



# GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **T-01-LEROY-2-22**  
Review Date **2/10/2022**

Municipality	<b>LEROY, T.</b>
Board Name	<b>PLANNING BOARD</b>
Applicant's Name	<b>Jeff Cook, NYS Rt. 5 SelfStorage, LLC</b>
Referral Type	<b>Special Use Permit</b>
Variance(s)	
Description:	<b>Special Use Permit and Site Plan Review to construct four additional 6,000 sq. ft. (30 x 200 ft.) storage buildings at an existing self-storage facility.</b>
Location	<b>7054 W. Main Rd. (NYS Rt. 5), LeRoy</b>
Zoning District	<b>Industrial (I-1) District</b>

## PLANNING BOARD DECISION

**APPROVAL WITH MODIFICATION(S)**

## EXPLANATION:

The required modifications are as follows: 1) Given that the project will disturb more than one acre of land, the applicant completes a Stormwater Pollution Prevention Plan (SWPPP) and obtains a Stormwater Permit for Construction Activity from DEC prior to final approval from the Town; and 2) Given that the Short Environmental Assessment Form (EAF) states that the project is located in an archaeological sensitive area, the applicant obtain documentation from the State Historic Preservation Office (SHPO) as to the project's impacts on archaeological resources. With these required modifications, the proposed additions to this self-storage facility should pose no significant county-wide or inter-community impact.

Director

February 10, 2022

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) , 9!+ \$%

**Clear Form**

**DEPARTMENT USE ONLY:**

GCDP Referral # T-01-LEROY-2-22



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

RECEIVED  
Genesee County  
Dept. of Planning  
01/12/2022

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) LeRoy Planning Board  
Address 48 Main St.  
City, State, Zip LeRoy, New York 14482  
Phone (585) 768 - 6910 Ext. 223

**2. APPLICANT INFORMATION**

Name Jeff Cook, NYS Rt. 5 SelfStorage, LLC  
Address 90 Airpark Drive, Suite 400  
City, State, Zip Rochester, New York 14624  
Phone (585) 233 - 4699 Ext. \_\_\_\_\_ Email jeffcook@cookpropertiesny.

MUNICIPALITY:  City  Town  Village of LeRoy

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |                                      |
|--|--|--------------------------------------|
| <input type="checkbox"/> Area Variance                 | <input type="checkbox"/> Zoning Map Change         | Subdivision Proposal                 |
| <input type="checkbox"/> Use Variance                  | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final       |
| <input checked="" type="checkbox"/> Site Plan Review   | <input type="checkbox"/> Other: _____              |                                      |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 7054 West Main Rd. (NYS Rt. 5), LeRoy  
B. Nearest intersecting road Keeney Road  
C. Tax Map Parcel Number 29.-1-12.2  
D. Total area of the property 7 acres Area of property to be disturbed 2 acres  
E. Present zoning district(s) I-1

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_  
B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
165-20, Section C, number 5  
C. Please describe the nature of this request There are currently eight storage units in zone C-2 and one unit within the I-1, property owner wants to build four additional units on land zoned I-1.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Local application      | <input type="checkbox"/> Zoning text/map amendments             | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan   | <input type="checkbox"/> Location map or tax maps               | <input type="checkbox"/> Photos                            |
| <input type="checkbox"/> Subdivision plot plans | <input type="checkbox"/> Elevation drawings                     | <input type="checkbox"/> Other: _____                      |
| <input checked="" type="checkbox"/> SEQR forms  | <input checked="" type="checkbox"/> Agricultural data statement |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Anne Podolak Title CEO Phone (585) 768 - 6910 Ext. 225  
Address, City, State, Zip 48 Main St LeRoy, NY 14482 Email apodolak.code@leroyny.org

# Town of LeRoy

James R. Farnholz  
Supervisor

Patricia A. Canfield  
Town Clerk/Tax Collector

Darryl Sehm  
John Duyssen  
Town Justices



Dave Paddock  
Deputy Supervisor

John Armitage  
John Johnson  
Ron Pangrazio  
Town Council

Eric Stauffer  
Supt. of Highways

## APPLICATION FOR SITE PLAN REVIEW

### PROPERTY INFORMATION

ADDRESS: 7054 West Main Road  
ZONING CLASSIFICATION: C-2 + I-1 Tax Map ID # 29.00-1-12.2 + 29.00-1-12.12  
PRESENT USE OF PROPERTY: Commercial-self storage facility  
PROPOSED USE OF PROPERTY: Commercial-self storage-facility

**PROPOSAL DESCRIPTION** (Include # of employees, hours of operation, and description of business. If there is new construction, please provide a detailed description):

Construction of an additional four single story self storage buildings, stone pavements, and a stormwater pond within the existing Route 5 Storage facility.

### APPLICANT CONTACT INFORMATION NAME:

NAME: Jeff Cook - NYS R1 S Self Storage LLC PHONE: 585-233-4699  
ADDRESS: 90 Airpark Drive, Ste 400, Rochester, NY ZIP: 14624  
EMAIL: jeffcook@cookpropertiesny.com

### PROPERTY OWNER CONTACT INFORMATION (IF DIFFERENT FROM APPLICANT)

NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ ZIP: \_\_\_\_\_

SIGNATURE OF THE PROPERTY OWNER IS REQUIRED FOR REVIEW OF YOUR PROPOSAL:

\_\_\_\_\_

Application Fee 100.00

Code Enforcement Officer Signature: \_\_\_\_\_ Date rec'd. \_\_\_\_\_

Clerk's Signature: \_\_\_\_\_ Ck. No. \_\_\_\_\_

"This institution is an equal opportunity provider and employer. If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at [http://www.aphis.usda.gov/complains/civil\\_rights\\_form](http://www.aphis.usda.gov/complains/civil_rights_form), or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202)690-7442 or email at [program.intel@aphis.usda.gov](mailto:program.intel@aphis.usda.gov)."

TOWN/VILLAGE of LEROY  
Application

SPECIAL USE PERMIT

PERMIT # \_\_\_\_\_

Jeff Cook

*For office use only*

Applicant: NYS Rt 5 Self Storage LLC Date Received: \_\_\_\_\_

Address: 90 Airport Dr. Ste 400 Date advertised: \_\_\_\_\_

Rochester, NY 14624 Date of Hearing: \_\_\_\_\_

Phone # 585-233-4699

SBL # 29.00-1-12.2 + 29.00-1-12.12

Fee: \$250.00 (R+A Zones)

\$200.00 (all other zones)

Decision \_\_\_\_\_

I hereby apply for a Special Use to:

Expand the existing Route 5 Storage facility to include  
4 new self storage buildings in the I-1 Industrial District.

Reasons for proposed change of present status:

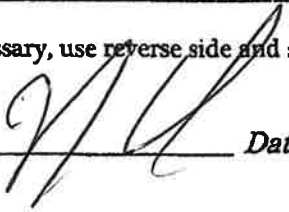
1] It is proposed to expand the existing Route 5 Storage facility.  
The parcel configuration allows no choice but to expand into  
the I-1 Industrial District.

2] \_\_\_\_\_

\_\_\_\_\_

If additional information is necessary, use reverse side and so indicate \_\_\_\_\_

Signature of Applicant: \_\_\_\_\_



Date: 1-10-22

Signature of CEO \_\_\_\_\_

Amt. Rec'd. \_\_\_\_\_ Ck. # \_\_\_\_\_ Date rec'd. \_\_\_\_\_

By \_\_\_\_\_ Town Clerk

**TOWN VILLAGE CITY OF** LEROY

Application # \_\_\_\_\_

**Agricultural Data Statement**

Date \_\_\_\_\_

**Instructions:** This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant	Owner if Different from Applicant
Name: <u>Jeff Cook, NYS Route 5 Self Storage LLC</u> Address: <u>90 Airport Dr, Ste 400</u> <u>Rochester, NY 14624</u>	Name: _____ Address: _____

1. Type of Application:  Special Use Permit;  Site Plan Approval;  Use Variance;  Subdivision Approval  
(circle one or more)

2. Description of proposed project: Construction of an additional four single story self storage buildings, stone pavements, and a stormwater pond within the existing Route 5 Storage facility.

3. Location of project: Address: 7054 West Main Road, Leroy, NY 14482  
Tax Map Number (TMP) 29.00-1-12.2 + 29.00-1-12.12

4. Is this parcel within an Agricultural District?  NO  YES (Check with your local assessor if you do not know)  
5. If YES, Agricultural District Number 3

6. Is this parcel actively farmed?  NO  YES

7. List all farm operations within 500 feet of your parcel. Attach additional sheets if necessary.

Name: <u>James Duyssen</u> Address: <u>West Main Road</u> <u>Leroy, NY 14482</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	Name: <u>Route 5 Storage LLC</u> Address: <u>West Main Road</u> <u>Leroy, NY 14482</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES
Name: <u>John Torrey</u> Address: <u>West Main Road</u> <u>Leroy, NY 14482</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	Name: <u>Route 5 Storage LLC</u> Address: <u>West Main Road</u> <u>Leroy, NY 14482</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES

[Signature]  
Signature of Applicant

\_\_\_\_\_  
Signature of Owner (if other than applicant)

Reviewed by: \_\_\_\_\_  
Signature of Municipal Official

\_\_\_\_\_  
Date

**NOTE TO REFERRAL AGENCY:** County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

# Short Environmental Assessment Form

## Part 1 - Project Information

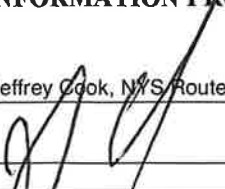
### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

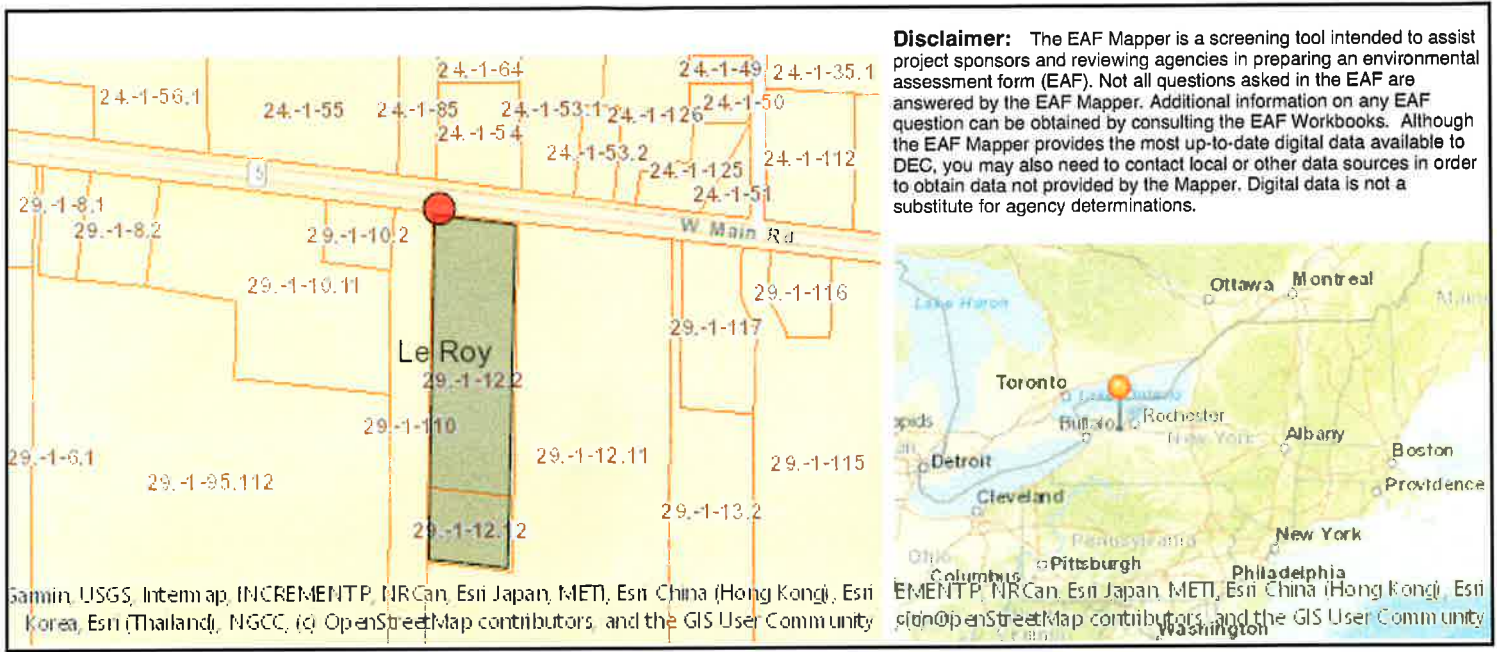
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Route 5 Storage Expansion			
Project Location (describe, and attach a location map): 7054 West Main Road, Town of Leroy, NY			
Brief Description of Proposed Action: Construction of an additional four single story self storage buildings, stone pavements, and a stormwater pond within the existing Route 5 Storage facility.			
Name of Applicant or Sponsor: Jeffrey Cook, NYS Route 5 Self Storage LLC		Telephone: 585-233-4699 E-Mail: jeffcook@cookpropertiesny.com	
Address: 90 Airpark Drive, Suite 400			
City/PO: Rochester		State: NY	Zip Code: 14624
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC SPDES permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		7.0 acres	
b. Total acreage to be physically disturbed?		2.2 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		7.0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ The self storage buildings will not be supplied with water. _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ The self storage buildings will not be supplied with wastewater facilities. _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?  If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:		
A 55,000 gallon stormwater pond is proposed to treat runoff from the proposed construction.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Jeffrey Cook, NYS Route 5 Self Storage LLC</u> Date: <u>1-10-22</u>		
Signature: <u></u> Title: <u>MGR</u>		





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

# ROUTE 5 STORAGE EXPANSION

## 7054 WEST MAIN ROAD TOWN OF LEROY GENESEE CO., NY

JANUARY 2022

### LEGEND

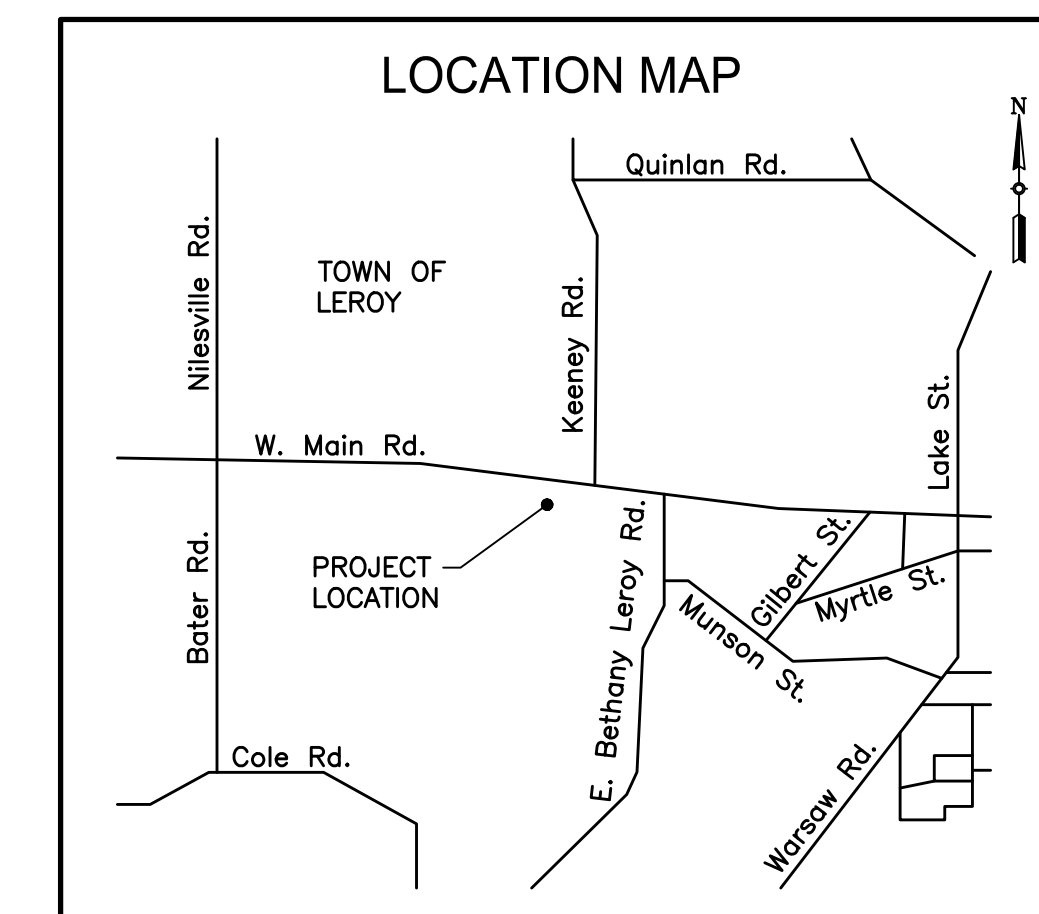
Existing	Proposed	
---	---	Property Line/R.O.W.
---	---	Centerline
--- 897 ---	---	Ground Contour
U.P.		Utility Pole
—OHW—		Overhead Wire
—UGE—	—	Underground Electric
—G—		Gas Main
—ST—		Storm Sewer/Culvert
o	•	Ballard
Hyd.		Hydrant
—W—		Water Main

### MAP AND SURVEY NOTES

1. These plans were prepared using a topographic survey map prepared by Welch & O'Donoghue Land Surveyors, P.C. provided for our use on November 24, 2021. Horizontal datum is NAD83. Vertical datum is NAVD88.

### GENERAL NOTES

- The plans show subsurface structures, above ground structures and/or utilities from field location and record mapping, exact location of which may vary from the locations indicated. In particular, the Contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be different from that shown or may not be shown and it is his responsibility to proceed with great care in executing any work. Call Dig Safely New York, telephone number 811, 48 hours before you dig, drill or blast.
- This property is not located within a 100-year flood plain (Zone C per FEMA Flood Insurance Rate Map Community—Panel No. 360280 0003 B, effective date September 14, 1979).
- This property does not contain federal or state wetland areas or the buffer to wetland areas.
- The Contractor shall locate, mark, safeguard, and preserve all survey control monuments in the areas of construction.
- This property is located within the Leroy Central School District.
- The property lines and right-of-way lines shown on the plans are for information only, and no warranty is made as to their correctness.
- The Contractor shall maintain in service all existing sewers, culverts, ditches, manholes, and catch basins during construction.
- Construction Stakeout: The Contractor is responsible for all construction stakeout as shown on the plans.
- Traffic shall be maintained throughout construction. Ingress and egress to driveways, parking lots, and service roads shall be continuously maintained throughout the period of construction.
- The Contractor shall take care to prevent damage to existing utilities. Damaged utilities shall be immediately repaired by the Contractor at the Contractor's expense.
- All proposed utilities and appurtenances shall be constructed in compliance with the local municipalities' codes and regulations governing the installation of such utilities.
- The Contractor shall be responsible for obtaining and incurring the cost of all required permits, inspections, certificates, etc. and shall comply with all required permits.
- All work shall be done in strict compliance with all applicable National, State, and local codes, standards, ordinances, rules, and regulations.
- Miscellaneous work not specifically shown on the contract drawings such as patching, blocking, trimming, etc. shall be performed as required to make the work complete.
- It is the Contractor's responsibility to examine all plan sheets and coordinate work with all other contracts for the site.
- The Engineer shall be notified in writing of any conditions that vary from those shown on the plans. The Contractor's work shall not vary from the plans without the expressed approval of the Engineer.
- The Contractor shall restore lawns, driveways, culverts, signs, and other public or private property damaged or removed to at least as good a condition as before being disturbed as determined by the Engineer. Any damaged trees, shrubs, and/or hedges shall be replaced at the Contractor's expense.
- Unsuitable material shall be removed from the site and properly disposed.
- At the time of completion and acceptance of the work, all areas disturbed by the Contractor's operations shall be finished, graded, topsoiled, and seeded per the specifications.
- All improvements shall be in accordance with the most recent standards and specifications of the Town of Leroy.
- All site lighting shall be in accordance with the most recent standards and specifications of the Town of Leroy.
- Buildings shall comply with the New York State Uniform Fire Prevention and Building Code.
- The Contractor shall designate a member of his or her firm to be responsible to monitor erosion control, erosion control structures, tree protection, and preservation throughout construction.



INDEX OF DRAWINGS		
SHEET NUMBER	DRAWING NUMBER	TITLE
1		COVER SHEET
2	S-1	SITE/UTILITY PLAN
3	S-2	GRADING, DRAINAGE, AND SOIL EROSION/SEDIMENT CONTROL PLAN
4	S-3	LIGHTING PLAN
5	D-1	MISCELLANEOUS DETAILS
6	D-2	STORMWATER MANAGEMENT DETAILS

### PROJECT INFORMATION

#### General Information

Owner/Developer: NYS Route 5 Self Storage LLC  
90 Airpark Drive, Suite 400  
Rochester, NY 14624

Property Address: 7054 W. Main Rd.

Property T.A.N.: 29.00-1-12.2  
29.00-1-12.12

Property Size: 6.998 acres to R.O.W. (combined area)

#### Zoning Information

District: C-2 General Commercial District (North portion of 7054 W. Main Rd.)  
I-1 Industrial District (remainder)

Permitted Use: Self Storage (permitted use in C-2 District, special permit use in I-1 District)

Zoning Regulations:	Required (C-2 District)	Required (I-1 District)	Proposed
Min. Lot Size:	40,000 s.f.	40,000 s.f.	no change
Min. Lot Width:	200'	200'	no change
Min. Front Setback:	75'	75'	no change
Min. Rear Setback:	35'	35'	32'-5"
Min. Side Setback:	12' (30' min. total)	15'	no change
Max. Building Height:	40' (Allowed)	50' (Allowed)	17'
Max. Coverage:	40% (Allowed)	40% (Allowed)	32%

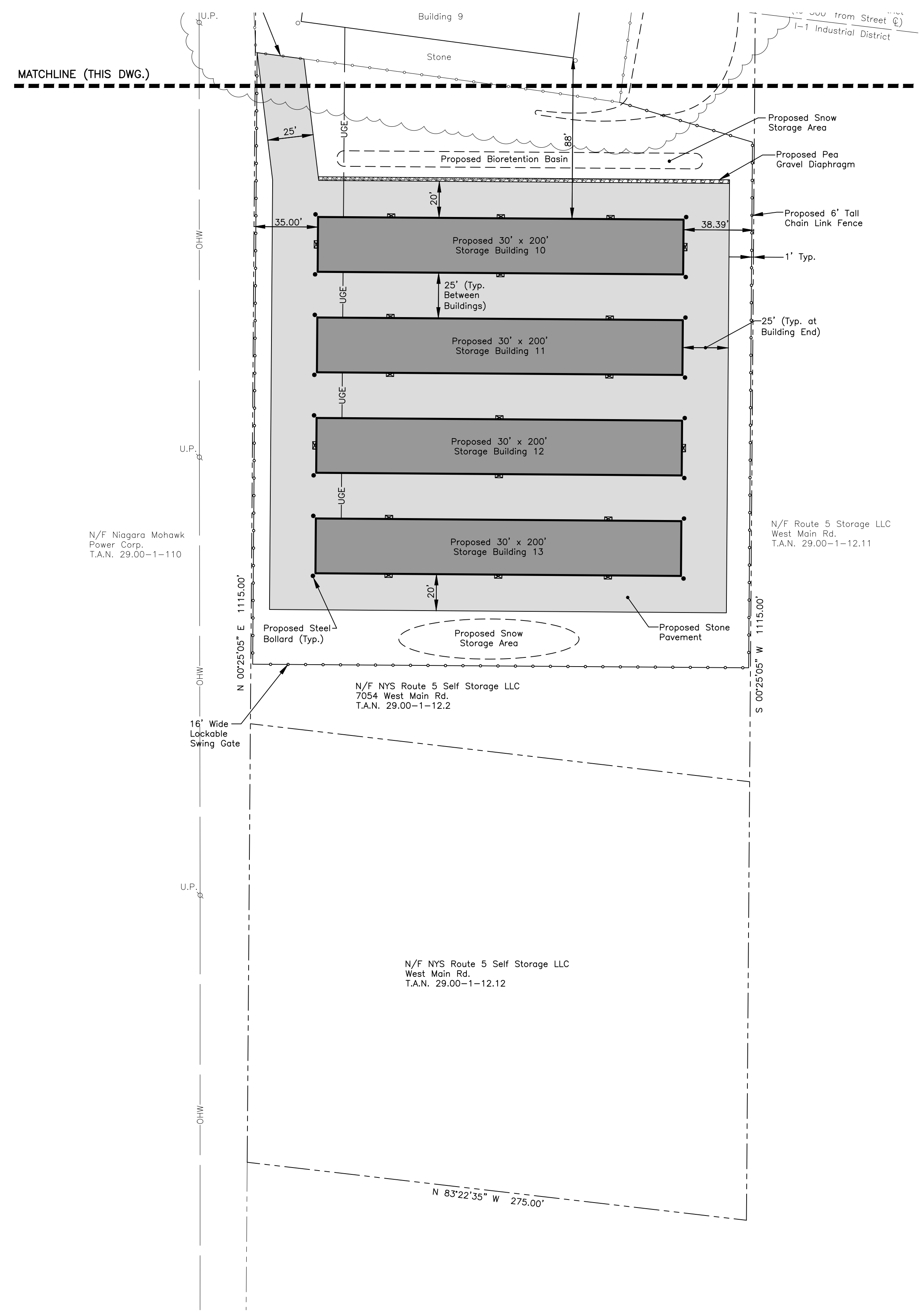
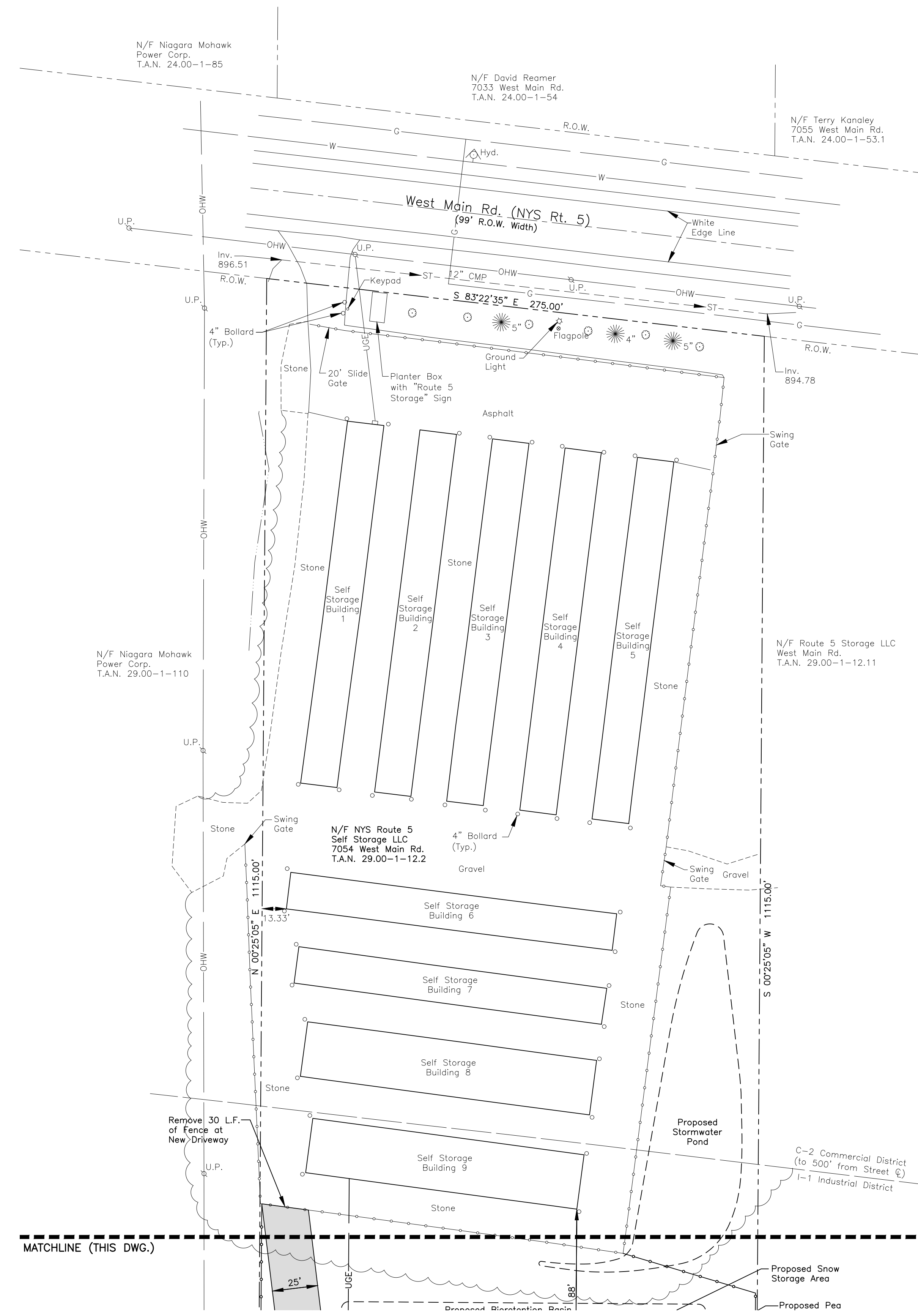


**THORNTON**  
ENGINEERING LLP  
30 Assembly Drive, Suite 106  
Mendon, New York 14506  
Tel. 585-624-4810  
Consultant Engineers

### APPROVALS

Planning Board Chairperson \_\_\_\_\_ Date \_\_\_\_\_

Town Engineer \_\_\_\_\_ Date \_\_\_\_\_



**SITE/UTILITY PLAN**  
 SCALE: 1" = 40'  
 SCALE (FEET)

**APPROVALS**

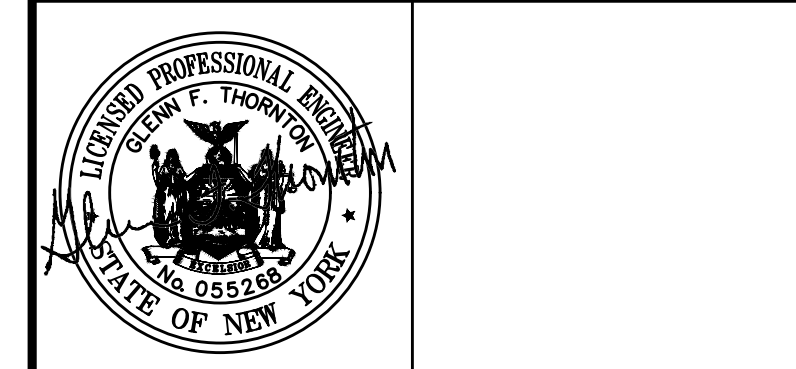
\_\_\_\_\_  
 Planning Board Chairperson Date

\_\_\_\_\_  
 Town Engineer Date

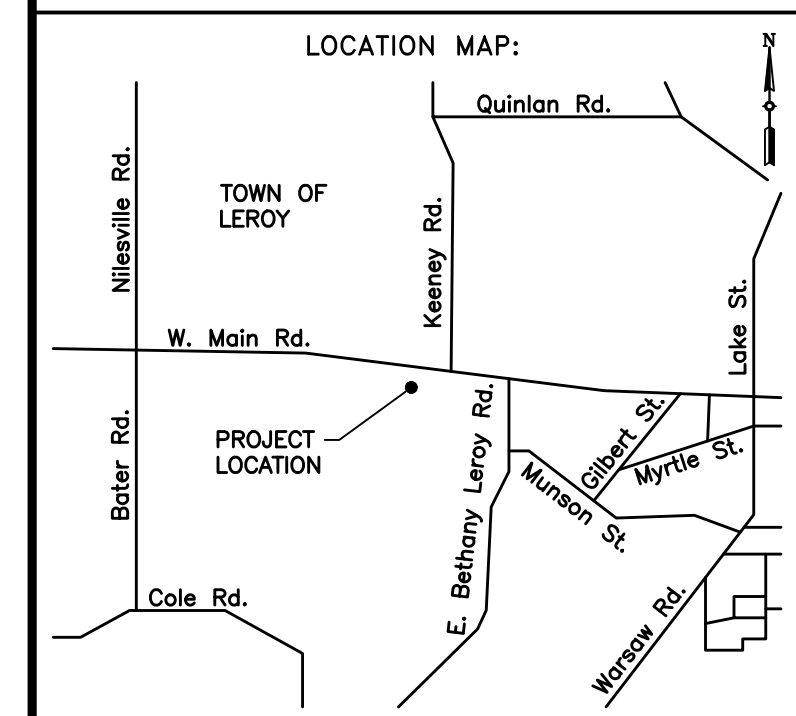
REVISIONS			
NO.	DESCRIPTION	DATE	BY

**NOT APPROVED FOR CONSTRUCTION**

It is a violation of New York State Education Law Article 145 Section 7209 for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his or her seal and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.



**THORNTON ENGINEERING LLP**  
 30 Assembly Drive, Suite 106  
 Mendon, New York 14506  
 Tel. 585-624-4810  
 Consultant Engineers



**PROJECT NAME:**  
 Route 5 Storage Expansion

**7054 West Main Rd.**  
 Town of Leroy  
 Genesee County, NY

**DRAWING TITLE:**  
 Site/Utility Plan

FILE NAME: SITEUTPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 40'	PROJECT NO.: 21-860
SHEET NO.: 2 OF 6	DRAWING NO.: S-1

**SOIL EROSION/SEDIMENTATION CONTROL NOTES**

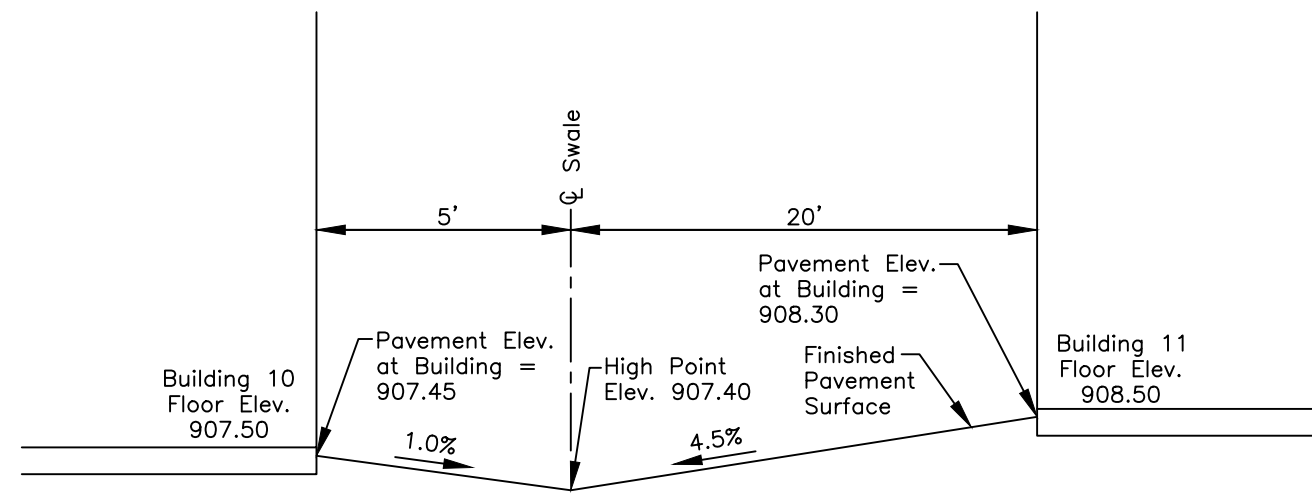
- Developer shall install erosion and siltation control measures during construction to prevent off-site transport and deposition of materials. All erosion and siltation control measures shall be in place and approved by the Town or their duly noted representative prior to any construction activities, including clearing.
- The temporary erosion/sedimentation control measures depicted on the site plan shall be supplemented with additional controls if found necessary during construction. Developer is responsible for establishing the controls during construction, and removing the controls following re-establishment of ground cover.
- All sedimentation control structures shall remain in effective operating condition.
- No erosion or sediment control measures may be removed until the upland areas are stabilized and/or approval of their removal has been granted by the Town.
- All access to and from the site shall be via the stabilized construction entrances, which shall be kept clean and free of debris and sediment. Any debris or sediment which makes its way to the public highway shall be immediately removed.
- Any erosion or sediment control measure shall be immediately cleaned, repaired, and/or replaced upon notice of any damage.
- In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment Control.
- All erosion and sediment control methods are to be designed and installed in accordance with the latest edition of the New York State Standards and Specifications for Erosion and Sediment Control.
- Pollution prevention practices shall be employed during construction to prevent litter, construction chemicals and construction debris from becoming a pollutant source in stormwater. The following controls shall be implemented:
  - Litter and construction debris shall be picked up on a daily basis and placed within covered trash receptacles.
  - Construction materials that are temporarily stored in the work area shall be secured within covered straps or anchors, or covered to prevent wind transport.
  - All points of entry into the storm drainage system shall be screened to prevent entry of litter or debris.
  - Construction chemicals and hazardous substances shall be stored in accordance with all applicable environmental regulations. The Contractor shall have appropriate spill containment devices on the jobsite at all times.
- The Contractor shall inspect temporary silt fences and temporary stabilized construction entrances following each 0.5 inch rain event and at not more than seven day intervals.
- Seed Mixes:
 

Temporary (50 lbs. per acre)	
Annual Ryegrass	50% by Weight (90% Purity)
Tall Fescue	50% by Weight (90% Purity)
Permanent	
Kentucky Bluegrass	45% by Weight (85% Purity)
Red Fescue (Commercial)	40% by Weight (95% Purity)
Common Ryegrass	15% by Weight (95% Purity)

Proposed Area of Ground Disturbance = 2.17 Acres

**CONSTRUCTION SEQUENCE**

- Install stabilized construction entrance.
- Install silt fence at the locations indicated on the plan.
- Clear vegetation within the work limits.
- Strip topsoil and place it within the designated storage areas or remove it from the site.
- Mass grade the development area including the stormwater pond.
- Construct diversion swales as required to direct storm runoff into the pond which will serve as a temporary sediment basin during construction.
- Construct the outlet control structure and encircle with silt fence to prevent offsite transport of suspended sediment.
- Prepare the building pads and immediately place crushed stone subbase material for the floor slabs.
- Final grade pavement areas and immediately place crushed stone base and surface material.
- Construct the bioretention basin.
- Final grade, topsoil, seed, and mulch all areas that will not require future disturbance.
- Following establishment of a healthy growth of turf within all disturbed areas, remove the silt fence.



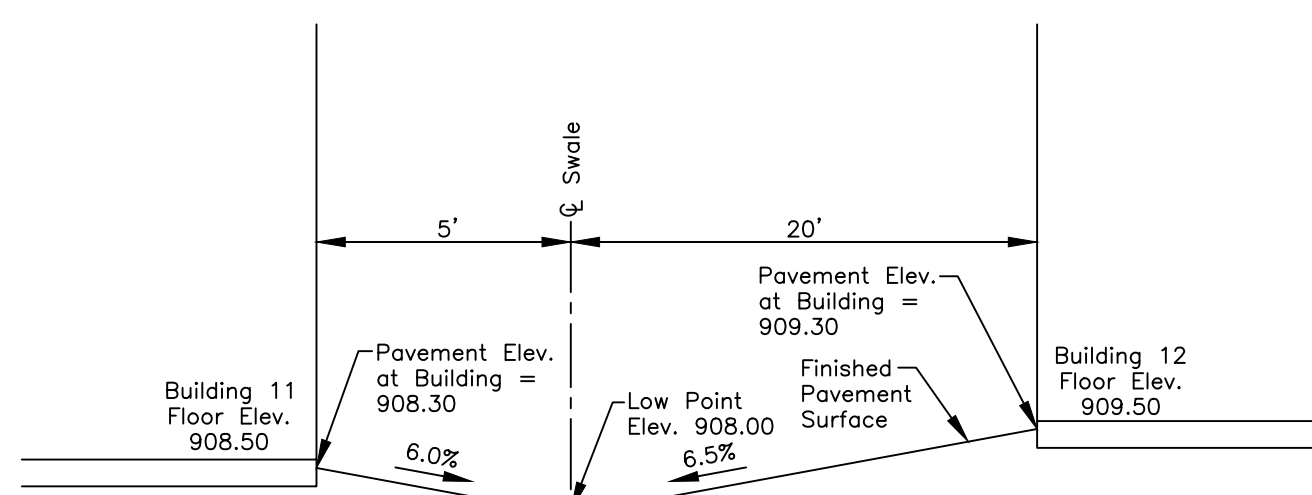
**SECTION A-A**  
PAVEMENT CROSS SECTION BETWEEN BUILDINGS 10 AND 11 AT HIGH POINT IN SWALE (SECTION BETWEEN BUILDINGS 11 AND 12 AND 12 AND 13 IS SIMILAR) NOT TO SCALE

**ADDITIONAL NYSDEC GP-0-20-001 STORMWATER PERMIT REQ'S.**

- Bioretention basins shall be planted per the details.
- All disturbed areas must be restored in accordance with the Soil Restoration Requirements in Table 5.3 of the NYS Stormwater Management Design Manual. In general, areas without a change in grade should be aerated and 6" of topsoil should be applied. Aeration includes the use of machines such as tractor drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentation in the soil, or prongs which function like a mini-subsoiler. Areas of cut or fill shall receive full restoration in accordance with "Deep-Ripping and Decomposition, April 2008" issued by the NYSDEC. Deep-ripping requires the use of heavy duty agricultural grade implements and machinery to thoroughly decompact (till) the subsoil to a depth of 20" to 24" during the first phase, followed by thoroughly tilling the replaced topsoil and upper 12" of decompact subsoil during the second phase.

**PROPOSED STORMWATER MANAGEMENT AREA**

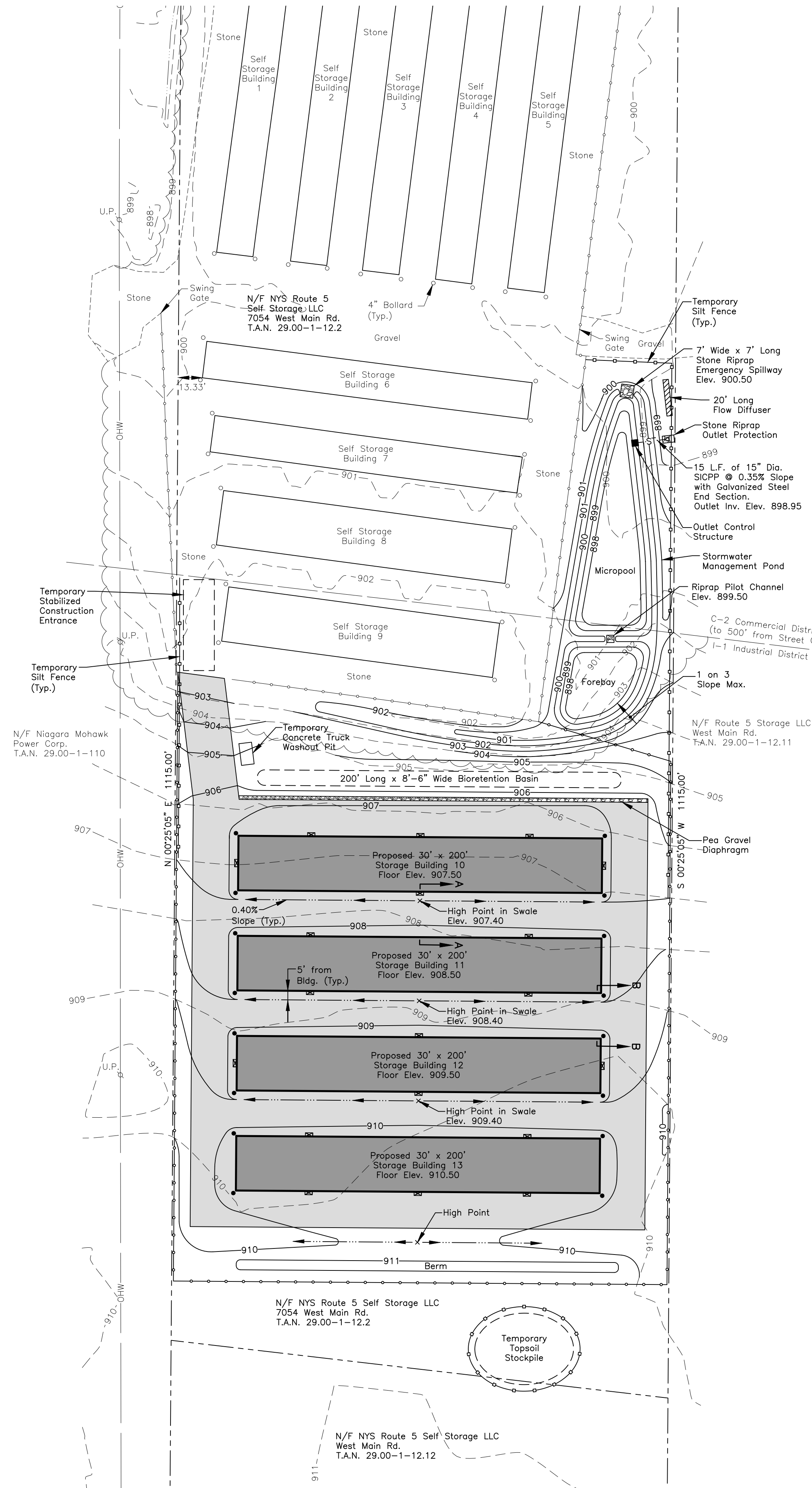
Sizing Criteria	Storage Provided	Water Surface Elevation	Discharge Rate
Water Quality	0.02 acre feet	899.00	---
Channel Protection	0.09 acre feet	900.07	0.04 cfs
Overbank Flood Control	0.10 acre feet	900.19	3.69 cfs
Extreme Flood Control	0.17 acre feet	900.90	9.19 cfs



**SECTION B-B**  
PAVEMENT CROSS SECTION BETWEEN ENDS OF BUILDINGS 11 AND 12 (SECTION BETWEEN ENDS OF BUILDINGS 10 AND 11 AND 12 AND 13 IS SIMILAR) NOT TO SCALE

**APPROVALS**

Planning Board Chairperson \_\_\_\_\_ Date \_\_\_\_\_  
Town Engineer \_\_\_\_\_ Date \_\_\_\_\_



**GRADING, DRAINAGE, AND SOIL EROSION/SEDIMENT CONTROL PLAN**

SCALE: 1" = 40'

SCALE (FEET)



REVISIONS			
NO.	DESCRIPTION	DATE	BY

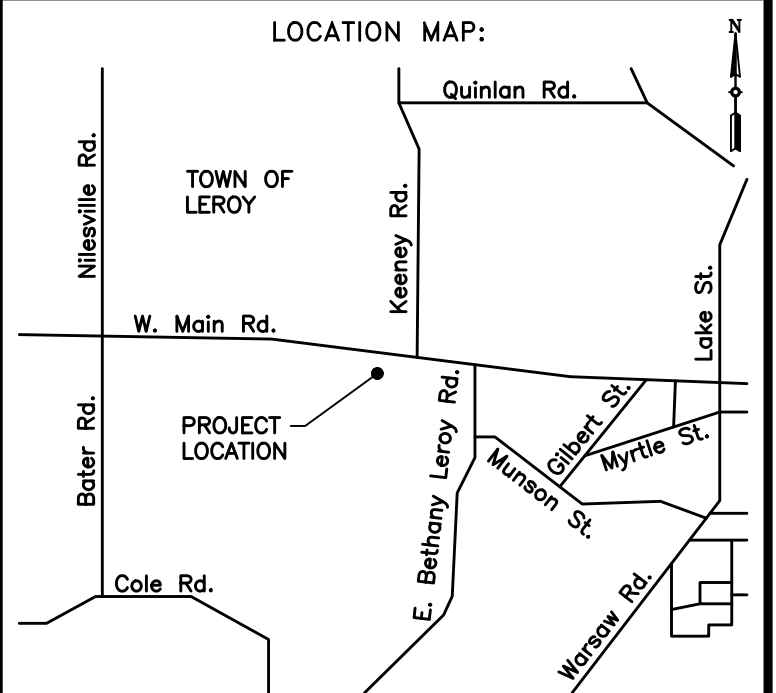
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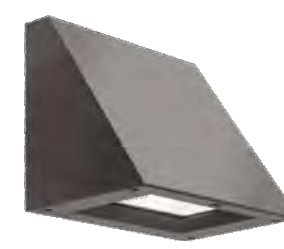
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PROJECT NAME:  
**Route 5 Storage Expansion**  
  
7054 West Main Rd.  
Town of Leroy  
Genesee County, NY

DRAWING TITLE:  
**Grading, Drainage, and Soil Erosion/Sediment Control Plan**

FILE NAME: GRADINGPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 40'	PROJECT NO.: 21-860
SHEET NO.: 3 OF 6	DRAWING NO.: S-2



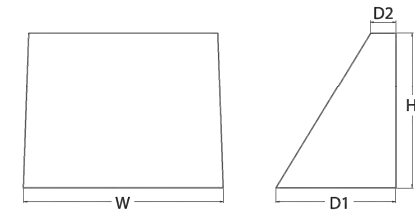
**WDGE2 LED**  
Architectural Wall Scone

Part Number: **WDGE2 LED P3 4000K**  
 Name:  
 Size:  
 Color:

**Introduction**  
 The WDGE2 LED family is designed to meet specifiers' every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with rugged AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.  
 WDGE2 delivers up to 6,000 lumens with a soft, non-glared light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

**Specifications**

Depth (D1): 7"  
 Depth (D2): 1.5"  
 Height: 9"  
 Width: 11.5"  
 Weight: 13.5 lbs (without options)



**WDGE2 LED Family Overview**

Luminaire	Standard (W x H)	Color	Beam	LM	LM	LM	LM	LM	LM
WDGE2 LED	4W	—	—	1,200	2,000	—	—	—	—
WDGE2 LED	10W	18W	Standard / High	1,200	2,000	3,000	4,500	6,000	—
WDGE2 LED	15W	18W	Standard / High	2,500	8,500	10,000	12,000	—	—
WDGE2 LED	—	—	Standard / High	12,000	16,000	18,000	20,000	22,000	25,000

**Ordering Information**

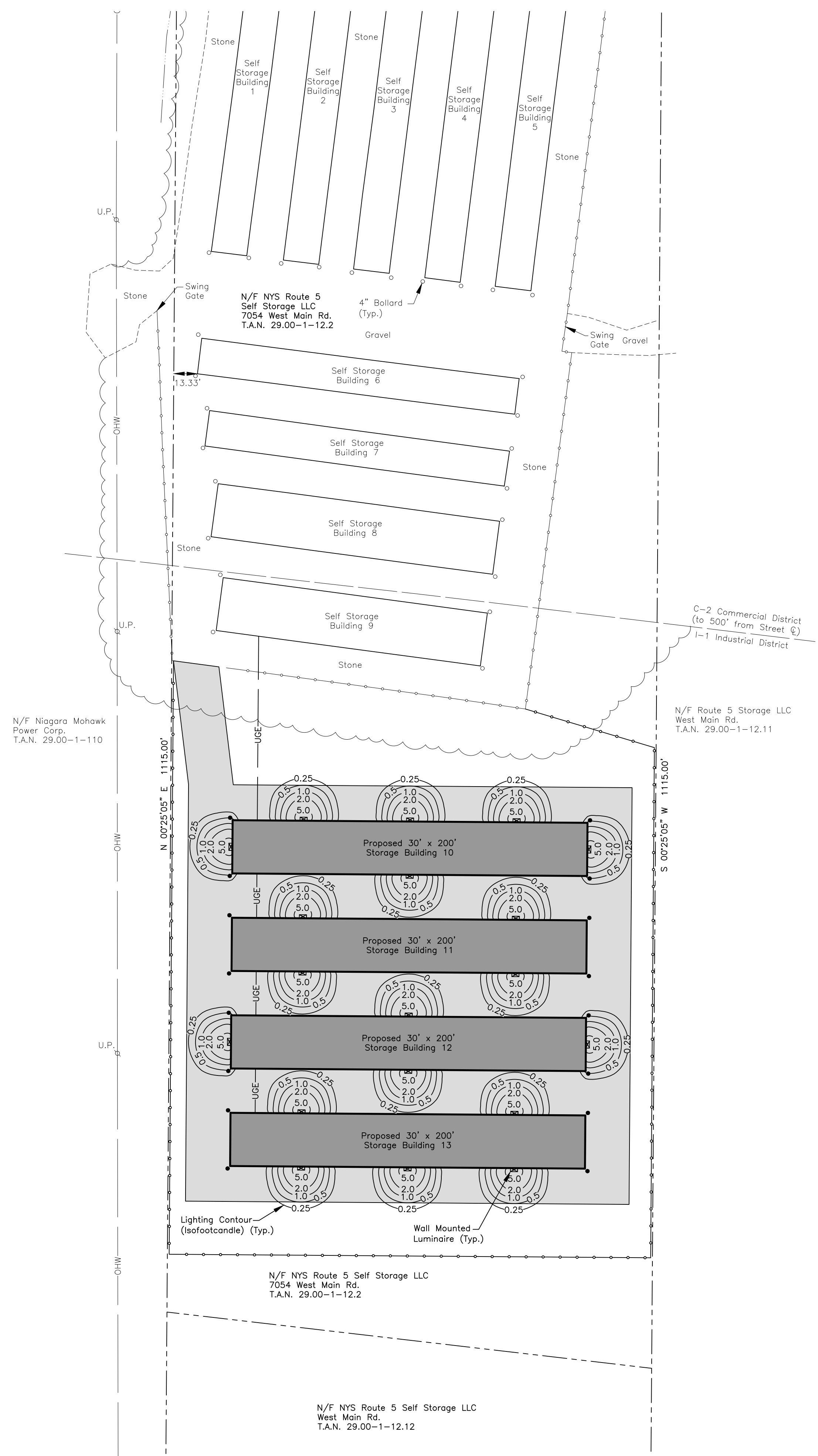
EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Code	Color	Beam	LM	LM	LM	LM	LM	LM	LM
WDGE2 LED	P1	P3	27W	2700K	80CRI	VF	Visual comfort	MVOLT	Shipped separately
	P2	P3	30W	3000K	90CRI	VF	Visual comfort	SRM	Shipped with wall mount
	P3	P3	35W	3000K	—	VW	Visual comfort	SRM	Shipped with wall mount
	P4	P3	40W	4000K	—	VF	Visual comfort	SRM	Shipped with wall mount
	P5	P3	40W	4000K	—	VW	Visual comfort	SRM	Shipped with wall mount

Code	Description	Standard	Standard	Standard
E400	Emergency Battery Backup, Certified in CA Title 20 (900205)	EM	EM	EM
E1000	Emergency Battery Backup, Certified in CA Title 20 (900205)	EM	EM	EM
E2000	Emergency Battery Backup, Certified in CA Title 20 (900205)	EM	EM	EM
P1	PhotoCell, Battery Type	PHOTO	PHOTO	PHOTO
D5	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D6	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D7	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D8	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D9	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D10	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D11	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D12	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D13	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D14	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D15	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D16	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D17	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D18	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D19	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D20	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D21	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D22	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D23	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
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D29	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D30	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
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D99	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY
D100	Daylight Sensor with 2-Dimmer and 2-Step dimmer	DAY	DAY	DAY

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**LIGHTING NOTE**  
 1. New exterior lighting shall not exceed 0.5 footcandles at the property line or beyond the property line.



**APPROVALS**

Planning Board Chairperson	Date
Town Engineer	Date

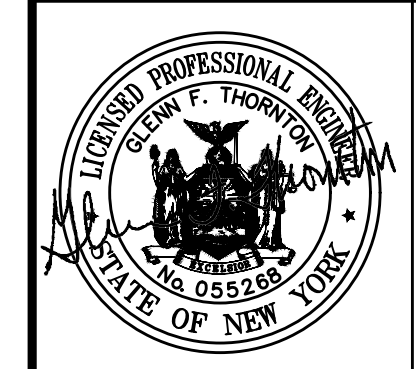
**LIGHTING PLAN**  
 SCALE: 1" = 40'  
 SCALE (FEET)  
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**REVISIONS**

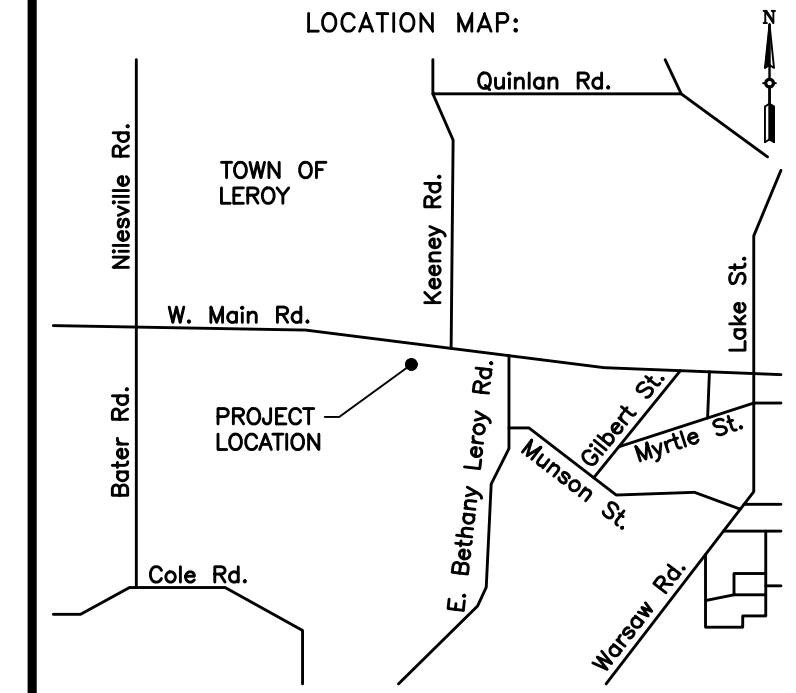
NO.	DESCRIPTION	DATE	BY
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**PROJECT NAME:**  
 Route 5 Storage Expansion  
 7054 West Main Rd.  
 Town of Leroy  
 Genesee County, NY

**DRAWING TITLE:**  
 Lighting Plan

FILE NAME: LIGHTINGPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 40'	PROJECT NO.: 21-860
SHEET NO.: 4 OF 6	DRAWING NO.: S-3

REVISIONS			
NO.	DESCRIPTION	DATE	BY

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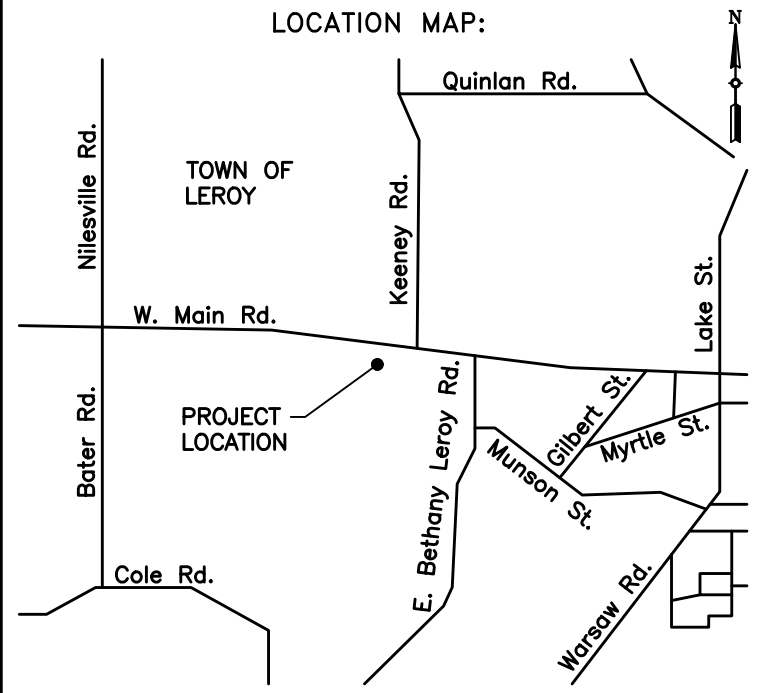
**THORNTON**  
ENGINEERING LLP

30 Assembly Drive, Suite 106  
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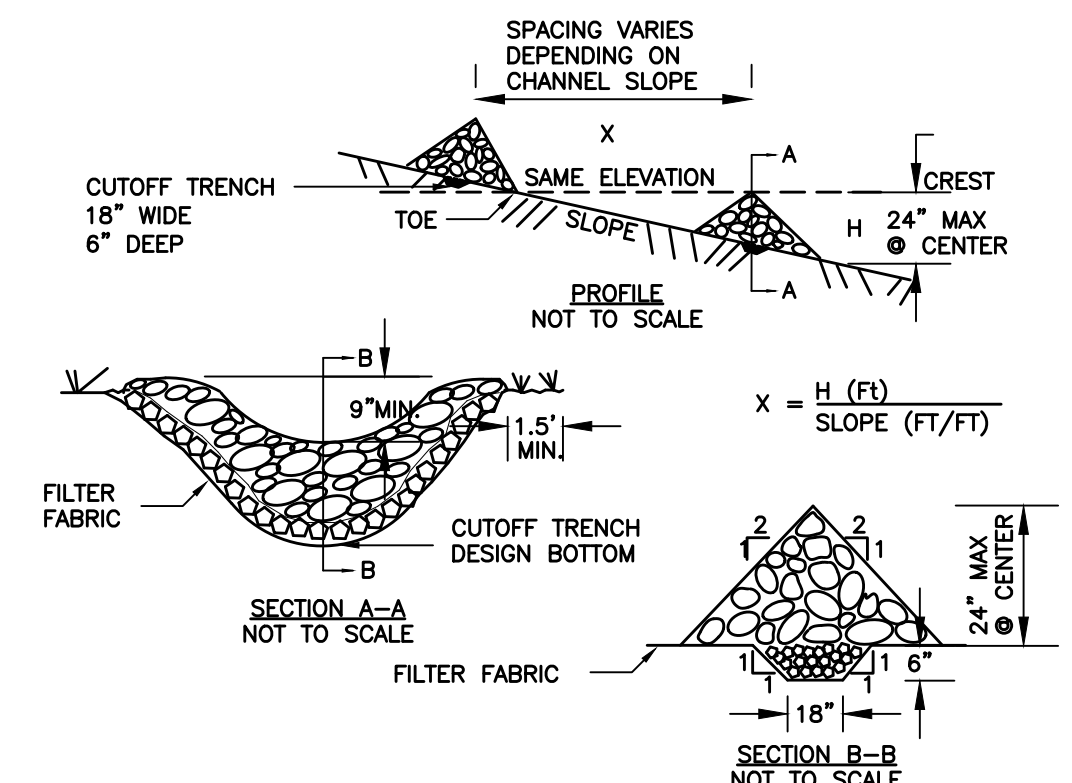


PROJECT NAME:  
**Route 5 Storage Expansion**

7054 West Main Rd.  
Town of Leroy  
Genesee County, NY

DRAWING TITLE:  
**Miscellaneous Details**

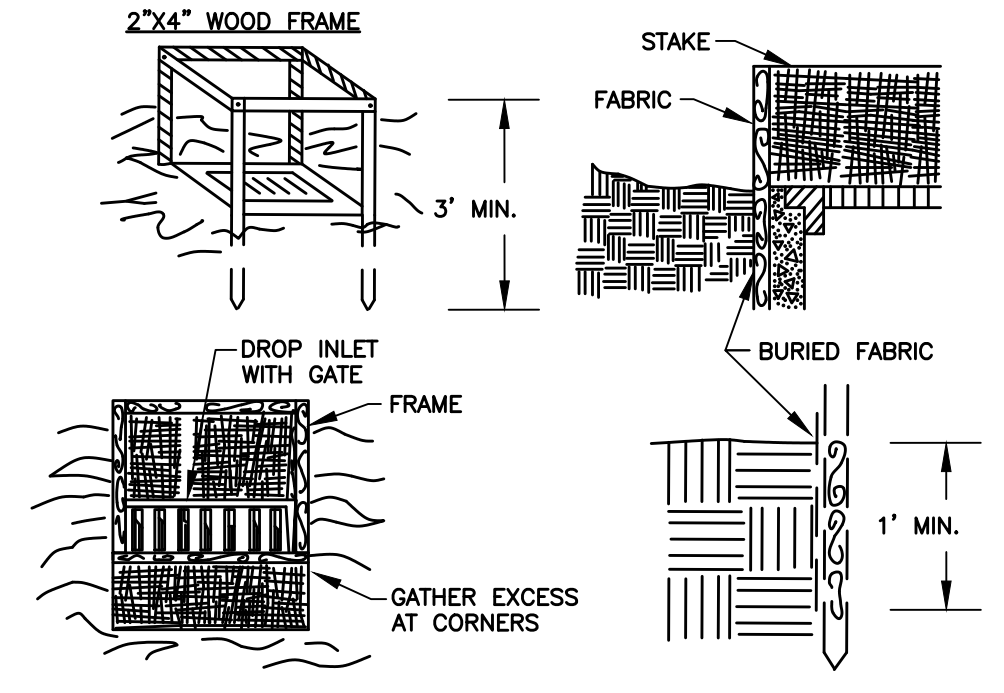
FILE NAME: DETAILS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: NOT TO SCALE	PROJECT NO.: 21-860
SHEET NO.: 5 OF 6	DRAWING NO.: D-1



**CONSTRUCTION SPECIFICATIONS**

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

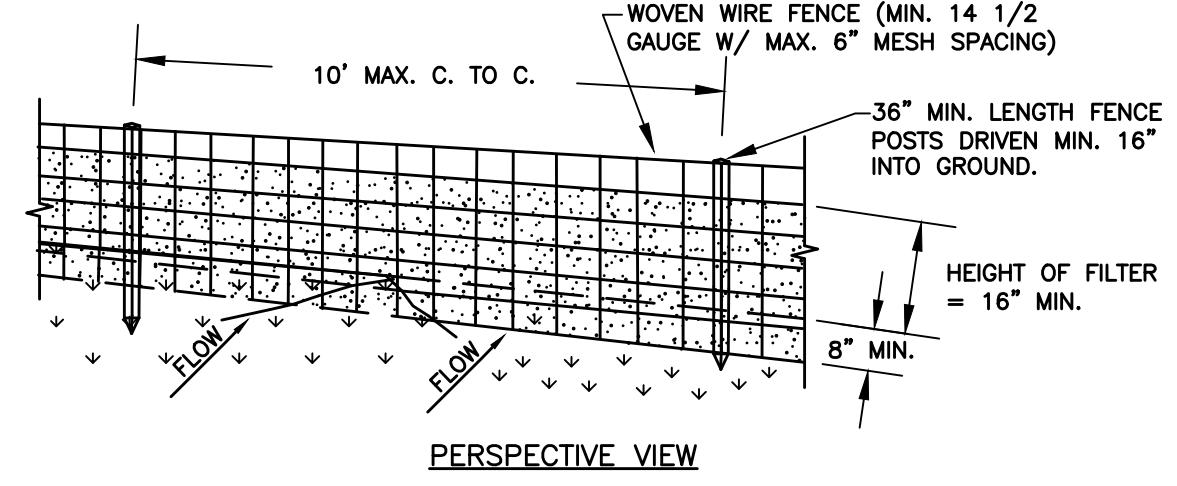
**TEMPORARY ROCK CHECK DAM**  
NOT TO SCALE



**NOTES**

- FILTER FABRIC SHALL HAVE AN EGS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE.

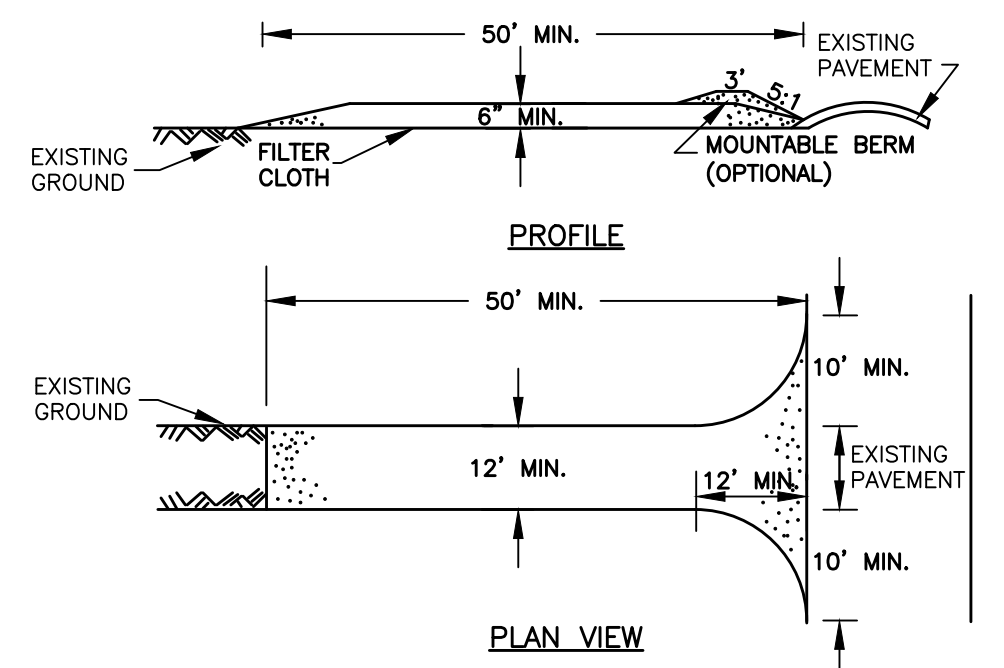
**TEMPORARY FILTER FABRIC DROP INLET PROTECTION**  
NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

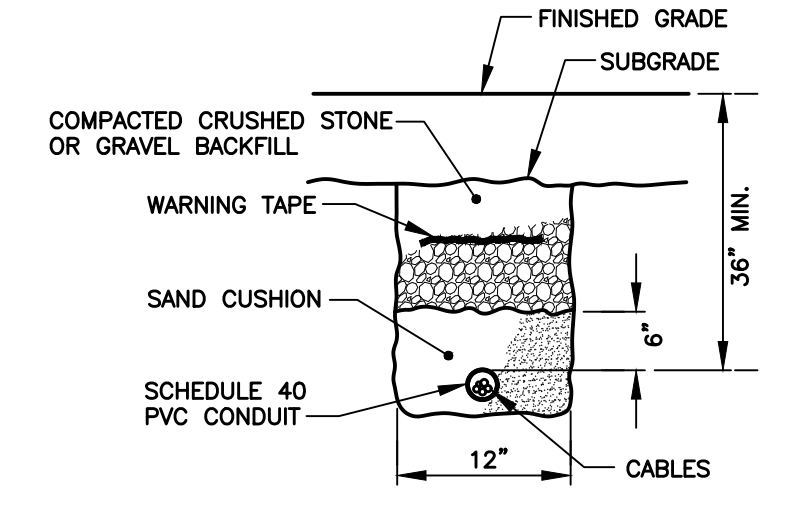
**TEMPORARY SILT FENCE**  
NOT TO SCALE



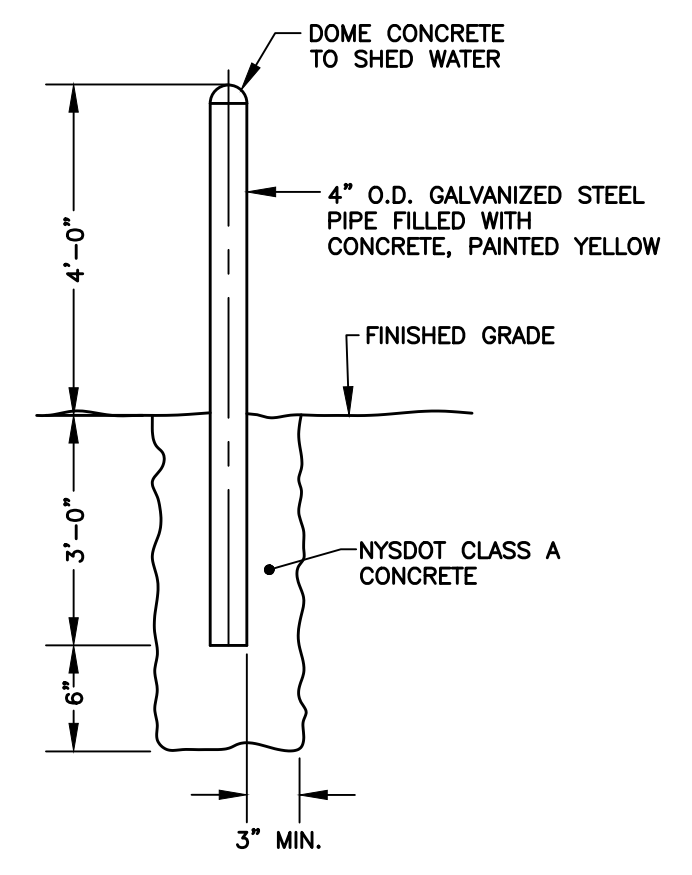
**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6".
- WIDTH - 12" MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24" IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

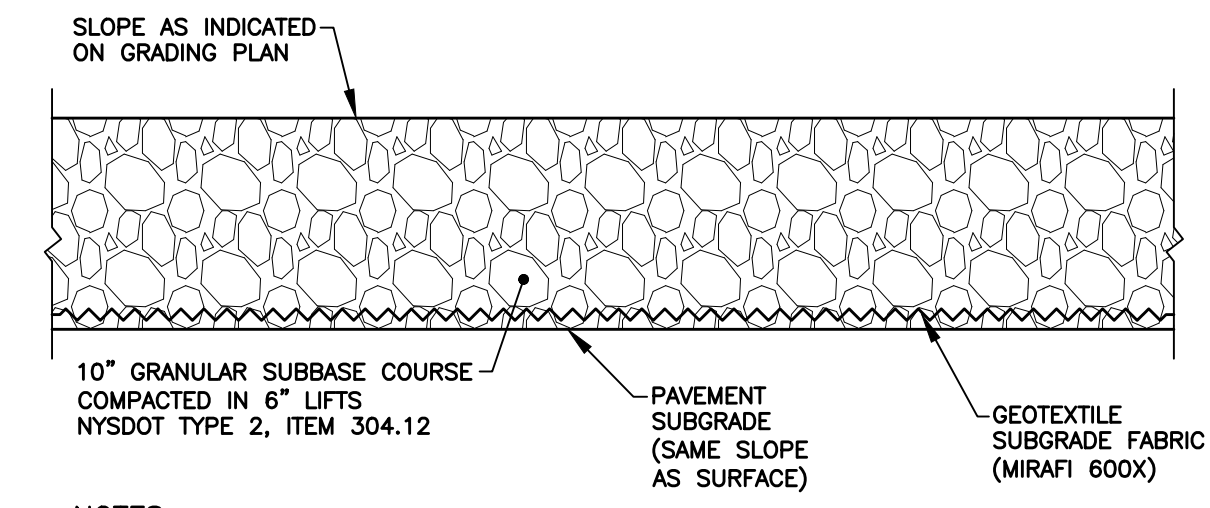
**TEMPORARY STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**ELECTRIC SERVICE TRENCH**  
NOT TO SCALE



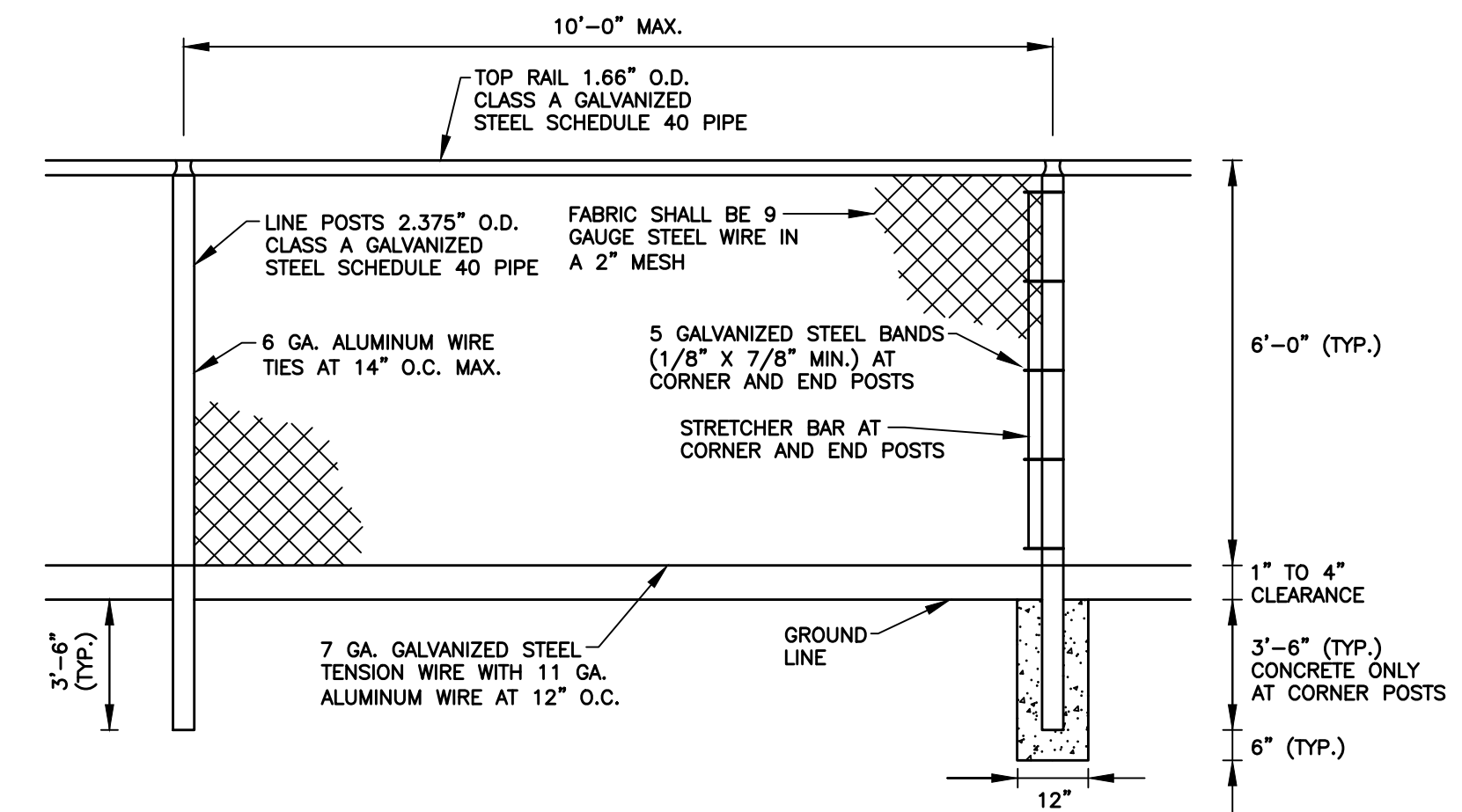
**STEEL PIPE BOLLARD**  
NOT TO SCALE



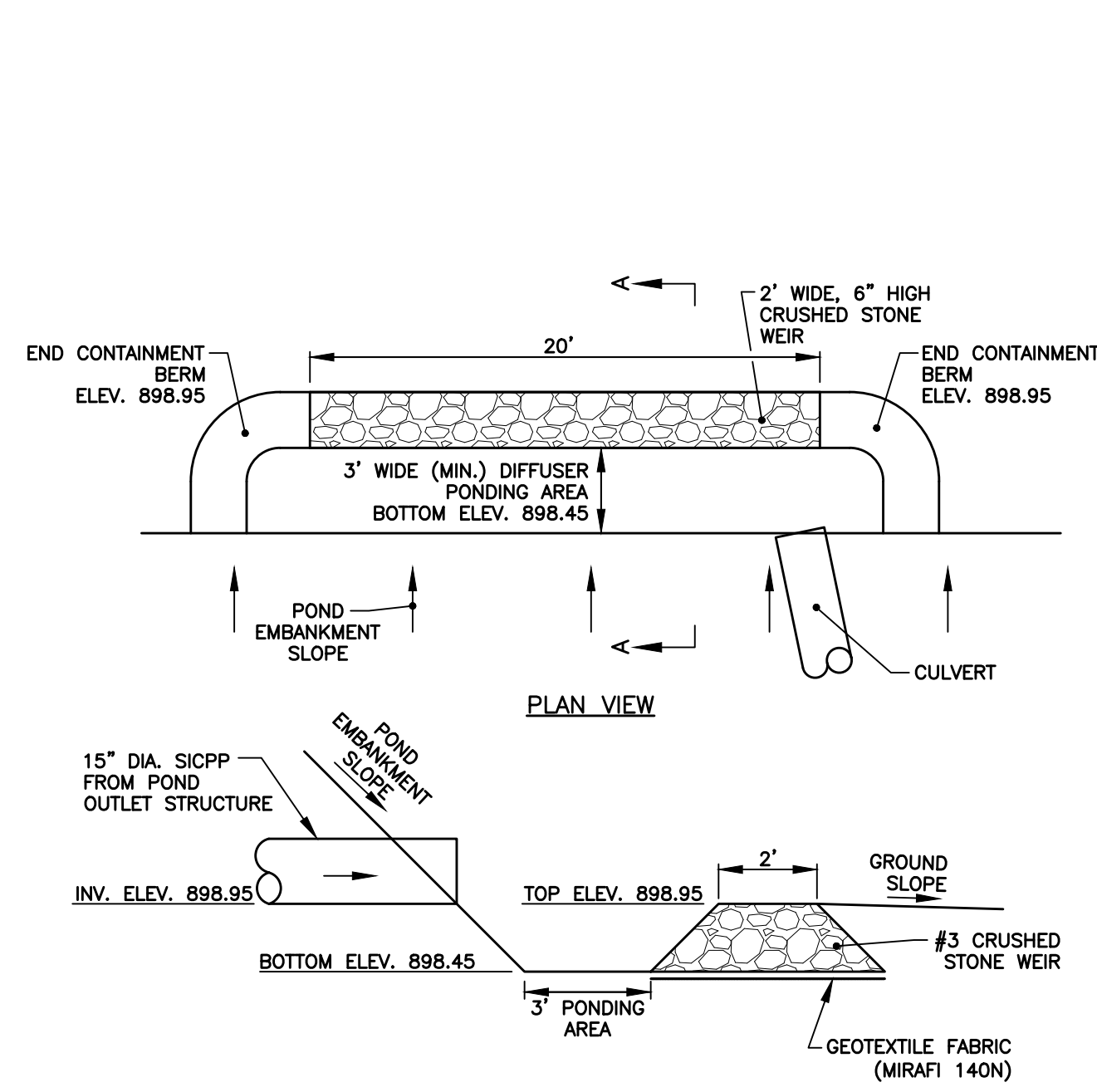
**NOTES**

- PAVEMENT SUBGRADE AREAS WITHIN EXCAVATION AREAS SHALL BE COMPACTED TO A DEPTH OF SIX INCHES AND TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
- EMBANKMENTS CONSTRUCTED BENEATH PAVEMENTS SHALL BE PLACED IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATIONS SECTION 203 - EARTHWORK. EMBANKMENTS SHALL BE CONSTRUCTED WITH SUITABLE MATERIAL AS DESCRIBED IN SUBSECTION 203-1.08. COMPACTED TO AT LEAST 90% OF STANDARD PROCTOR MAXIMUM DENSITY. EMBANKMENTS WITHIN 24" OF THE SUBGRADE ELEVATION SHALL NOT CONTAIN MATERIAL EXCEEDING 6" IN DIAMETER AND SHALL BE COMPACTED TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DENSITY.
- ALL EXISTING TOPSOIL SHALL BE REMOVED FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS. EXCAVATED AREAS BELOW THE PAVEMENT AND BUILDING SUBGRADE SHALL BE FILLED WITH COMPACTED GRANULAR SUBBASE COURSE OR SUITABLE EMBANKMENT MATERIAL.

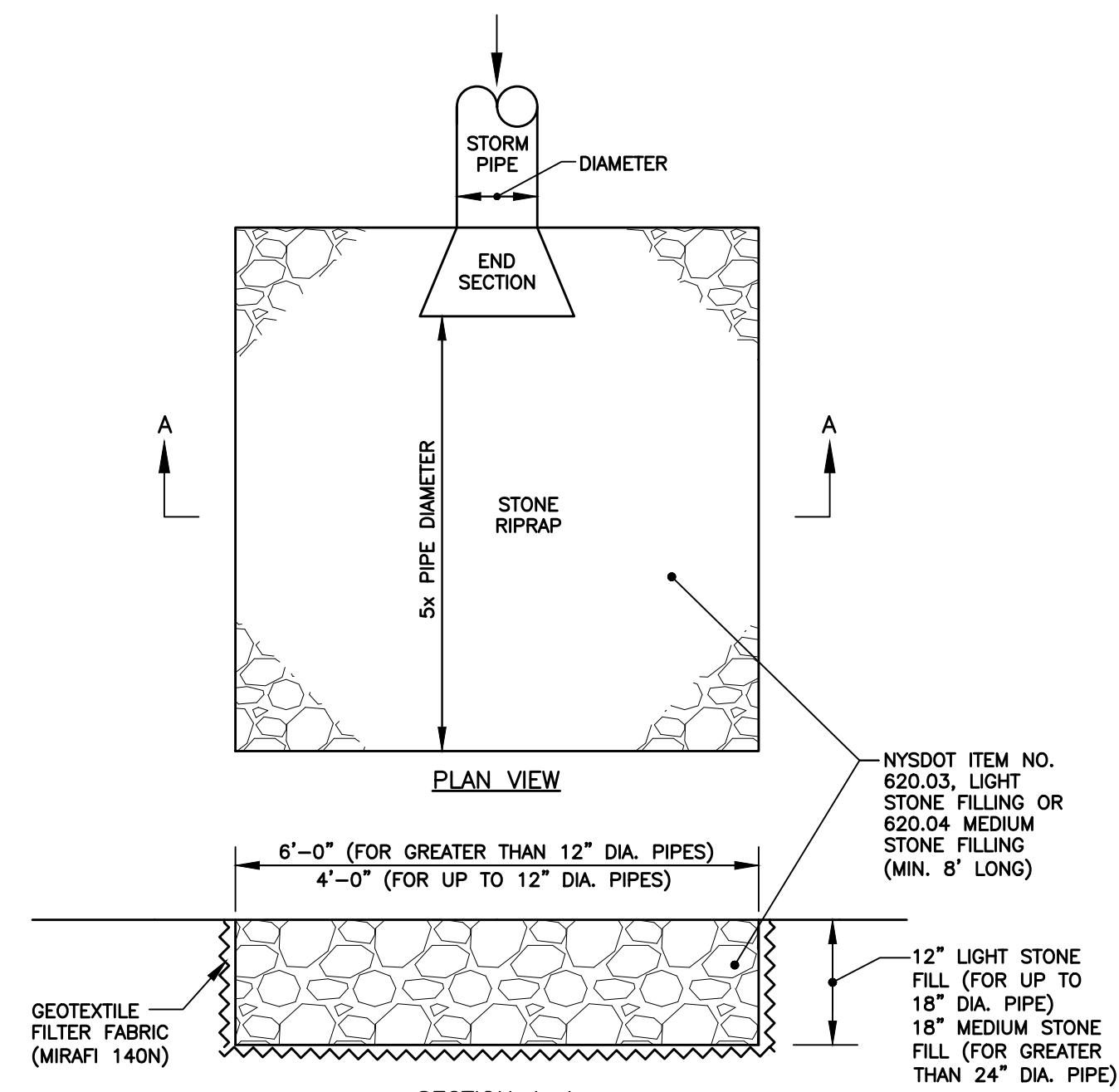
**STONE PAVEMENT**  
NOT TO SCALE



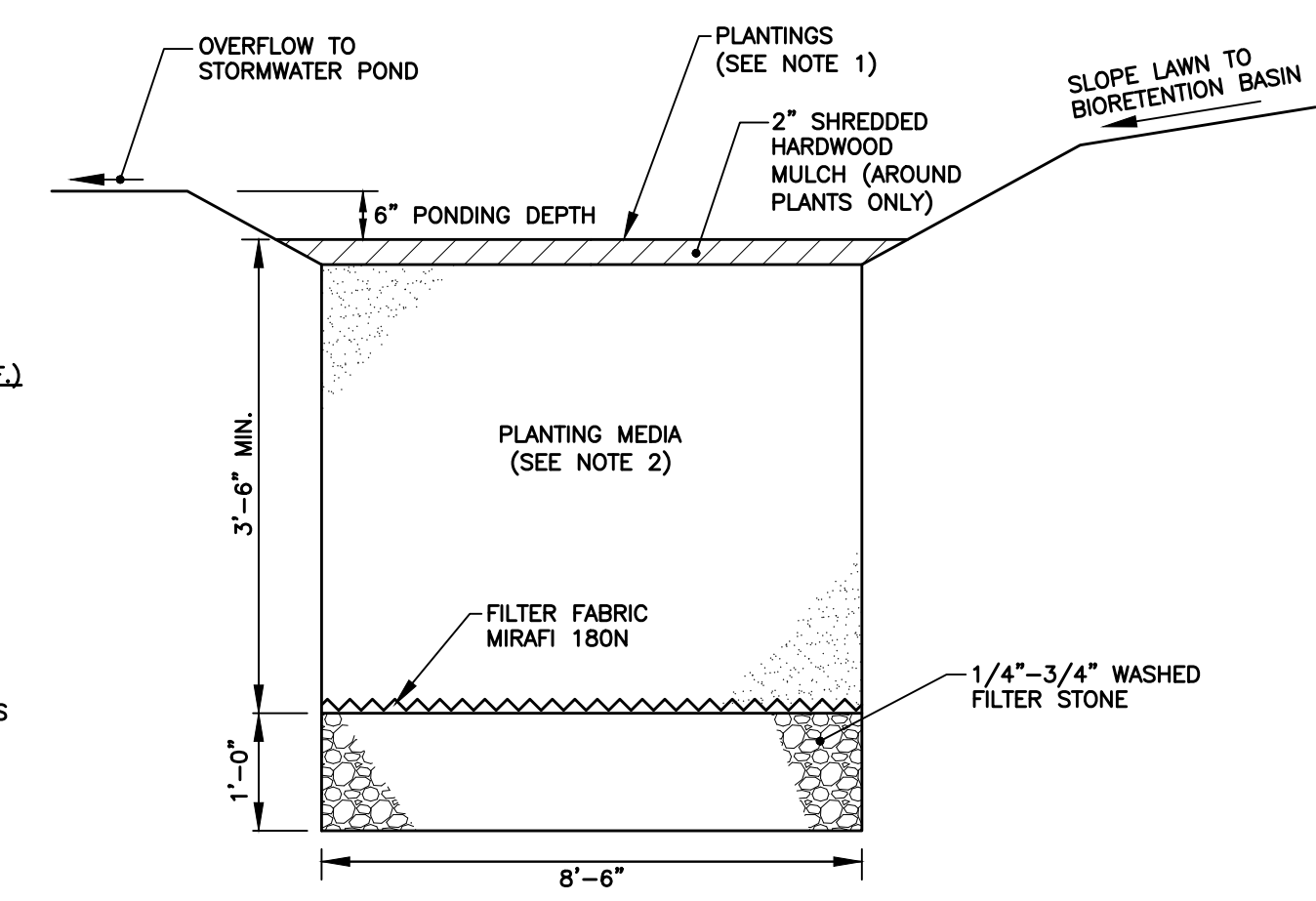
**CHAIN LINK FENCE**  
NOT TO SCALE



SECTION A-A  
FLOW DIFFUSER  
NOT TO SCALE



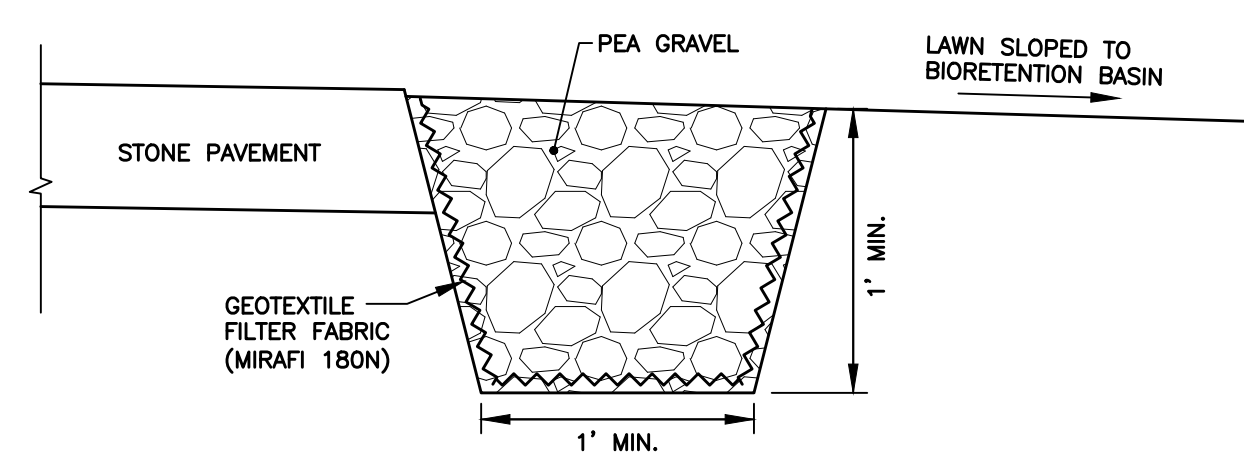
SECTION A-A  
STONE RIPRAP OUTLET PROTECTION  
NOT TO SCALE



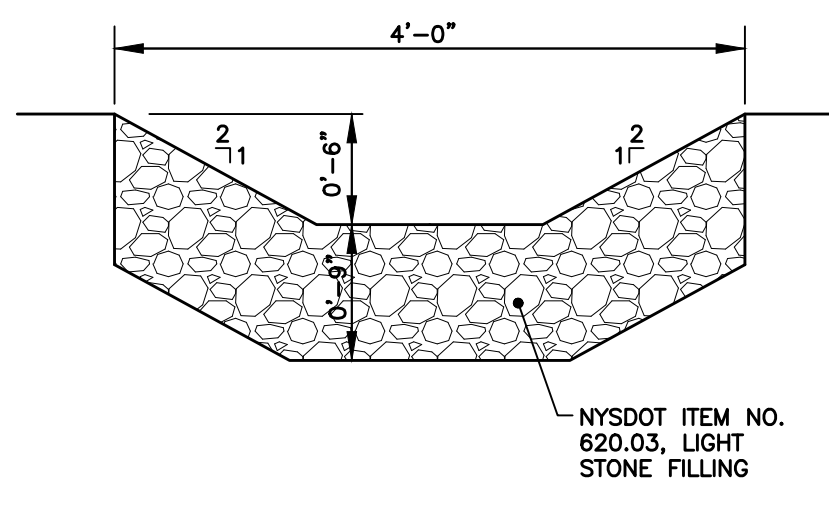
SECTIONAL VIEW  
STORMWATER BIORETENTION BASIN  
NOT TO SCALE

- NOTES**
- PROVIDE RANDOM HERBACEOUS PLANTINGS (ONE PER 5 S.F.) IN BIORETENTION BASINS CONSISTING OF:
 

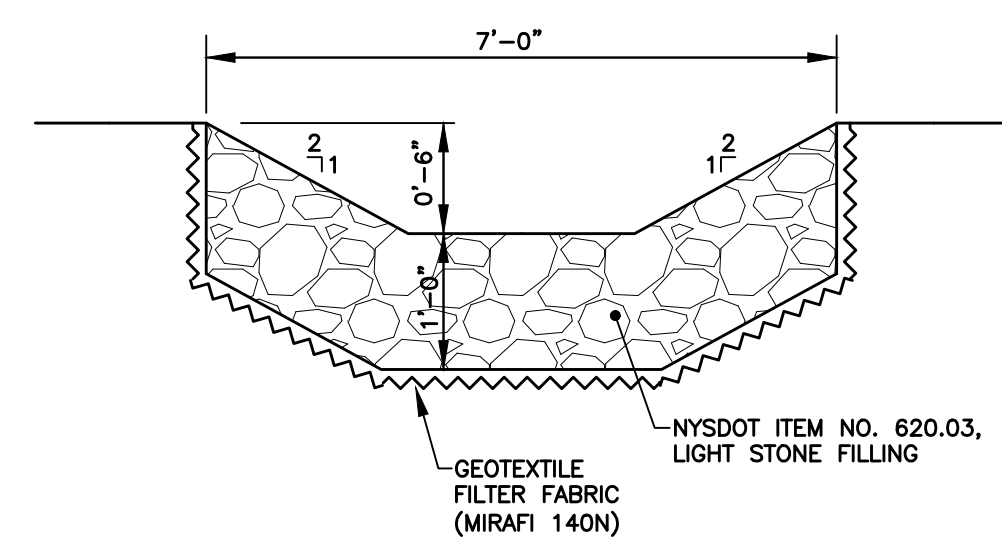
BOTANICAL NAME	COMMON NAME
PANICUM VIRGATUM	SWITCHGRASS
HIBISCUS MOSCHEUTOS	MARSH HIBISCUS
CAREX SPP.	SEDGES
IRIS VERSICOLOR	BLUE FLAG IRIS
ACORUS CALAMUS	SWEET FLAG
SCIRPUS CYPERINUS	WOOL GRASS
CALAMAGROTIS CANADENSIS	BLUE JOINT
  - PLANTING MEDIA  
LOAM/SAND MIX (50% SAND MINIMUM). CLAY CONTENT LESS THAN 25% BY VOLUME. FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER.



PEA GRAVEL DIAPHRAGM  
NOT TO SCALE



RIPRAP PILOT CHANNEL  
NOT TO SCALE

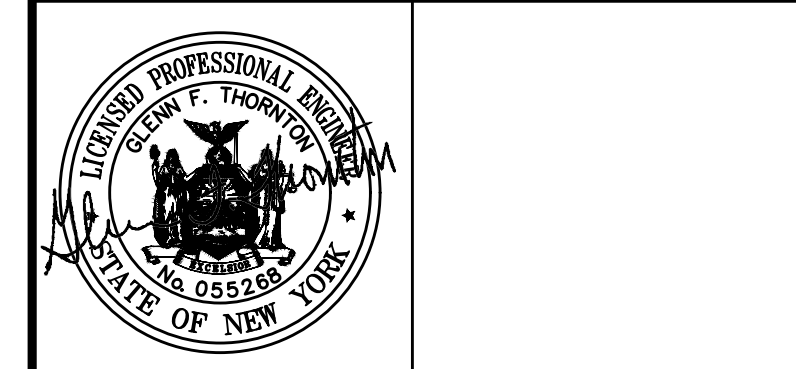


STONE RIPRAP SPILLWAY  
NOT TO SCALE

REVISIONS			
NO.	DESCRIPTION	DATE	BY

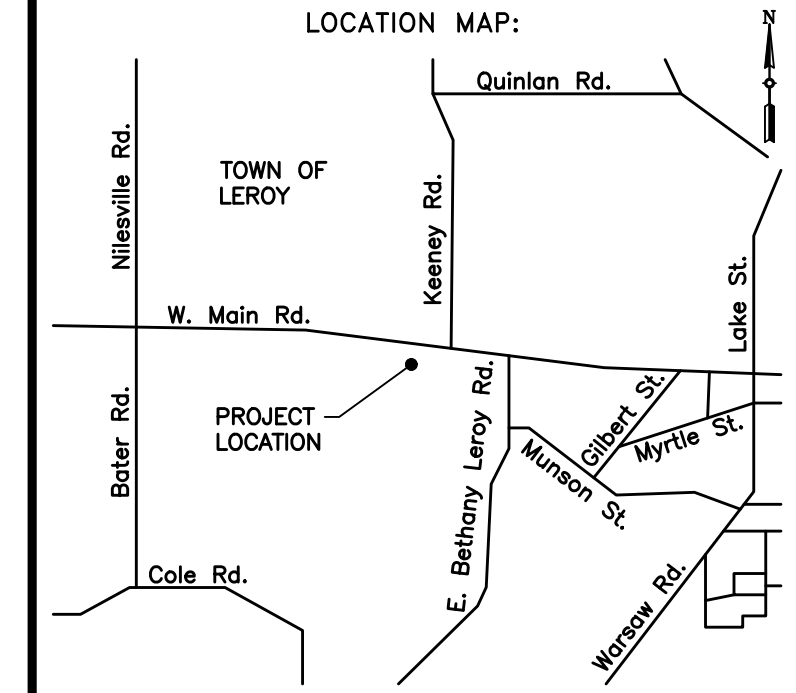
**NOT APPROVED FOR CONSTRUCTION**

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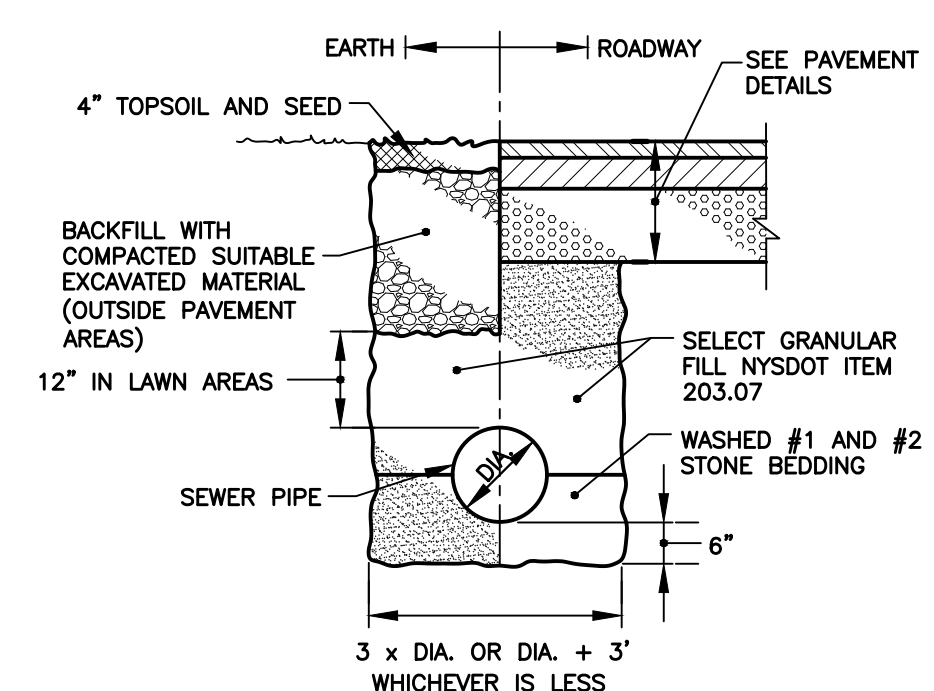
**THORNTON ENGINEERING LLP**  
30 Assembly Drive, Suite 106  
Mendon, New York 14506  
Tel. 585-624-4810  
Consultant Engineers

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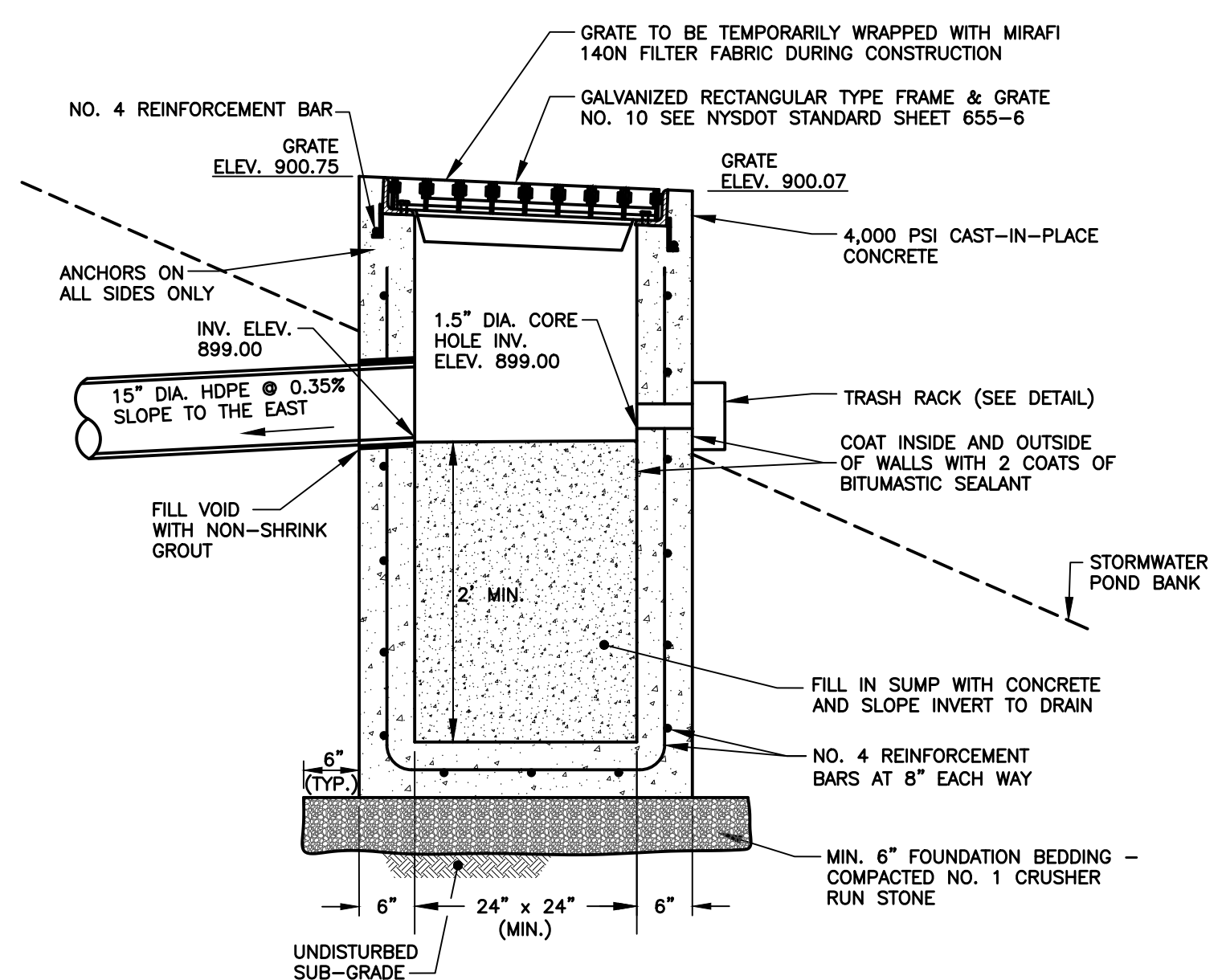


PROJECT NAME:  
**Route 5 Storage Expansion**  
7054 West Main Rd.  
Town of Leroy  
Genesee County, NY

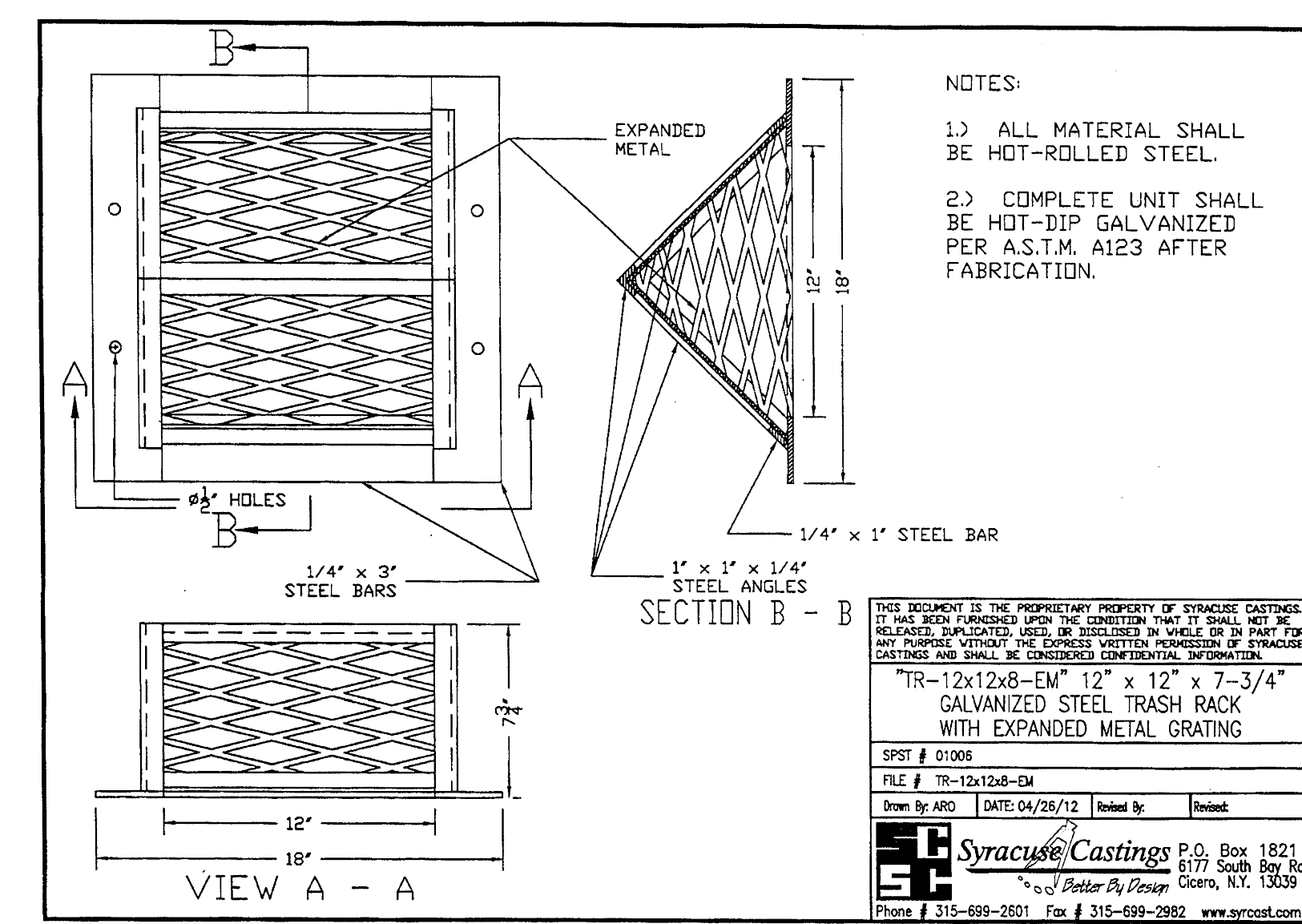
DRAWING TITLE:  
**Stormwater Management Details**



STORM SEWER TRENCH  
NOT TO SCALE



OUTLET CONTROL STRUCTURE  
NOT TO SCALE



TRASH RACK  
NOT TO SCALE

- NOTES:**
- ALL MATERIAL SHALL BE HOT-ROLLED STEEL.
  - COMPLETE UNIT SHALL BE HOT-DIP GALVANIZED PER A.S.T.M. A123 AFTER FABRICATION.

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"R-12x12x8-EM" 12" x 12" x 7-3/4" GALVANIZED STEEL TRASH RACK WITH EXPANDED METAL GRATING

SPST # 01006

FILE # TR-12x12x8-EM

Drawn By: HKT DATE: 04/28/22

DESIGNED BY: GFT

CHECKED BY: GFT

DATE: JANUARY 2022

PROJECT NO.: 21-860

DRAWING NO.: D-2

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FILE NAME: DETAILS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: NOT TO SCALE	PROJECT NO.: 21-860
SHEET NO.: 6 OF 6	DRAWING NO.: D-2

# T-01-LEROY-2-22



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