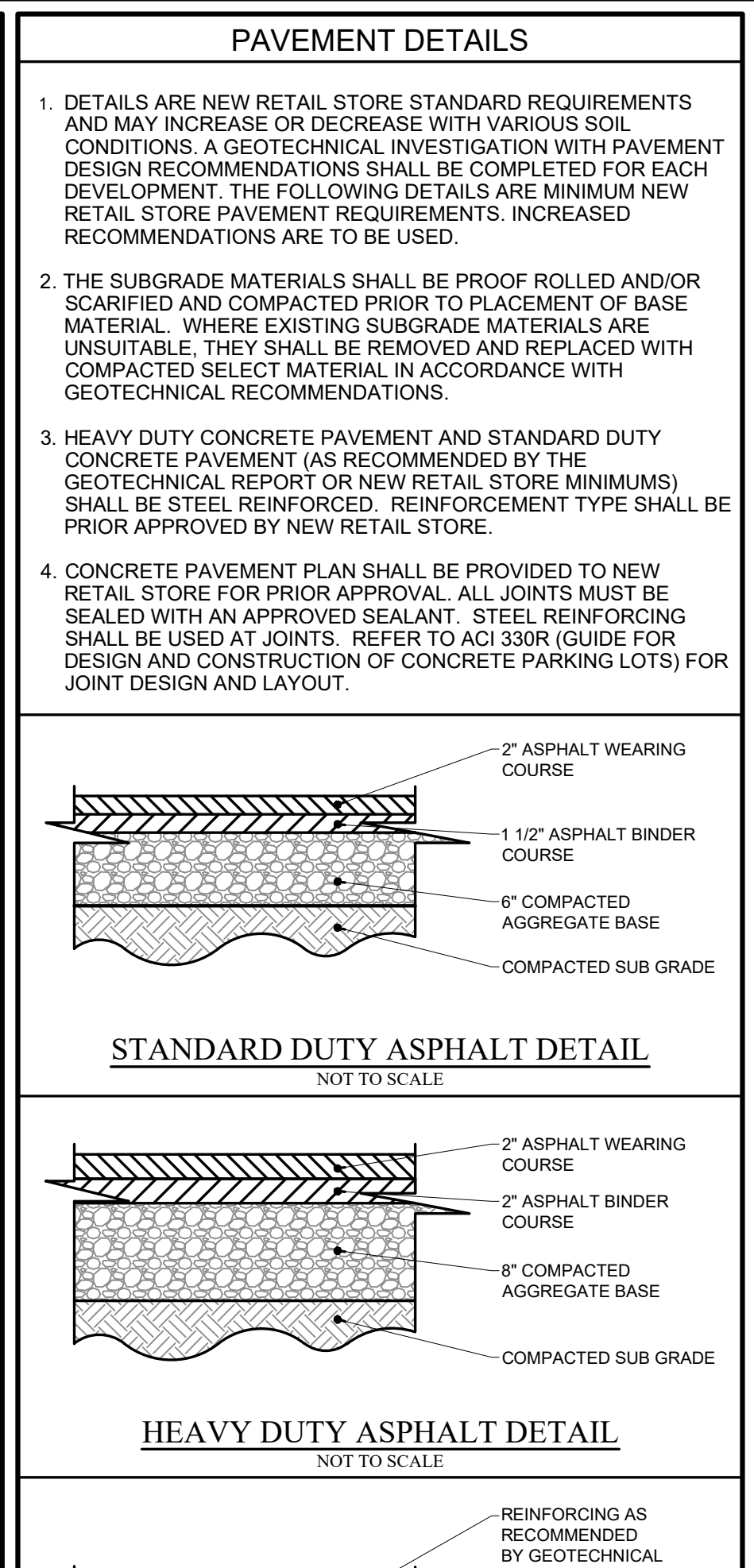
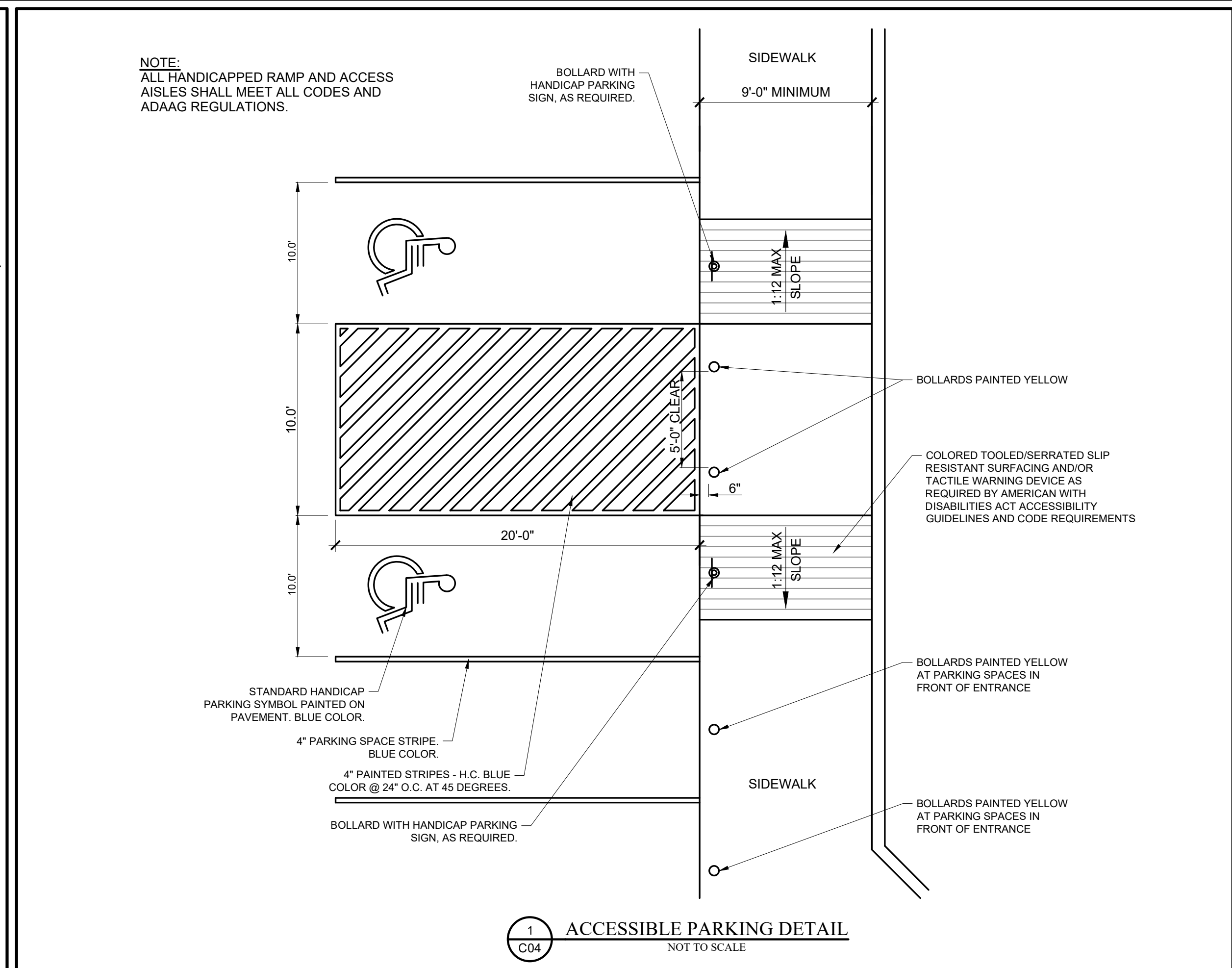
NO.	DATE	REVISION	BY	CHKD.	APRVD.
5	05/24/2024	ADDED ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 05/24/2024	D.J.L.	M.P.M.	
4	05/08/2024	REVISED PER CLIENT COMMENTS RECEIVED 05/08/24	D.J.L.	M.P.M.	
3	04/10/2024	ADDED LANDSCAPE TAKE OFF CALLS PER CLIENT DIRECTION	E.L.O.	M.P.M.	
2	02/29/2024	REVISED PER DAW REVIEW COMMENTS DATED 02/29/24	D.J.L.	M.P.M.	
1	02/02/2024	REVISED PER PER SUBDIVISION OF LOT R-30	D.J.L.	M.P.M.	
0	09/20/2023	ISSUED PRELIMINARY FOR REVIEW	D.J.L.	M.P.M.	



STRIPING LEGEND

YELLOW CURBING AND BOLLARDS	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
PARKING LOT STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY



The Broadway Group
Commercial Real Estate Development

PROJECT: NEW RETAIL STORE
LOCATION: BUFFALO ROAD & APPLE TREE AVENUE
EXISTING FEATURES/DEMOLITION PLAN

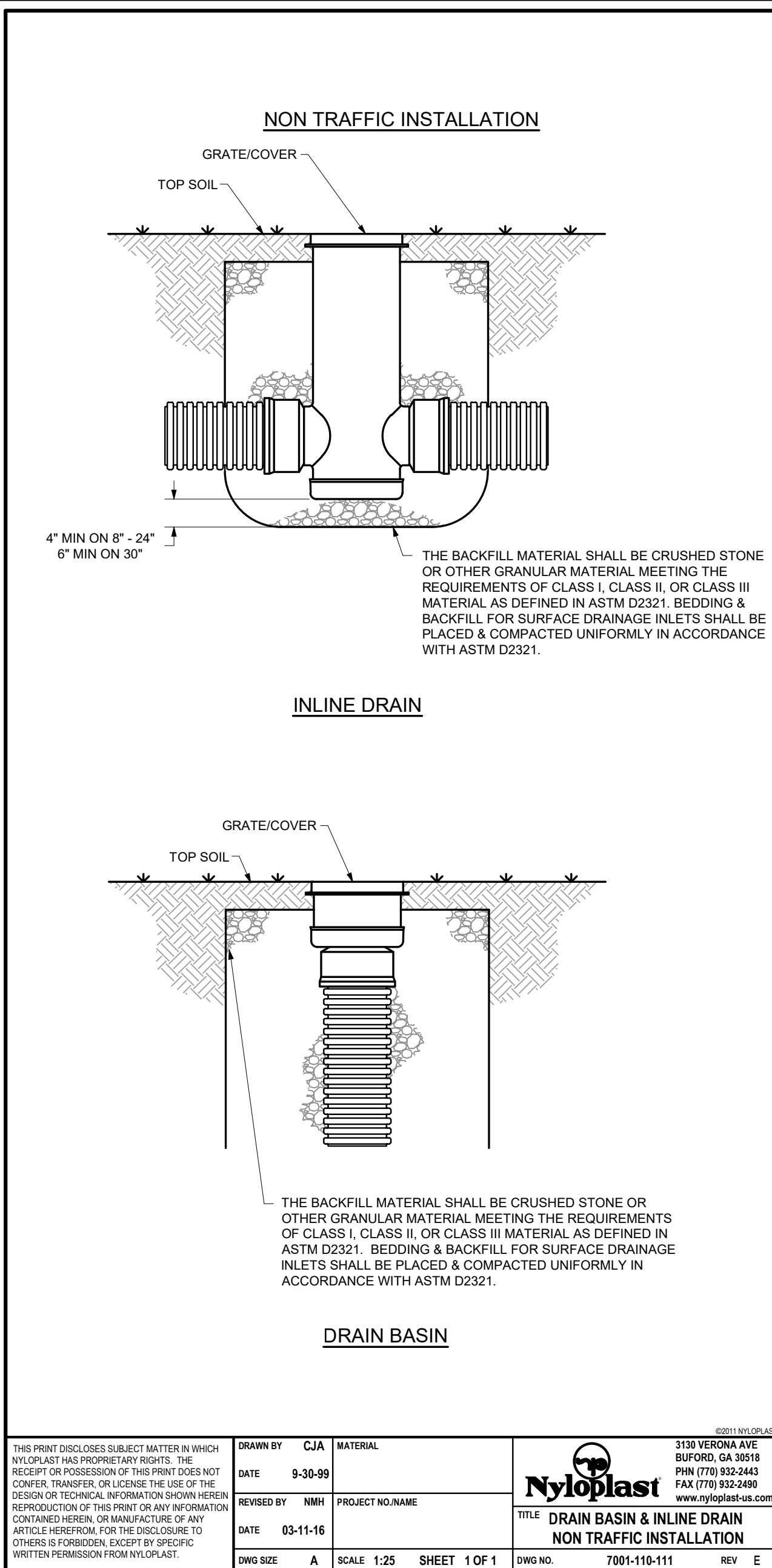
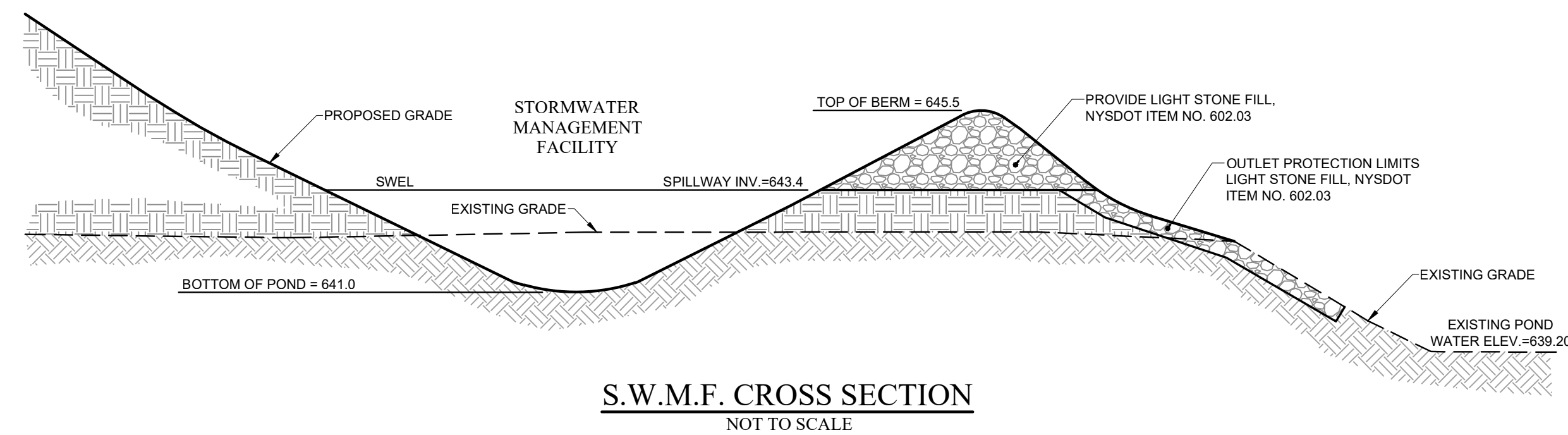
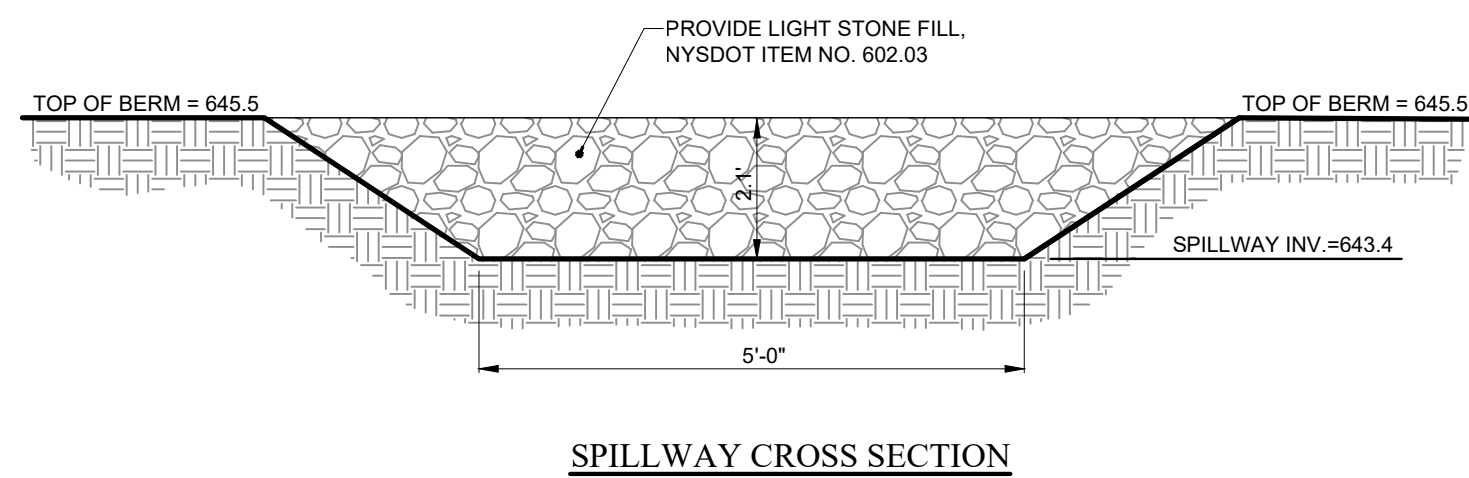
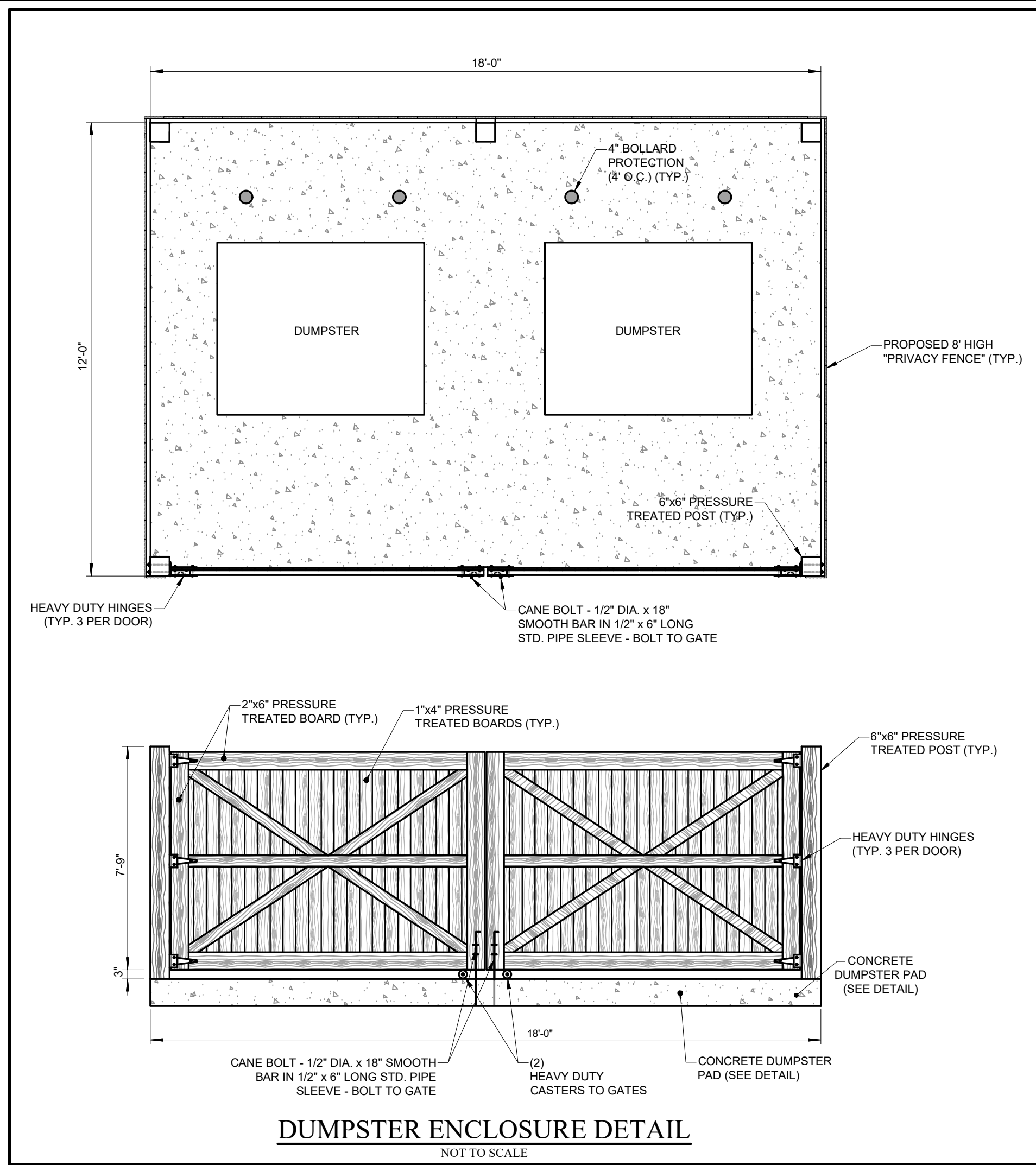
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ARCHITECT: ARCHITECTURE
DATE: 09/20/2023
SCALE: N.T.S.

PROF. ENGINEER: M.P.M. D.L.L.
BOUNDARY: D.L.L.
TOPOGRA: -
DATE: 09/20/2023
SCALE: N.T.S.

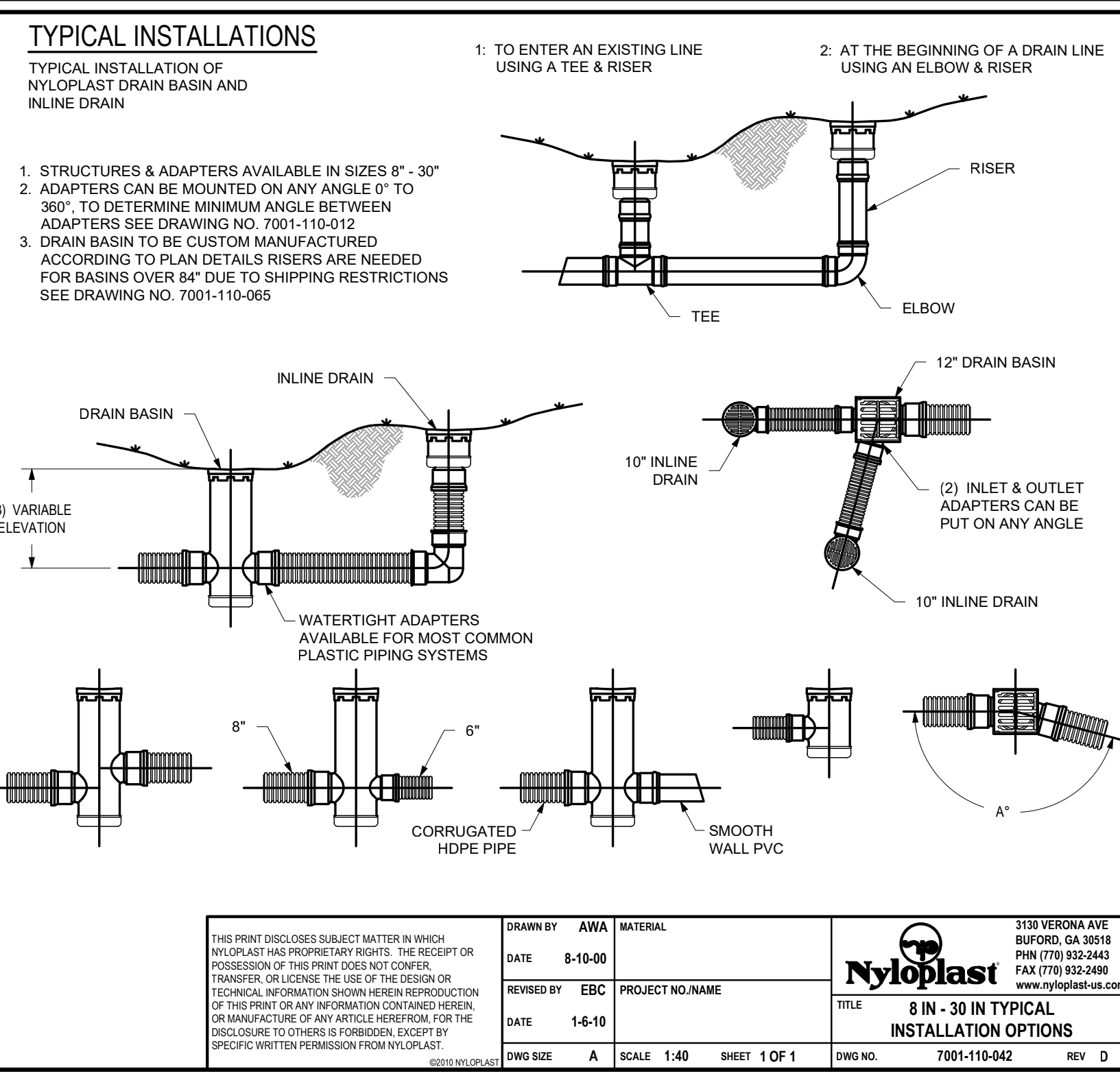
STATE OF NEW YORK
REGISTERED PROFESSIONAL ENGINEER
NO. 026188
EXPIRES 12/31/2026

COSTICH ENGINEERING
ARCHITECTURE
217 LAKE AVENUE
ROCHESTER, NY 14608
PHONE: 716.243.3020
FAX: 716.243.3020

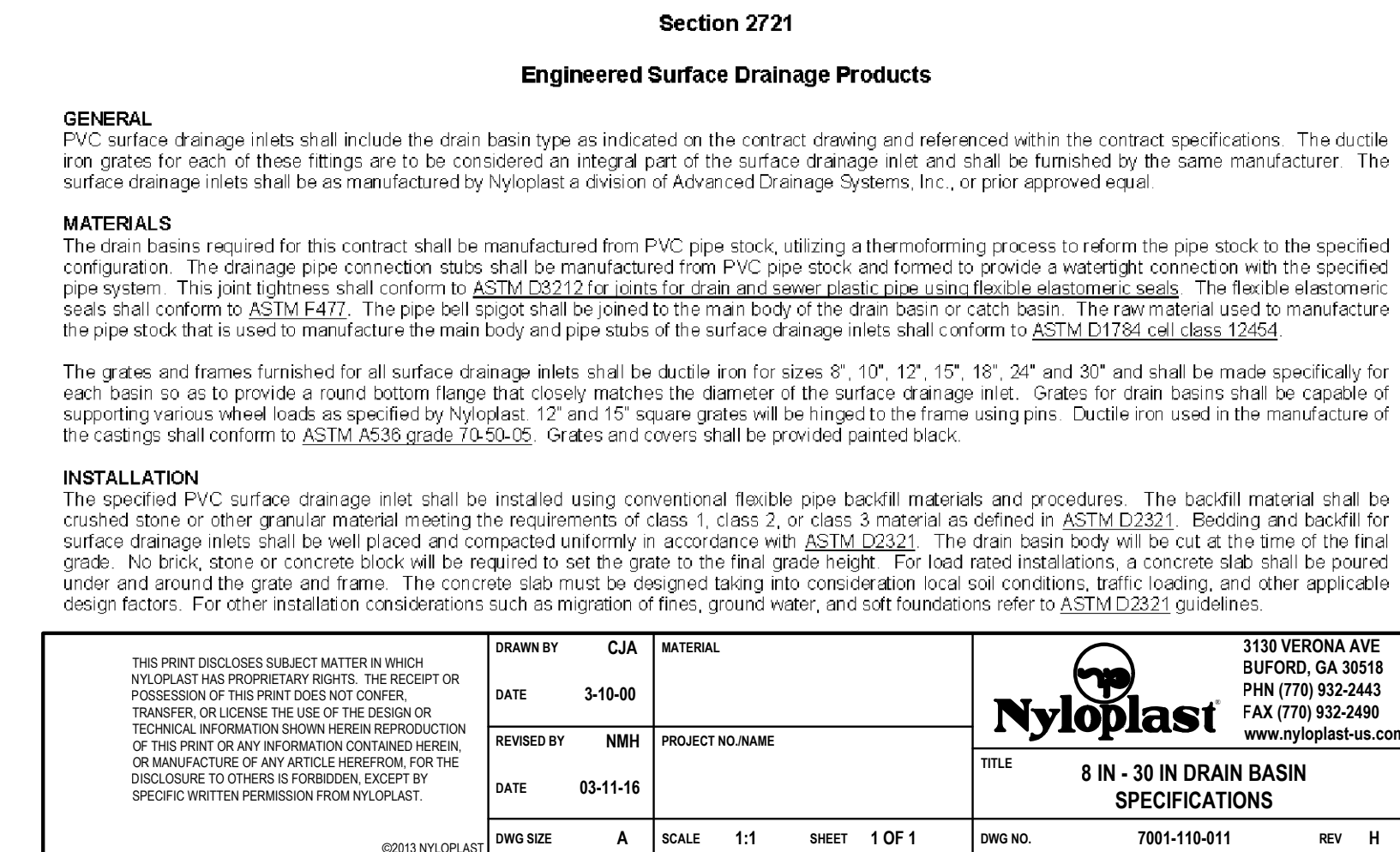
NO.	DATE	REVISION	BY	CHKD.	APRVS.
3	05/04/2024	ISSUED ADDITIONAL PARKING PER ZONING BOARD OF APPEALS MEETING DATED 05/04/2024	D.L.L.	M.P.M.	
2	05/06/2024	REVISED PER CLIENT COMMENTS RECEIVED 04/24-04/25	D.L.L.	M.P.M.	
1	03/06/2024	REVISED PER AISC REVIEW COMMENTS DATED 02/24/2024	D.L.L.	M.P.M.	
0	09/20/2023	ISSUED PRELIMINARY FOR REVIEW	D.L.L.	M.P.M.	



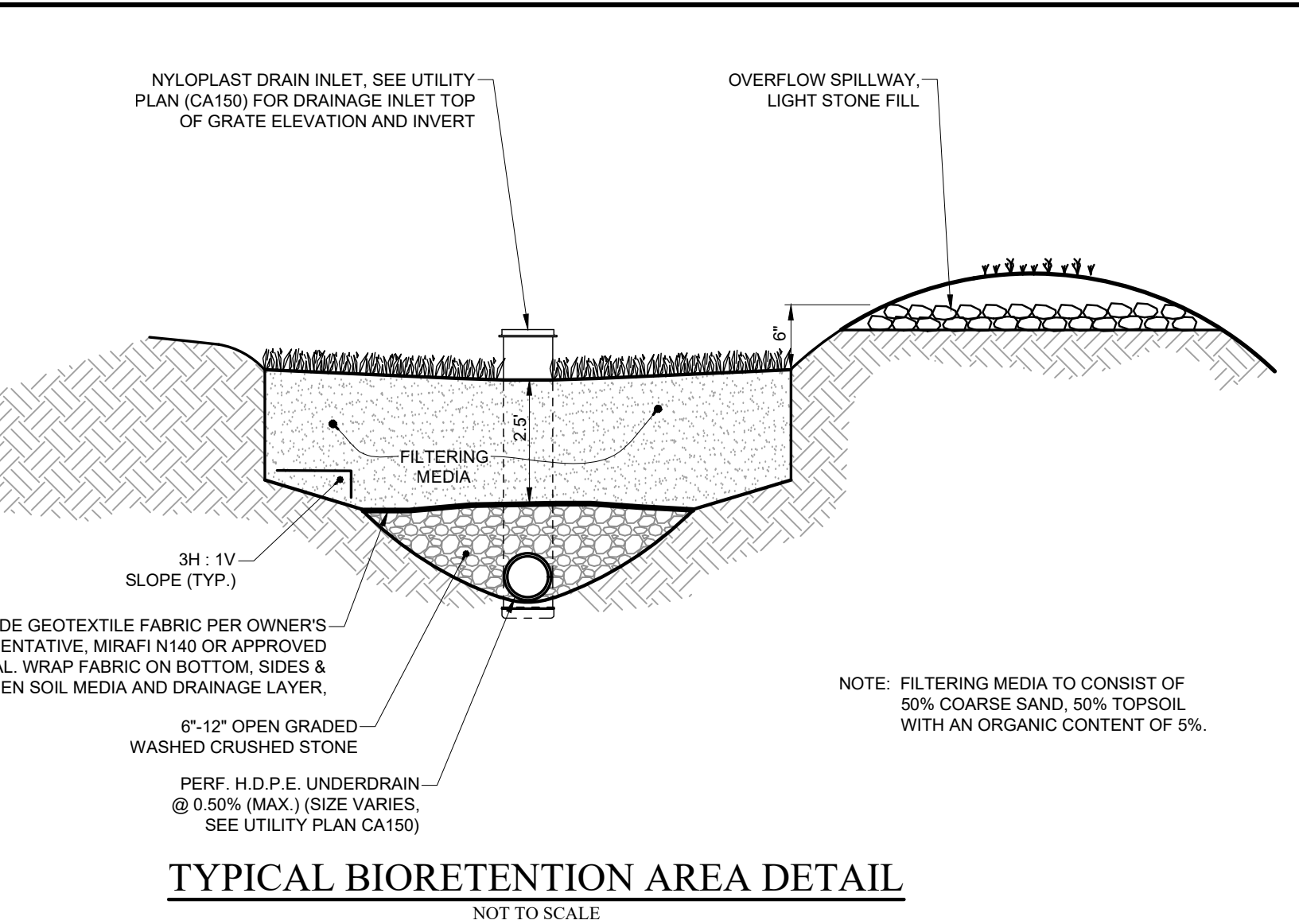
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DRAWN BY	CJA	MATERIAL	
DATE	9-30-09	PROJECT NO./NAME	
REVISED BY	NMH	TITLE	DRAIN BASIN & INLINE DRAIN
DATE	03-11-16	SCALE	1:25 SHEET 1 OF 1
DWG SIZE	A	DWG NO.	7001-110-111
		REV	E



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DRAWN BY	AWA	MATERIAL	
DATE	8-10-00	PROJECT NO./NAME	
REVISED BY	EBG	TITLE	8 IN - 30 IN TYPICAL
DATE	14-6-10	SCALE	1:40 SHEET 1 OF 1
DWG SIZE	A	DWG NO.	7001-110-042
		REV	D



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DRAWN BY	CJA	MATERIAL	
DATE	3-10-00	PROJECT NO./NAME	
REVISED BY	NMH	TITLE	8 IN - 30 IN DRAIN BASIN
DATE	03-11-16	SCALE	1:1 SHEET 1 OF 1
DWG SIZE	A	DWG NO.	7001-110-011
		REV	H



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DRAWN BY	CJA	MATERIAL	
DATE	3-10-00	PROJECT NO./NAME	
REVISED BY	NMH	TITLE	8 IN - 30 IN DRAIN BASIN
DATE	03-11-16	SCALE	1:1 SHEET 1 OF 1
DWG SIZE	A	DWG NO.	7001-110-011
		REV	H

The Broadway Group
Commercial Real Estate Development

NEW RETAIL STORE
BUFFALO ROAD & APPLE TREE AVENUE

EXISTING FEATURES/DEMOLITION PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 14-14-9211
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK
CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

DWG # 8828
CA 501
SHEET 2 OF 15

CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

217 LANE AVENUE
ROCHESTER, NY 14608
(585) 458-0020

COSTICH ENGINEERING

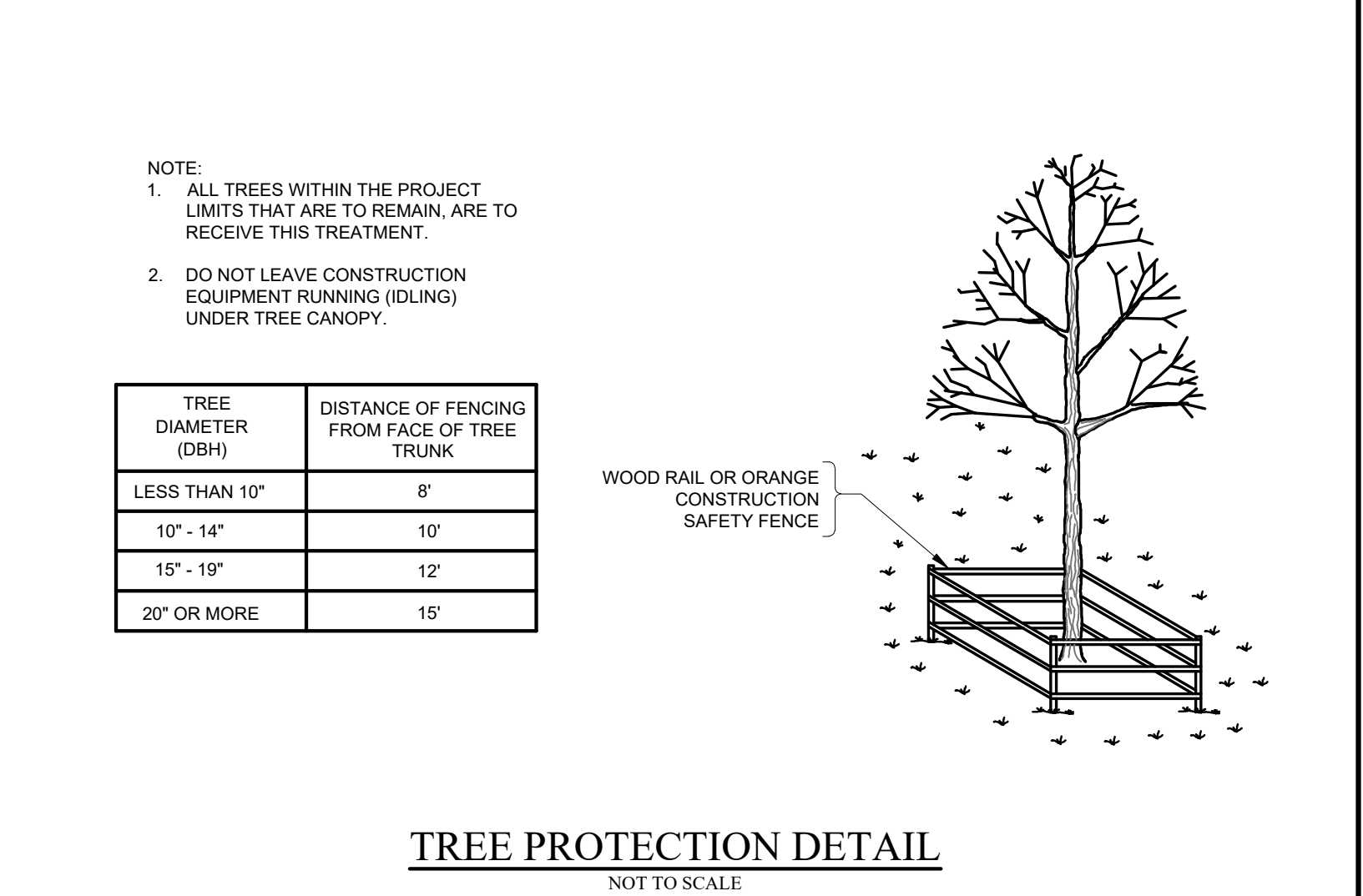
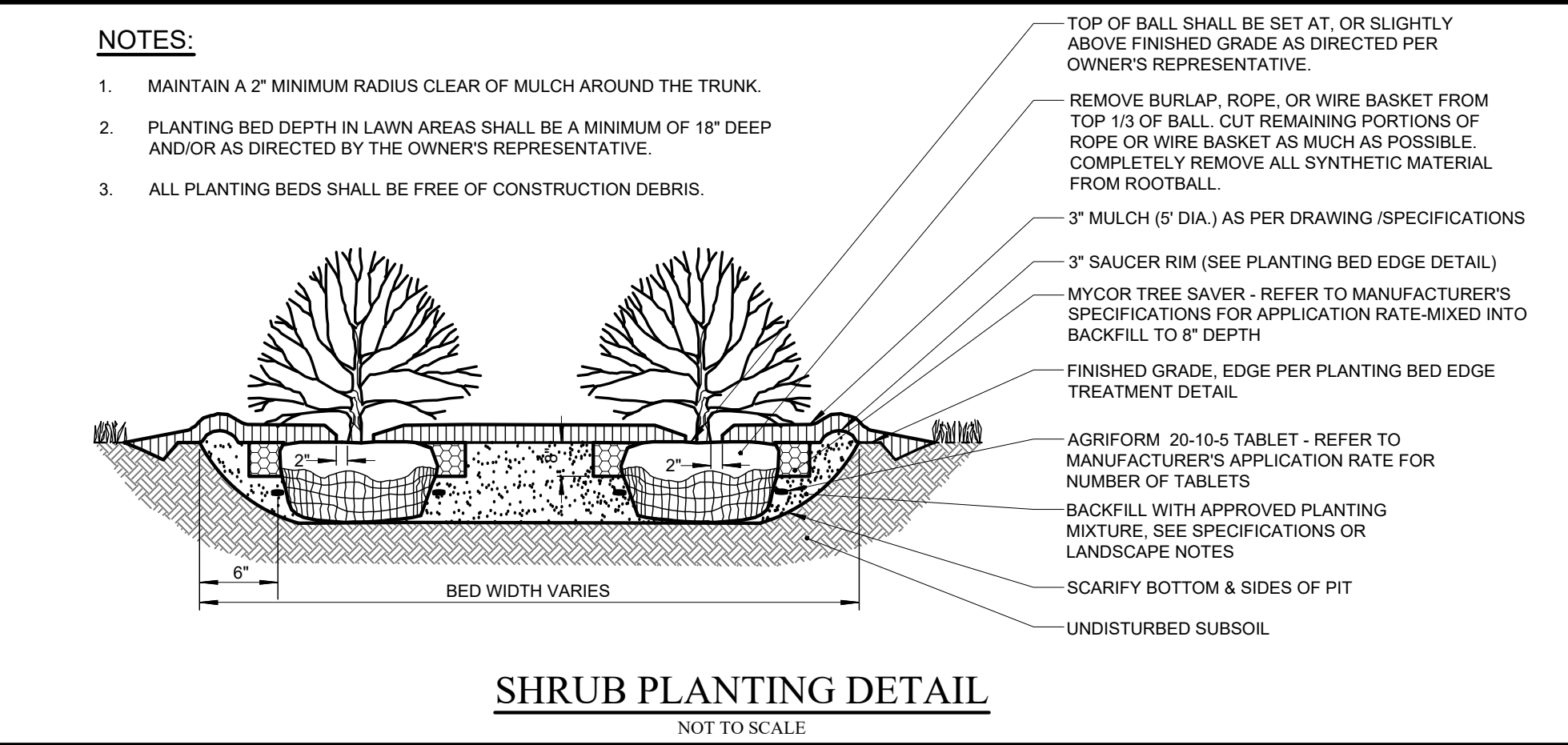
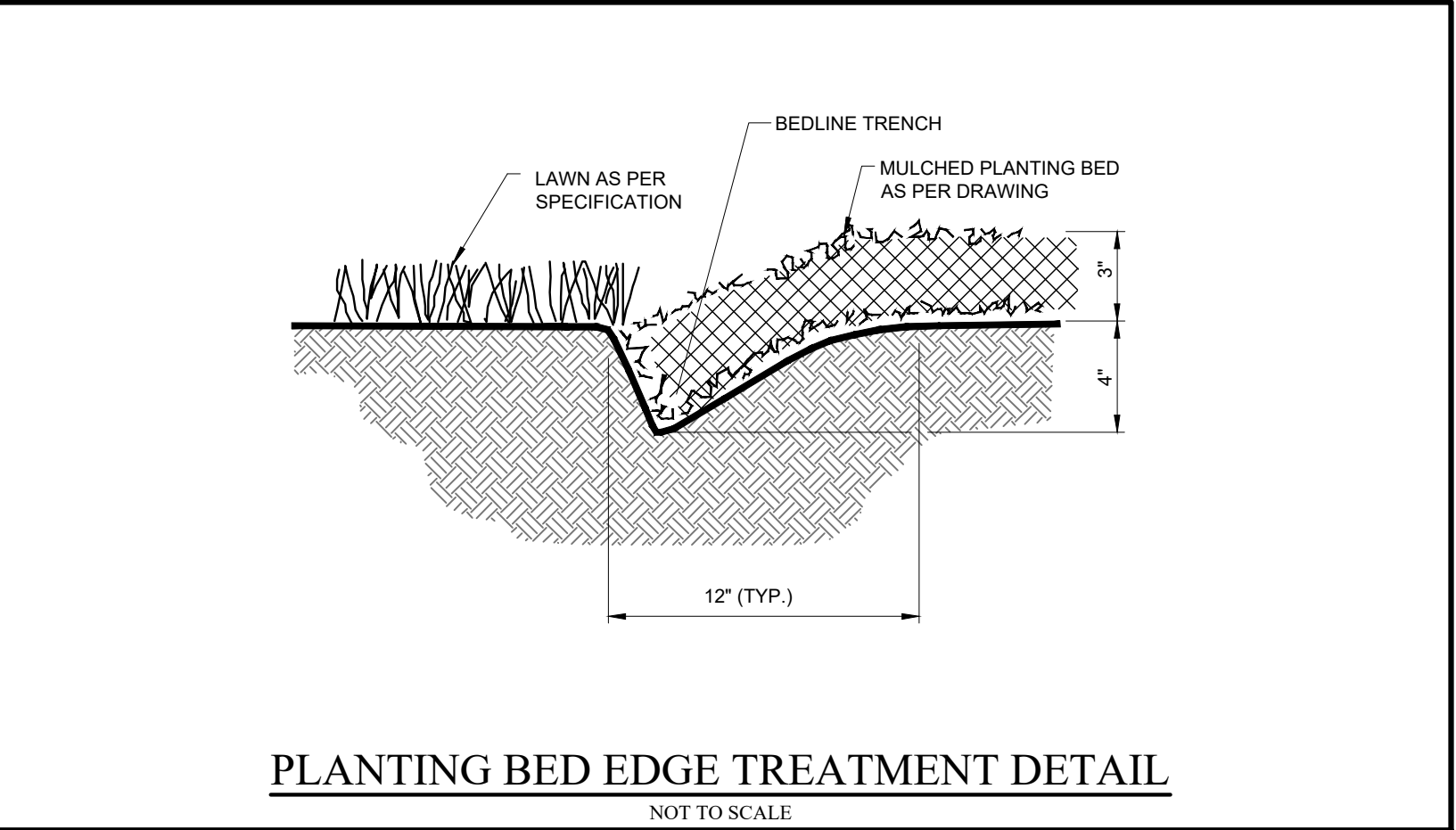
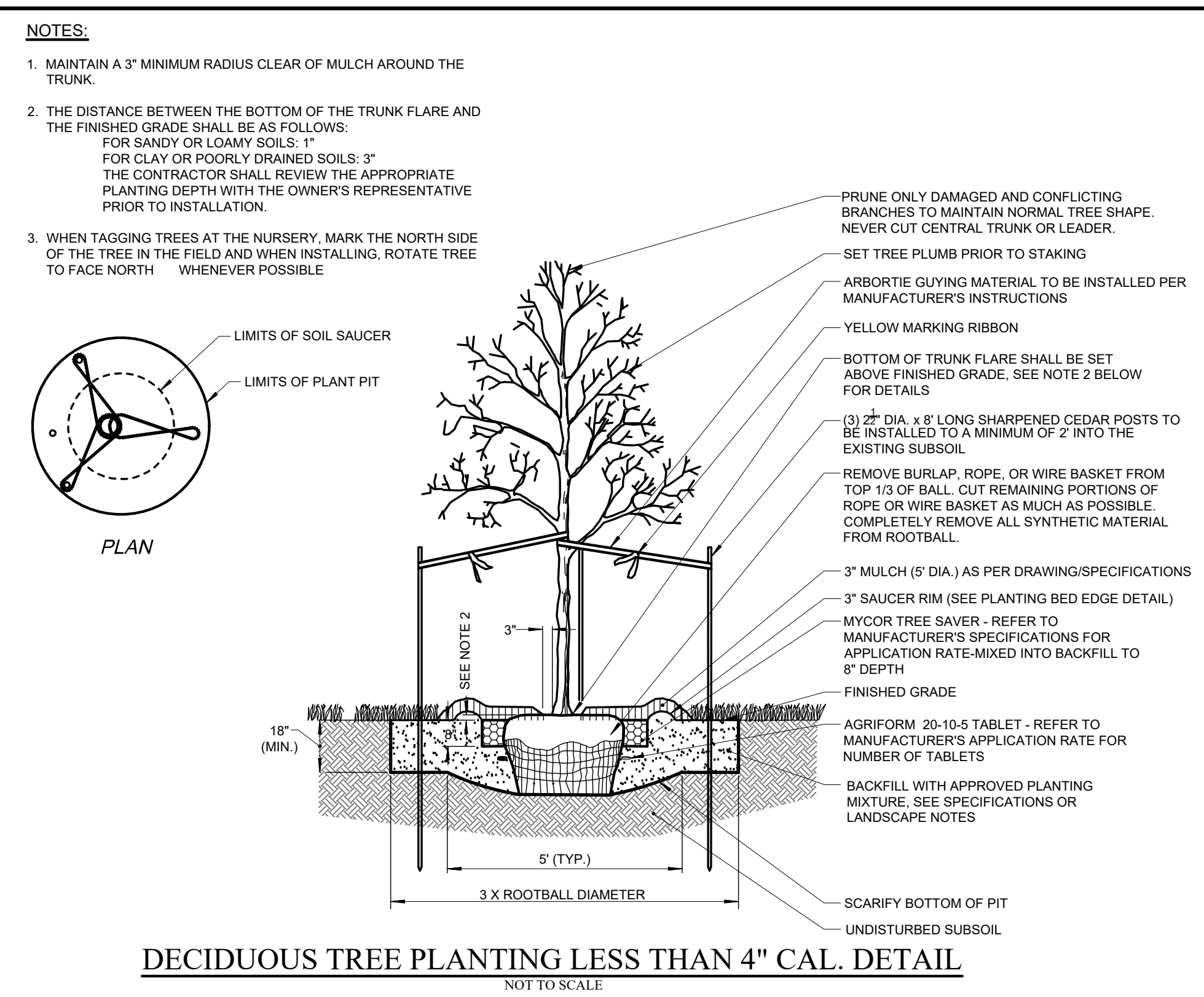
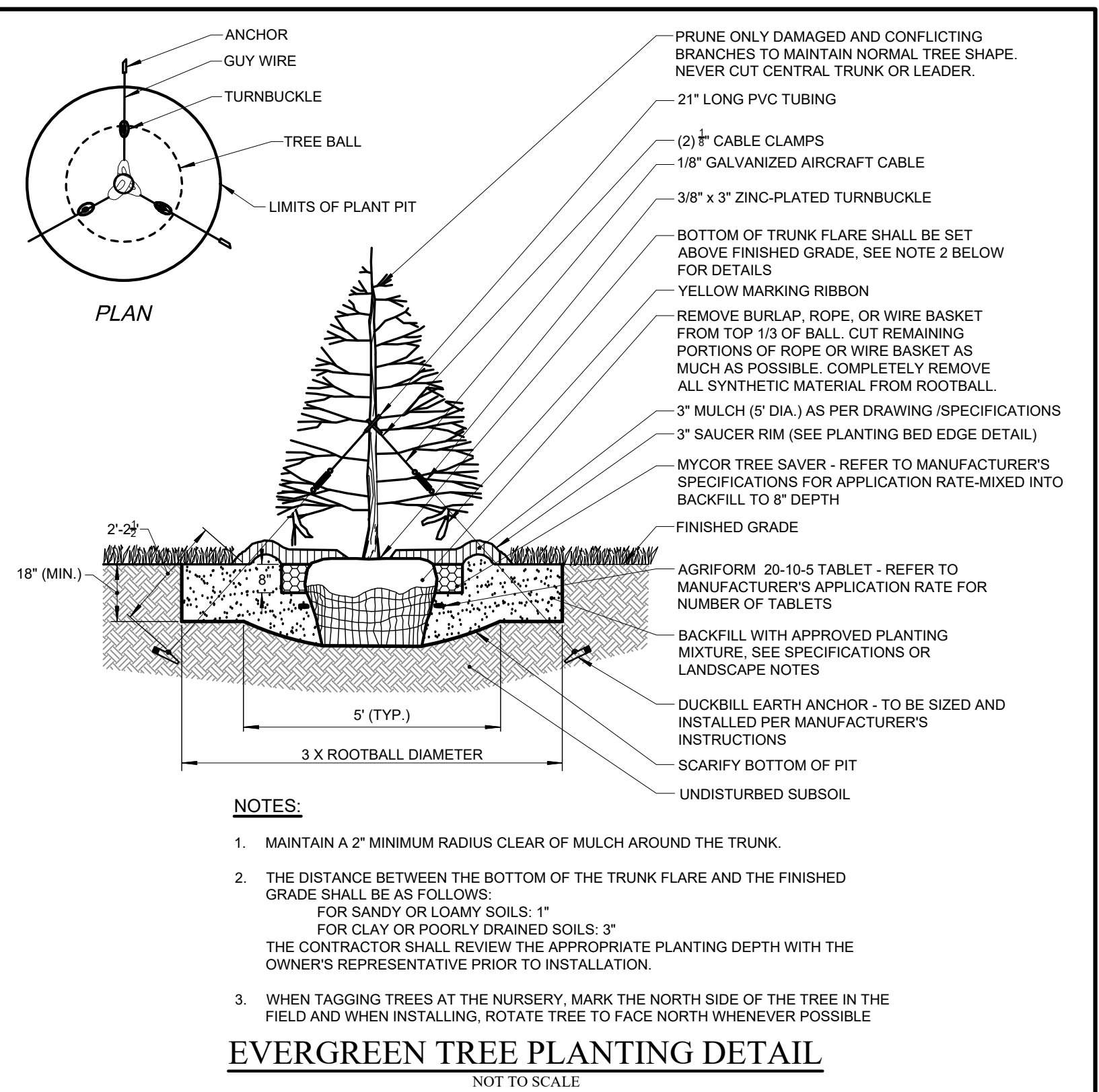
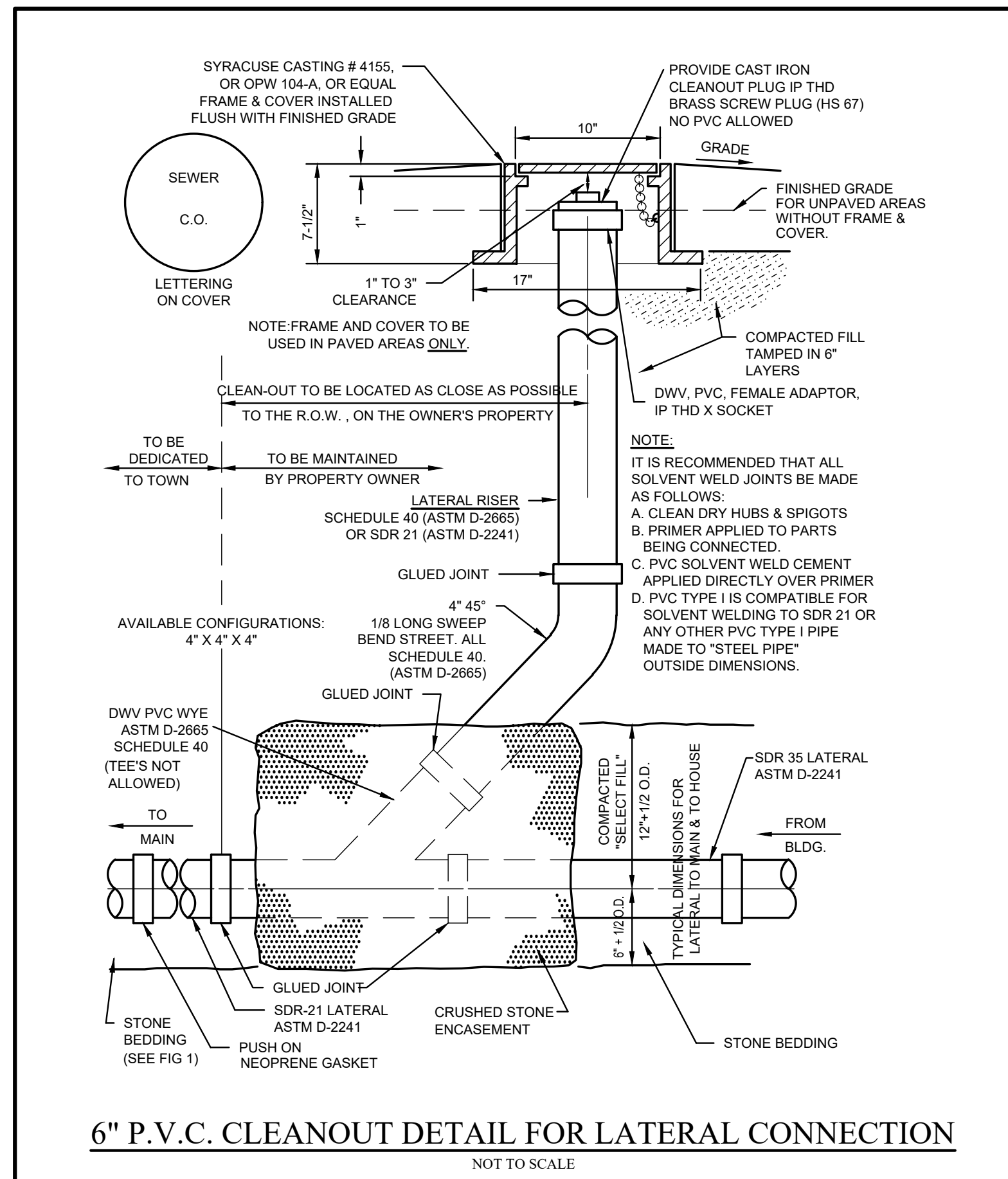
PROJECT NUMBER: M.P.M.
DRAWING: D.L.L.
BOUNDARY: -
TOPGRAPH: -
DATE: 09/20/2023
SCALE: N.T.S.

STATE OF NEW YORK
LICENSED PROFESSIONAL ENGINEER
NO. 108618
EXPIRES 12/31/2024

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2	05/03/2024	REVISED PER CLIENT COMMENTS RECEIVED 04-26-24
1	03/06/2024	REVISED PER AISC REVIEW COMMENTS DATED 02/24/24
0	09/20/2023	ISSUED PRELIMINARY FOR REVIEW



The Broadway Group
Commercial Real Estate Development

PROJECT: NEW RETAIL STORE
BUFFALO ROAD & APPLE TREE AVENUE
EXISTING FEATURES/
DEMOLITION PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 14-1-58-211
TOWN LOTS 11 & 12, SECTION 6, TOWNSHIP 2, TRIANGLE TRACT,
TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT: THE BROADWAY GROUP
216 WESTSIDE SQUARE
HUNTSVILLE, ALABAMA 35891

DWG # 8828
CA 502
SHEET 1 OF 15

PROJECT ENGINEER: M.P.M.
BOUNDARY: D.L.L.
TOP/GRADE: -
DATE: 09/20/2023
SCALE: N.T.S.

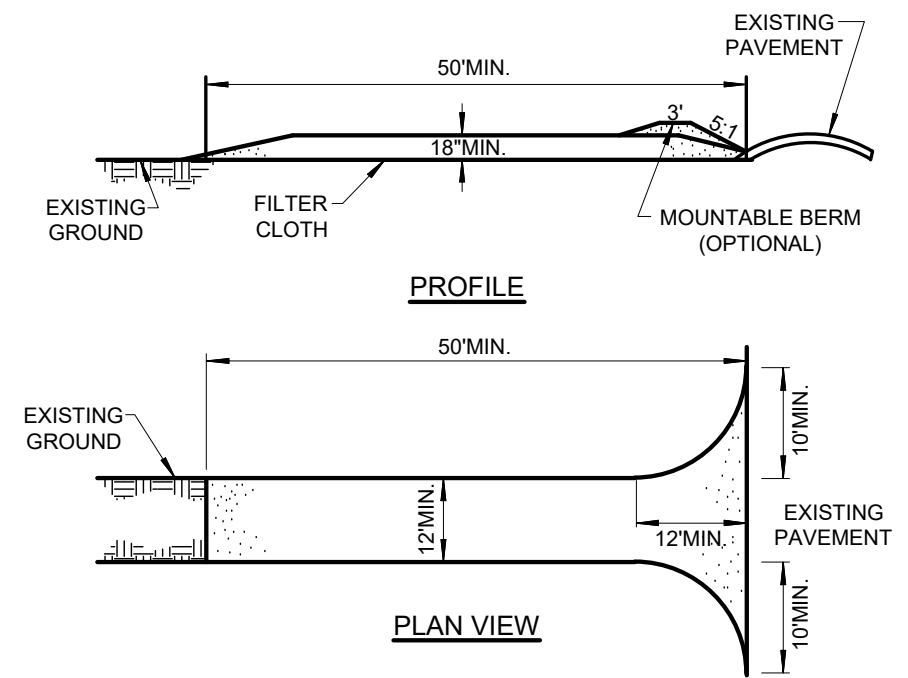
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ROCHESTER, NY 14608
(585) 456-3020

STATE OF NEW YORK
ENGINEER
NO. 026184
EXPIRES 12/31/2024

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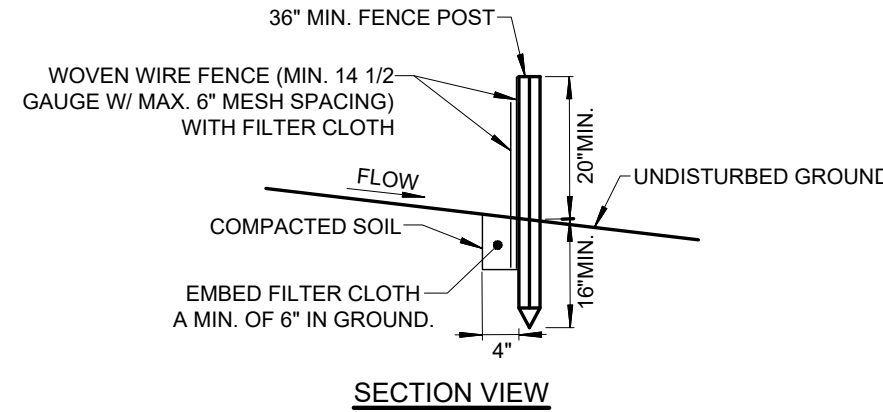
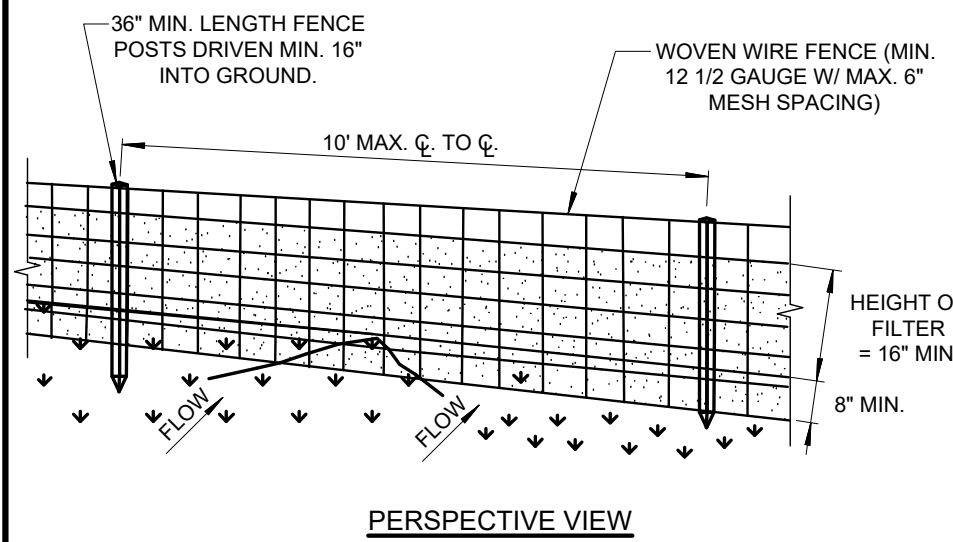
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2	05/03/2024	REVISED PER CLIENT COMMENTS RECEIVED 2024-04-29	D.J.L.	M.P.M.	
1	03/06/2024	REVISED PER URS REVIEW COMMENTS DATED 2024-03-31	D.J.L.	M.P.M.	
0	09/20/2023	ISSUED PRELIMINARY FOR REVIEW	D.J.L.	M.P.M.	



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN EIGHTEEN (18) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

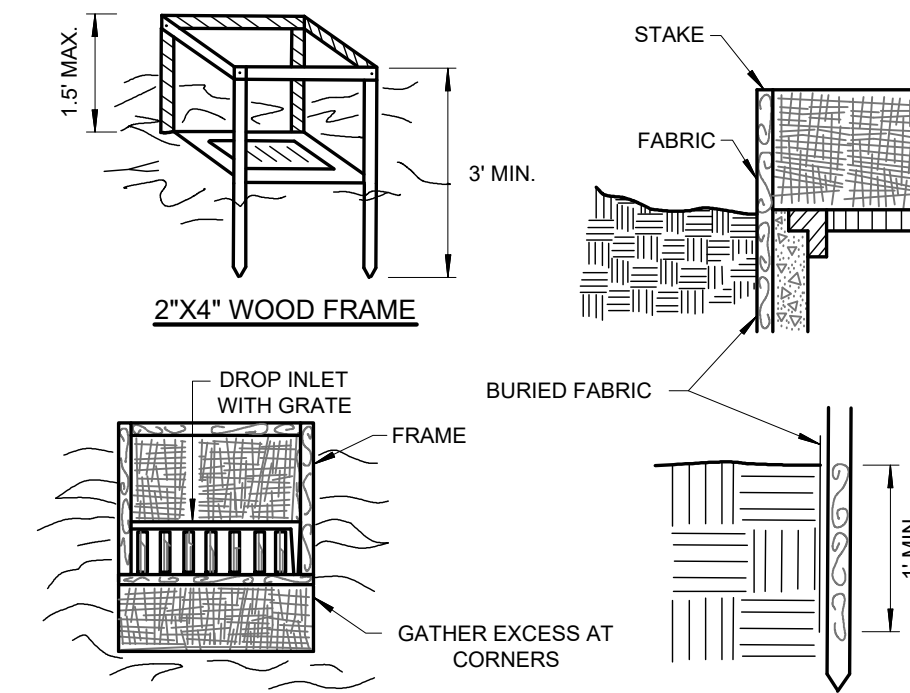
NOTE: ALL EROSION CONTROL MEASURES SHALL BE DESIGNED, INSTALLED AND MAINTAINED PER THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



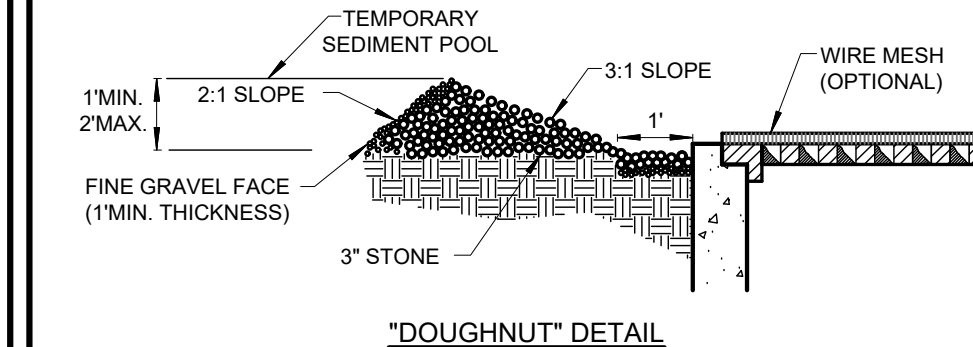
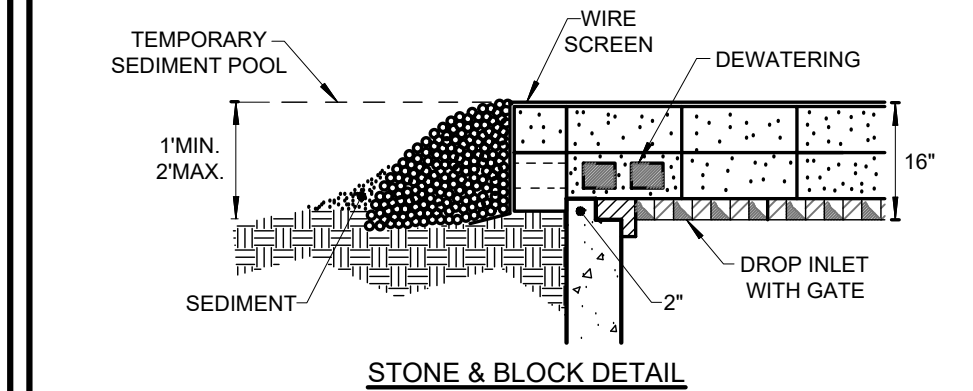
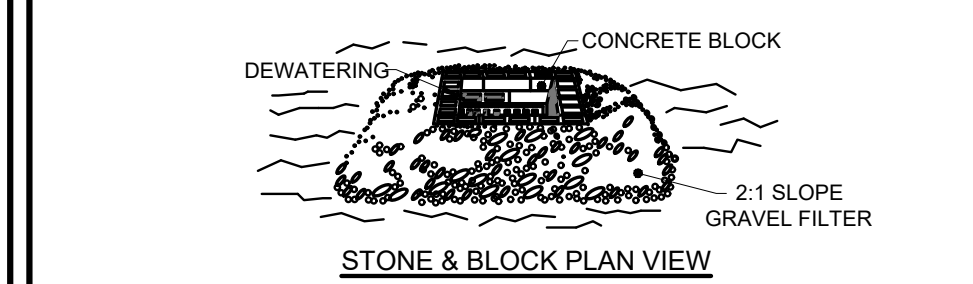
- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

SILT FENCE DETAIL
NOT TO SCALE



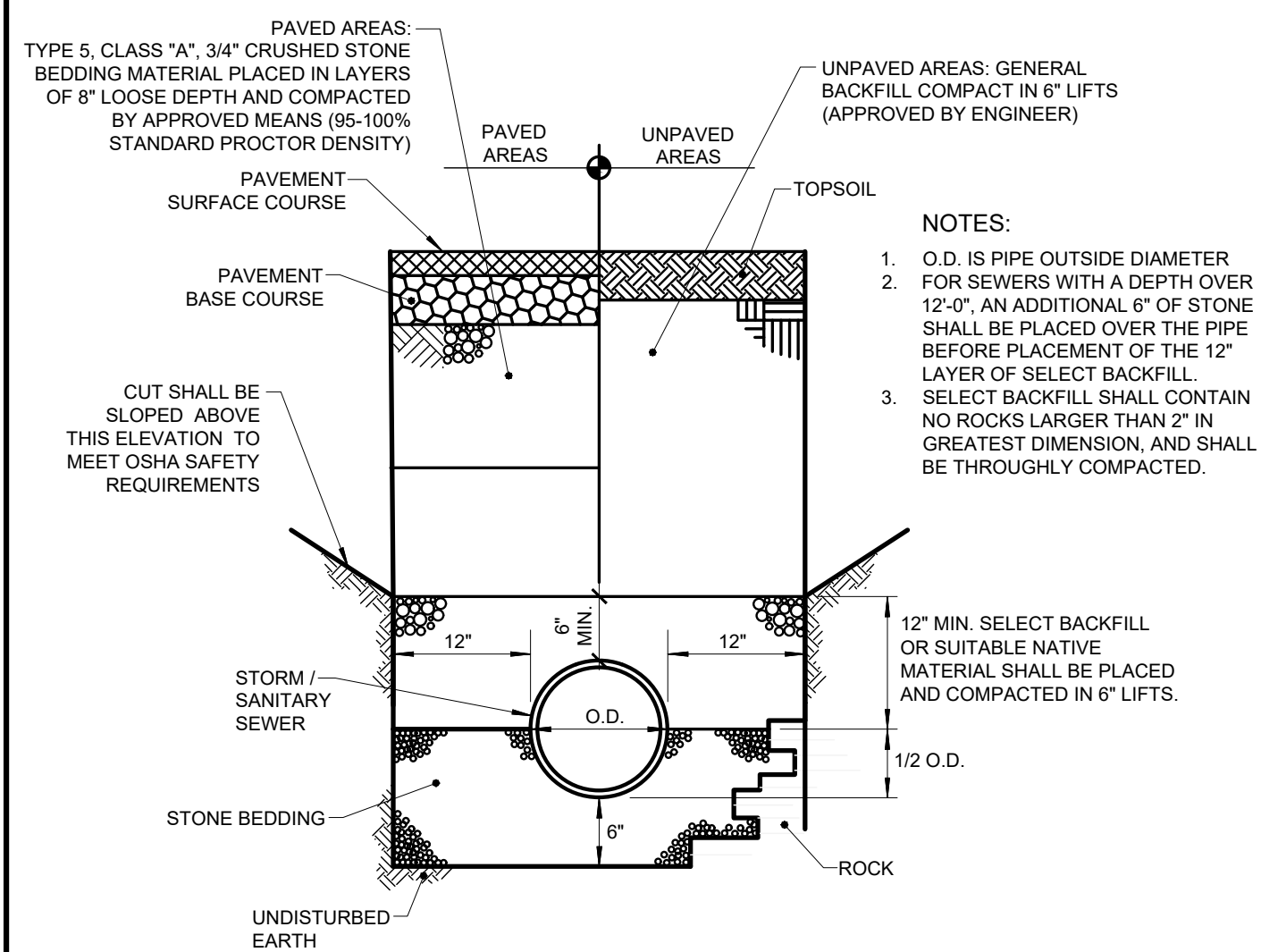
- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR 50% OF THE HEIGHT OF THE SILT FENCE IS COVERED.

FILTER FABRIC DROP INLET PROTECTION DETAIL
NOT TO SCALE

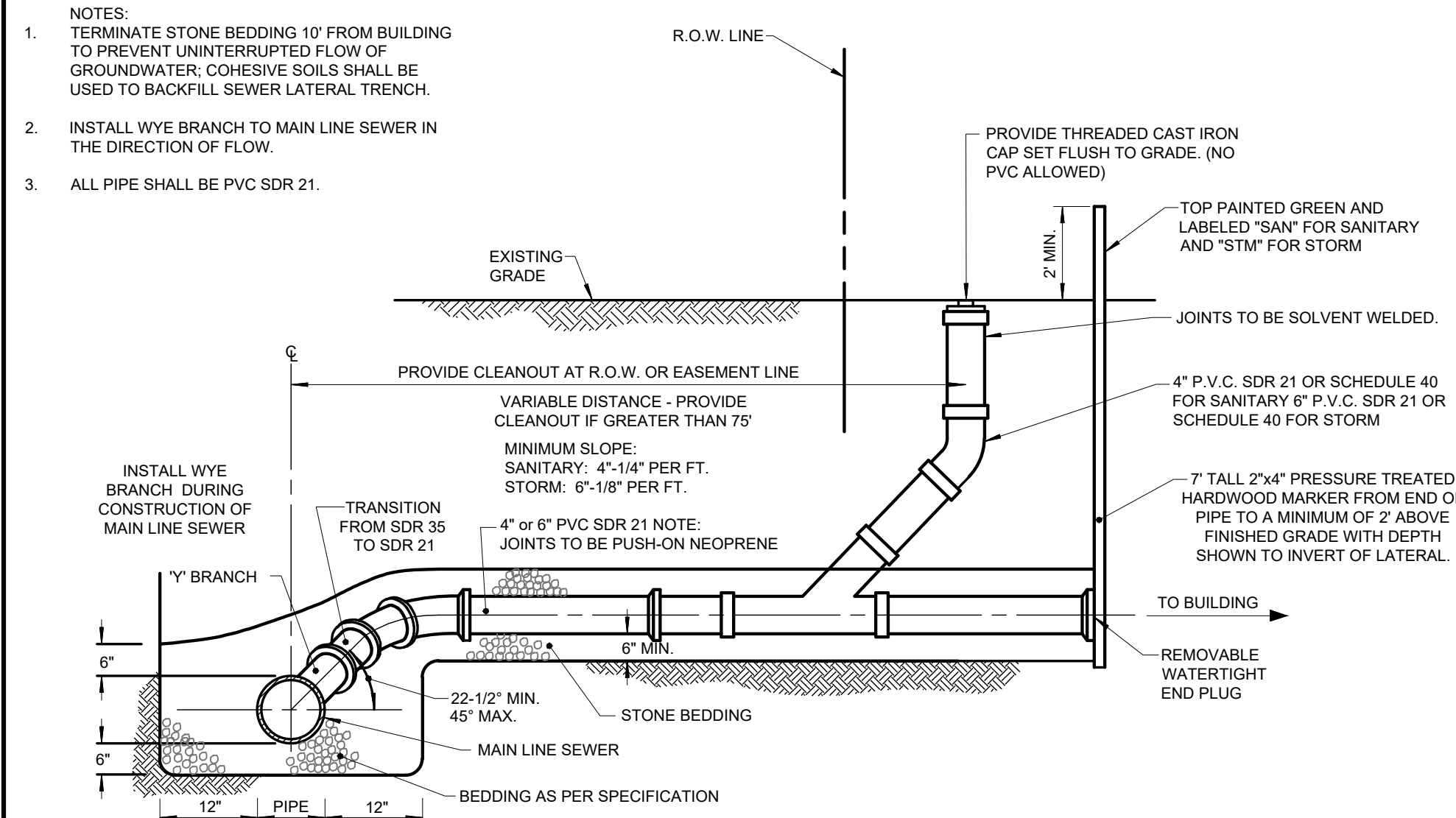


- CONSTRUCTION SPECIFICATIONS**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 12" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

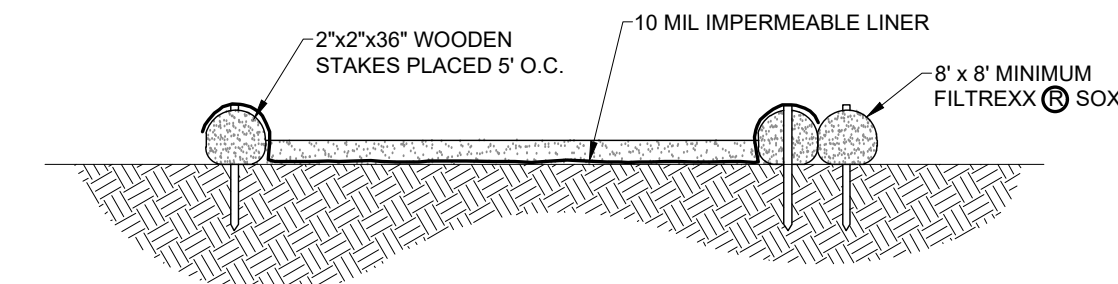
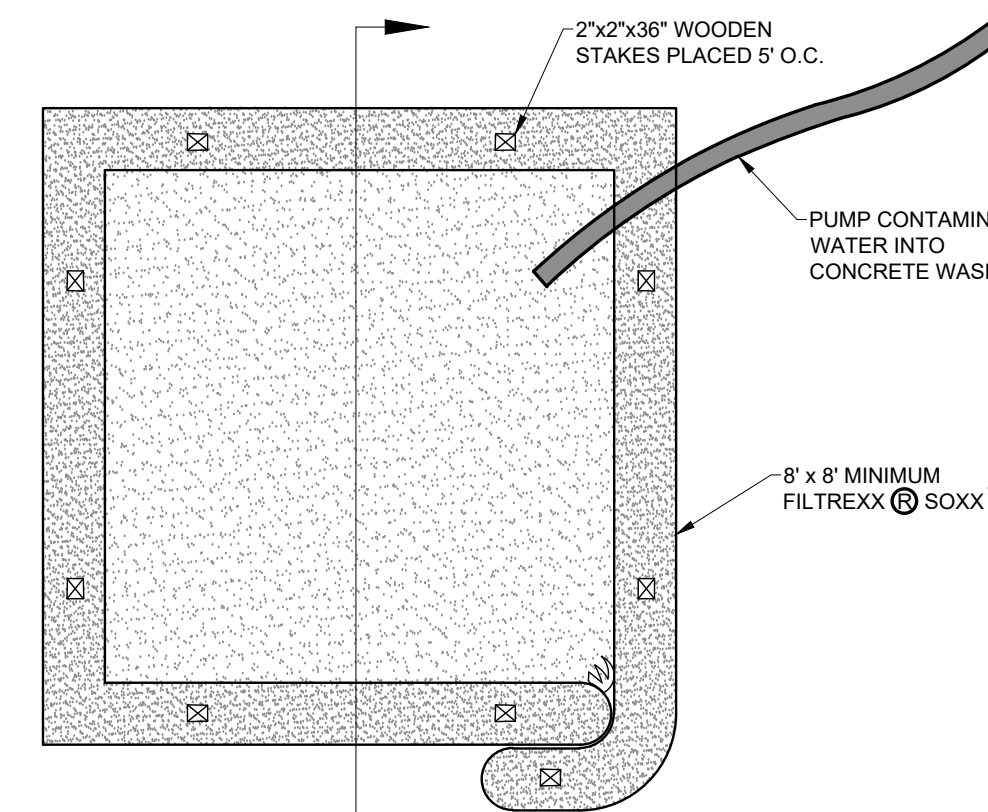
STONE AND BLOCK DROP INLET PROTECTION DETAIL
NOT TO SCALE



STORM AND SANITARY SEWER PIPE TRENCH DETAIL
NOT TO SCALE



STANDARD STORM/SANITARY SEWER LATERAL AND CLEANOUT DETAIL
NOT TO SCALE



CONCRETE WASHOUT DETAIL
NOT TO SCALE

- NOTES:**
- UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
 - CONCRETE WASHOUT SHALL BE LINED WITH 10 MIL THICK PLASTIC WHICH COVERS THE BOTTOM OF THE WASHOUT AND EXTENDS OVER THE TOP OF THE SIDES.
 - MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
 - WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
 - INSTALL ON FLAT GRADE NOT TO EXCEED 2%.
 - CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
 - CONCRETE WASHOUT MAY BE DIRECT SEDED AT THE TIME OF INSTALLATION.
 - THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED.
 - MINIMUM DIMENSIONS TO BE 8' (L) x 8' (W) x 2' (H)
 - LINER SHALL IS TO BE REPLACED EVERY TIME THE WASHOUT IS EMPTIED.
 - WASHOUT TO BE LOCATED 100' (MIN.) FROM EXISTING AND PROPOSED DRAINAGE

The Broadway Group
Commercial Real Estate Development

PROJECT: NEW RETAIL STORE
ADDRESS: BUFFALO ROAD & APPLE TREE AVENUE
TITLE OF DRAWING: EXISTING FEATURES/DEMOLITION PLAN
LOCATION OF PROJECT: TAX PARCEL NO. 134-58-211
TOWN LOTS 11 & 12, SECTION 6, TOWNSHIP 2, TRIANGLE TRACT, TOWN OF BERGEN, COUNTY OF GENESEE, STATE OF NEW YORK
CLIENT: THE BROADWAY GROUP
DWG. # 8828
CA 503
SHEET 1 OF 15

CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
PHONE: 716.656.3020
FAX: 716.656.3020

COSTICH ENGINEERING

PROJECT NUMBER: M.P.M.
DRAWING: D.L.L.
BOUNDARY: -
TOPOGRA: -
DATE: 09/20/2023
SCALE: N.T.S.

STATE OF NEW YORK
SEAL OF THE ENGINEER
COSTICH ENGINEERING, D.P.C.
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NO.	DATE	REVISION
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GENERAL NOTES

THE ESCAPE FOR SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OR EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEICE DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND LIMITED DURATIONS, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED.

SEDIMENT SHALL NO BE WASHED INTO INLETS. IT SHALL BE REMOVED AND DISPOSED/STABILIZED SO THAT IT WILL NOT ENTER INLETS.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING THE CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS RECREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE AS SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. AS THEY ARE RELOCATED, ANY DEFECTIVE MATERIALS IN THE BARRIER SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.

CUT AND FILL SLOPES ARE NOT TO EXCEED 2:1 H: V.

INLET STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED.

CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN.

ALL DRAINAGE SWALES SHALL BE STABILIZED AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATION COVER AS SOON AS FINAL GRADE IS ACHIEVED.

GENERAL GOUNDKEEPING NOTES:

THE MATERIAL STAGING AREA SHOULD BE LOCATED AWAY FROM VEHICULAR TRAFFIC, NEAR THE CONSTRUCTION ENTRANCE, AND AWAY FROM WATERWAYS OR STORM DRAINS.

ALL MATERIALS STORED ON-SITE SHOULD BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND UNDER A ROOF OR OTHER ENCLOSURE, OR COVERED FOR PROTECTION FROM PRECIPITATION.

AN EFFORT SHOULD BE MADE TO STORE ONLY ENOUGH PRODUCTS TO DO THE JOB.

PRODUCTS SHOULD BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL. A LIST OF MATERIALS SHOULD BE COMPILED FOR ITEMS THAT WILL BE STORED ON-SITE DURING CONSTRUCTION ALONG WITH APPROPRIATE MATERIAL SAFETY DATA SHEETS. WHENEVER POSSIBLE, ALL OF A PRODUCT SHOULD BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL MUST BE FOLLOWED (SEE MATERIAL SAFETY DATA SHEET).

THE SITE SUPERINTENDENT MUST INSPECT DAILY TO ENSURE PROPER USAGE, STORAGE AND DISPOSAL OF MATERIALS.

FERTILIZERS NEED TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.

ALL PAINT CONTAINERS NEED TO BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DUMPED INTO THE STORM SEWER SYSTEM BUT SHOULD BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS IN ACCORDANCE WITH FEDERAL AND STATE LAW.

THE SITE SHOULD BE KEPT CLEAN AND WELL GROOMED (TRASH PICKED UP REGULARLY, WEEDS MOWED AND SIGNS MAINTAINED).

OFFSITE FUGITIVE SPRAY FROM DUST CONTROL, SAND BLASTING AND PRESSURE WASHING MUST BE MINIMIZED TO THE EXTENT POSSIBLE.

LOCATE ACTIVITIES THAT GENERATE ODORS AND NOISE AS FAR FROM SURROUNDING PROPERTIES AS POSSIBLE (INCLUDING PORTABLE TOILETS, BURN SITES, FUELING AREAS, EQUIPMENT REPAIR AREAS AND DUMPSTERS).

SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

SOIL PREVENTION, CONTROL AND MAGAMENT NOTES:

1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP NEED TO BE CLEARLY POSTED AND SITE PERSONNEL NEED TO BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. REFER TO MATERIAL SAFETY DATA SHEETS.

2. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP NEEDS TO BE KEPT IN THE MATERIAL STORAGE AREA IN-SITE. EQUIPMENT AND MATERIALS INCLUDED, BUT ARE NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS GLOVES, GOGGLES, ABSORBENT CLAY (KITTY LITTER), SAND, SAWDUST, ABSORBENT MATS, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

3. ALL SPILLS NEED TO BE CLEANED UP IMMEDIATELY AFTER DISCOVERY AND PROPERLY CONTAINERIZED FOR PROPER DISPOSAL. BURIAL IS NOT ACCEPTABLE.

4. THE SPILL AREA MUST BE KEPT VENTILATED AND PERSONNEL NEED TO WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

5. SPILLS OF TOXIC OR HAZARDOUS MATERIAL MUST BE REPORTED IMMEDIATELY TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

6. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON THE SURFACE) OR OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER AND ADEM SHALL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS GREATER THAN 25 GALLONS WITH NO SURFACE WATER IMPACTS, ADEM SHALL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS THE SPILL SHALL BE CLEANED UP AND LOCAL AGENCIES CONTACTED AS REQUIRED.

NATIONAL RESPONSE CENTER (800) 424-8902
 NYSDEC STORMWATER MANAGEMENT BRANCH (334) 271-7700
 NYSDEC EMERGENCY RESPONSE AFTER-HOURS (800) 843-0699

SPILL PREVENTION AND MATERIAL MANAGEMENT PRACTICES:

PETROLEUM PRODUCTS

ALL VEHICLES KEPT ON THE SITE NEED TO BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHOULD BE STORED IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. IF PETROLEUM PRODUCTS ARE STORED ON SITE, A SECONDARY CONTAINMENT FACILITY WILL BE REQUIRED IF THE CUMULATIVE STORAGE CAPACITY OF ALL TANKS, GREATER THAN 55 GALLONS, AT THE SITE EXCEEDS 1,320 GALLONS. ANY ASPHALT SUBSTANCES USED ON-SITE SHOULD BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FUELING & SERVICES

NO FUELING, SERVICING, MAINTENANCE, OR REPAIR OF EQUIPMENT OR MACHINERY SHOULD BE DONE WITHIN 50 FEET OF A STREAM, OR WITHIN 100 FEET OF A STREAM CLASSIFIED FOR PUBLIC WATER SUPPLY (PWS) OR OUTSTANDING NEW YORK WATER (ONW), OR DESIGNATED AS AN OUTSTANDING NATIONAL RESOURCE WATER (ONRW), OR A SINKHOLE.

DISPOSAL OF OIL

NO FUELS, OIL, LUBRICANTS, SOLVENTS, OR OTHER HAZARDOUS MATERIALS CAN BE DISPOSED OF ON THE SITE. ALL HAZARDOUS MATERIAL MUST BE PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE LAW.

TRASH/SOLID WASTE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL SOLID WASTE FROM THE SITE IN ACCORDANCE WITH STATE LAW. DUMPSTERS OR OTHER COLLECTION FACILITIES MUST BE PROVIDED AS NEEDED. SOLID WASTE MAY NOT BE BURIED ON THE SITE.

SANITARY WASTE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SANITARY FACILITIES ON THE SITE. PORTABLE TOILETS ARE TO BE LOCATED ON LEVEL GROUND, AWAY FROM DRAINAGE INLETS OR FEATURES, AND SERVICED BY A LICENSED PROVIDER.

OTHER DISCHARGES

FLOWS FROM THE FOLLOWING NON-STORMWATER DISCHARGES ARE TO BE DIRECTED TO ONSITE BMP'S:

- FIRE HYDRANT FLUSHINGS
- WATER USED TO CONTROL DUST
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHINGS NOT ASSOCIATED WITH HYDROSTATIC TESTING
- ROUTINE EXTERNAL BUILDING WASH DOWN ASSOCIATED WITH CONSTRUCTION THAT DOES NOT USE DETERGENTS
- PAVEMENT WASH WATERS WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIAL HAS NOT OCCURRED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND WHERE DETERGENTS ARE NOT USED
- UN CONTAMINATED GROUND WATER OR SPRING WATER
- FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS
- LANDSCAPE IRRIGATION

THESE DISCHARGE ARE AUTHORIZED PROVIDED THE NON-STORMWATER COMPONENT OF THE DISCHARGE IS IN COMPLIANCE WITH PART X.X.(X) OF THE NEW YORK GENERAL CONSTRUCTION PERMIT.

POTENTIAL NONSEDIMENT SOURCES OF POLLUTION		
TRADE NAME MATERIAL	POTENTIAL KNOWN STORMWATER POLUTANTS	LOCATION
PESTICIDES	CHLORINATED HYDROCARBONS, ORGANOPHOSPHATES, CARBAMATES, ARSENIC	USED FOR NOXIOUS WEED CONTROL
FERTILIZER	NITROGEN, PHOSPHORUS	NEWLY SEEDED/SODDED AREAS
PLASTER	CALCIUM SULPHATE, CALCIUM CARBONATE, SULFURIC ACID	BUILDING CONSTRUCTION
CLEANING SOLVENTS	PERCHLORETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, PETROLEUM DISTILLATES	NO EQUIPMENT CLEANING WITH SOLVENTS ALLOWED IN PROJECT LIMITS
ASPHALT	OIL, PETROLEUM DISTILLATES	STREETS/PARKING AND ROOFING
CONCRETE	LIMESTONE, SAND, PH, CHROMIUM	PARKING AREA, BUILDING CONSTRUCTION
GLUE/ADHESIVES	POLYMERS, EPOXIES	BUILDING CONSTRUCTION
PAINTS	METAL OXIDES, STODDARD SOLVENT, TALC, CALCIUM CARBONATE, ARSENIC	BUILDING CONSTRUCTION
CURING COMPOUNDS	NAPHTHA	PARKING, BUILDING CONSTRUCTION
HYDRAULIC OIL/ FLUIDS	MINERAL OIL	LEAKS OR BROKEN HOSES FROM EQUIPMENT
GASOLINE	BENZENE, ETHYL BENZENE, TOLUENE, XYLENE, MTBE	FUELING AREA
DIESEL FUEL	PETROLEUM DISTILLATE, OIL & GREASE, NAPHTHALENE, XYLENES	FUELING AREA
KEROSENE	COAL, OIL, PETROLEUM DISTILLATES	FUELING AREA
ANTIFREEZE/ COOLANT	ETHYLENE GLYCOL, PROPYLENE GLYCOL, HEAVY METALS (COPPER, LEAD, ZINC)	LEAKS OR BROKEN HOSES FROM EQUIPMENT
PORTABLE TOILET	BACTERIA, VIRUSES AND PARASITES	ONSITE

THESE MATERIALS AREA TYPICALLY BROUGHT TO SITE AS NEEDED AND NOT STORED. LOCATIONS GIVEN ABOVE ARE WHERE THESE MATERIALS ARE TYPICALLY USED.

INSPECTION SCHEDULE AND PROCEDURES:

DAILY OBSERVATIONS

EACH DAY THERE IS ACTIVITY AT THE SITE, PORTIONS OF THE SITE WHERE ACTIVE DISTURBANCE, WORK OR CONSTRUCTION OCCURRED SHALL BE VISUALLY OBSERVED FOR ANY APPARENT BMP DEFICIENCIES IN THE AREA OF ACTIVE DISTURBANCE. ALSO, ANY RAINFALL MEASUREMENTS OCCURRING SINCE THE PREVIOUS OBSERVATION SHALL BE NOTED. ALL OBSERVATIONS AND RAINFALL MEASUREMENTS SHALL BE LOGGED.

SITE INSPECTIONS

A COMPLETE AND COMPREHENSIVE OBSERVATION OF THE CONSTRUCTION SITE INCLUDING ALL AREAS OF LAND DISTURBANCE, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, AFFECTED DITCHES AND OTHER STORMWATER CONVEYANCES, AS WELL AS ALL OUTFALLS, RECEIVING WATERS AND STREAM BANKS IS TO BE PERFORMED TO DETERMINE IF, AND ENSURE THAT:

1. EFFECTIVE EROSION AND SEDIMENT CONTROLS HAVE BEEN FULLY IMPLEMENTED AND MAINTAINED.
2. POLLUTANT DISCHARGES HAVE BEEN PREVENTED/MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE, AND
3. DISCHARGES DO NOT RESULT IN A CONTRAVENTION OF APPLICABLE STATE WATER QUALITY STANDARDS FOR THE RECEIVING WATERS.

SITE INSPECTION SHALL BE PERFORMED ONCE EACH MONTH AND AFTER ANY QUALIFYING PRECIPITATION EVENT (3/4" OR GREATER IN A 24-HR. PERIOD) AS SOON AS POSSIBLE BUT NO LATER THAN 24 HOURS AFTER RESUMING OR CONTINUING ACTIVE CONSTRUCTION OR DISTURBANCE, AND INSPECTIONS SHALL ALSO BE PREFORMED AS OFTEN AS IS NECESSARY UNTIL ANY POORLY FUNCTIONING EROSION AND SEDIMENT CONTROLS, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING A PRIOR INSPECTION ARE CORRECTED AND DOCUMENTED AS BEING IN COMPLIANCE. A SITE INSPECTION IS TO BE PERFORMED BY A QCP ONCE EVERY 6 MONTHS AFTER CONSTRUCTION HAS COMMENCED. SITE INSPECTIONS SHALL BE RECORDED ON ADEM FORM 23"ADEM NPDES CERTIFICATION."

CORRECTIVE ACTION REQUIREMENTS

POORLY FUNCTIONING BMP'S, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING MONTHLY OR PRECIPITATION EVENT INSPECTIONS WILL BE CORRECTED AS SOON AS POSSIBLE. REPAIRS, REPLACEMENT, AND MAINTENANCE WILL BE IMPLEMENTED WITH FIVE DAYS OF THE INSPECTION, UNLESS PREVENTED BY UNSAFE CONDITIONS. TEMPORARY CONTAINMENT MEASURES WILL BE EMPLOYED IN THE EVENT OF A BREACH OF A SEDIMENT BASIN OR PERIMETER FOLLOWING THE INSPECTION. PERMANENT CORRECTIVE MEASURES WILL BE IMPLEMENTED WITHIN FIVE DAYS FOLLOWING THE INSPECTION. THE OPERATOR MUST CONTACT ADEM IF THE MEASURES CANNOT BE IMPLEMENTED WITHIN THE TIME ALLOWED.

IF THERE IS A BMP DEFICIENCY/FAILURE OR NON-COMPLIANT DISCHARGE THAT CAUSES OR CONTRIBUTES TO A VIOLATION OF APPLICABLE WATER QUALITY STANDARDS, THE OPERATOR IS REQUIRED TO VISUALLY MONITOR AND NOTIFY ADEM WITHIN 24 HOURS OF BECOMING AWARE OF SUCH DISCHARGE. THE OPERATOR SHALL COMPLETE AND SUBMIT ADEM FORM 25 "ADEM NPDES CONSTRUCTION STORMWATER NONCOMPLIANCE NOTIFICATION REPORT" WITH SUPPORTING DOCUMENTATION TO ADEM WITHIN 5 DAYS OF BECOMING AWARE OF SUCH DISCHARGE.

IN THE EVENT THAT POLLUTANTS ARE DEPOSITED OFF-SITE OR IN A WATERBODY OR STORMWATER CONVEYANCE, THE OPERATOR WILL TAKE ALL REASONABLE STEPS TO REMOVE, TO THE MAXIMUM EXTENT PRACTICAL, THE POLLUTANT:

1. RECOVERED POLLUTANTS IN THE FORM OF PETROLEUM, CONSTRUCTION DEBRIS, OR HOUSEHOLD RUBBISH WILL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH FEDERAL AND STATE LAW.
2. RECOVERED POLLUTANTS IN THE FORM OF SEDIMENT ARE TO BE REMOVED AND SPREAD ON-SITE IN DISTURBED AREAS NOT PERMANENTLY STABILIZED, OR DISPOSED OF WITH THE SOLID WASTE IN OFF-SITE SEDIMENT REMOVAL ARE TO BE PERMANENTLY STABILIZED ONCE REMOVAL IS COMPLETE.

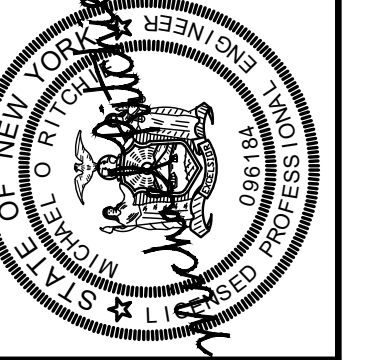


TITLE OF PROJECT: NEW RETAIL STORE
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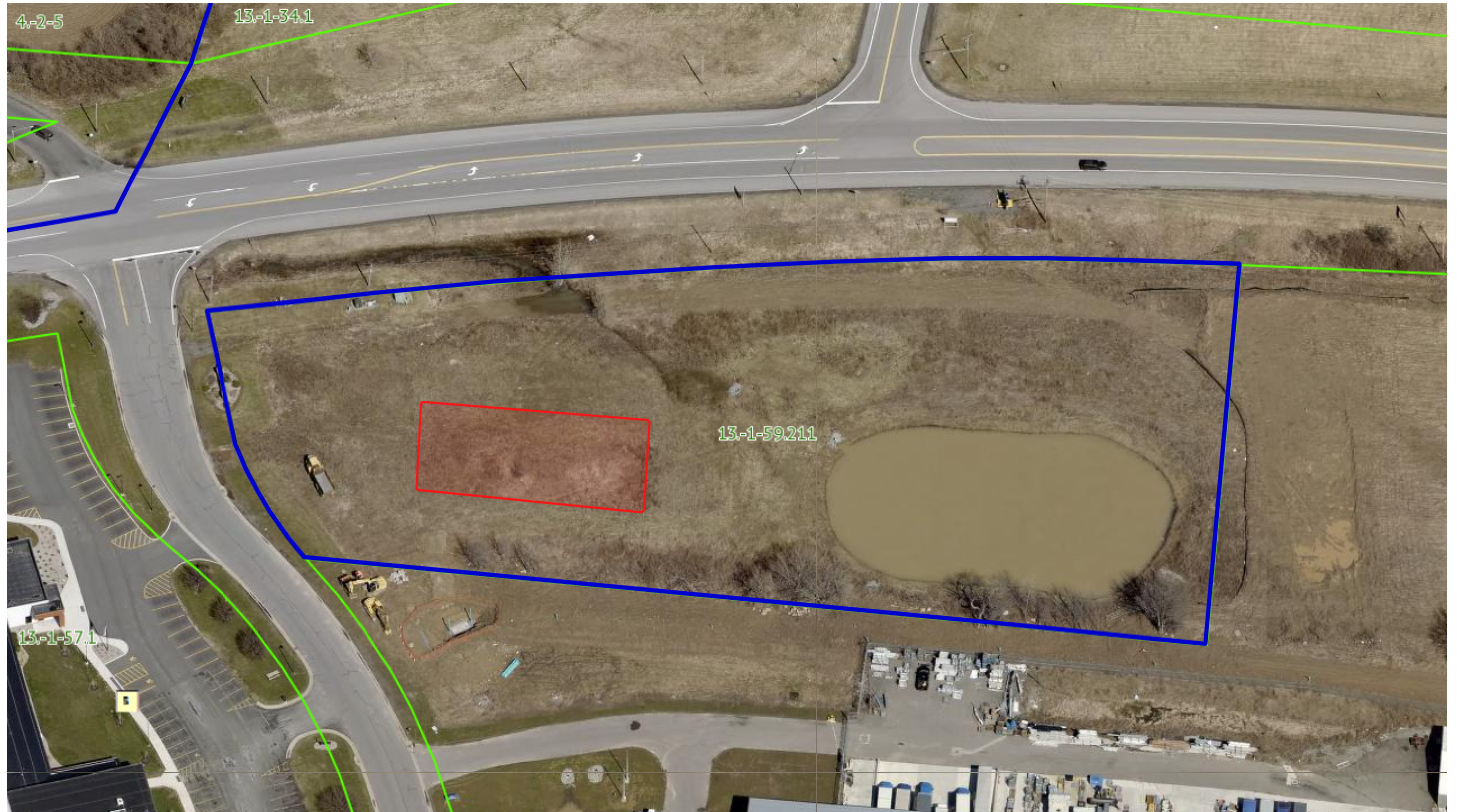
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TRAVELWAY	D.L.L.
BOUNDARY	-
TOPOGRAPE	-
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T-04-BER-07-24



04/02/2023