



# GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID **T-01-BER-3-22**  
Review Date **3/10/2022**

Municipality  
Board Name  
Applicant's Name  
Referral Type  
Variance(s)  
Description:

**BERGEN, T.**  
**PLANNING BOARD**  
**Jacob Berardi/ Apple Tree Acres LLC**  
**Site Plan Review**  
**Site Plan Review to construct a 50,000 sq. ft. (100 x 500 ft.) warehouse building.**

Location  
Zoning District

**Apple Tree Ave., Bergen**  
**Commercial (C) District**

### PLANNING BOARD RECOMMENDS:

**APPROVAL WITH MODIFICATION(S)**

### EXPLANATION:

The required modifications are as follows: 1) Given that the project will disturb one acre or more of land, the applicant completes a Stormwater Pollution Prevention Plan (SWPPP) and obtains a Stormwater Permit for Construction Activity from NYS Department of Environmental Conservation (DEC) prior to final approval from the Town; and 2) Any signage complies with the Town's zoning regulations. With these required modifications, the proposed warehouse/office building should pose no significant county-wide or inter-community impact. It is recommended that the applicant ensure that the proposed building will meet the Public Safety Radio System In-Building Coverage Requirement (NYS Fire Code Section 510), and that such requirement be verified post construction by the Code Enforcement Officer or by the Genesee County Sheriff's Office.

Director

March 10, 2022

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) , 9!+ \$%

**Clear Form**

**DEPARTMENT USE ONLY:**  
GCDP Referral # T-01-BER-3-22



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

**RECEIVED  
Genesee County  
Dept. of Planning  
3/3/2022**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning Board  
Address 10 Hunter St  
City, State, Zip Bergen NY 14416  
Phone (585) 494 - 1121 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Jacob Berardi/ Apple Tree Acres LLC  
Address 7001 Apple Tree Ave.  
City, State, Zip Bergen NY 14416  
Phone (585) - Ext. \_\_\_\_\_ Email \_\_\_\_\_ **x**

**MUNICIPALITY:**  City  Town  Village of Bergen

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |                                      |
|--|--|--------------------------------------|
| <input type="checkbox"/> Area Variance               | <input type="checkbox"/> Zoning Map Change         | Subdivision Proposal                 |
| <input type="checkbox"/> Use Variance                | <input type="checkbox"/> Zoning Text Amendments    | <input type="checkbox"/> Preliminary |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final       |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____              |                                      |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address Apple Tree Ave., Bergen  
B. Nearest intersecting road Buffalo Rd.  
C. Tax Map Parcel Number 13.-1-59.221  
D. Total area of the property 19.8 Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) Commercial

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_  
B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
\_\_\_\_\_  
C. Please describe the nature of this request New 50,000 sq. ft. building for 25,000 sq. ft. industrial mfg tenant and 25,000 sq. ft. for additional storage for Hand Parker Rental @ 7001 Apple tree  
Proposed project 26x500 x100 ft wide

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments  | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan         | <input type="checkbox"/> Location map or tax maps    | <input type="checkbox"/> Photos                            |
| <input type="checkbox"/> Subdivision plot plans       | <input type="checkbox"/> Elevation drawings          | <input type="checkbox"/> Other: _____                      |
| <input checked="" type="checkbox"/> SEQR forms        | <input type="checkbox"/> Agricultural data statement |  |

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Gary Fink Title Board Chair Phone (585) 490 -4152 Ext. \_\_\_\_\_ **x**  
Address, City, State, Zip \_\_\_\_\_ Email \_\_\_\_\_



**APEX CONSULTING**  
Survey & Engineering Services, P.C.  
102 East Avenue, Lockport, New York 14094

Office: (716) 439-0188 • Fax: (716) 439-0189

TIMOTHY W. ARLINGTON, President

November 8, 2021

Town of Bergen Planning Board  
Town of Bergen  
10 Hunter Street / P.O. Box 249  
Bergen, NY 14416

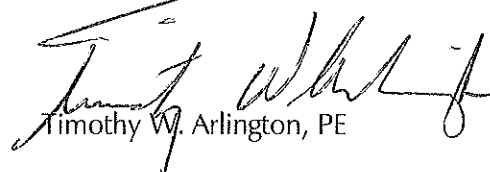
RE: Letter of Intent – Apple Tree Acres LLC – 50,000 SF Office and Warehouse / Manufacturing Facility on a 19.8 Ac. Parcel – 7001 Apple Tree Avenue, Apple Tree Corporate Business Park Apex No. 21-095

Dear Planning Board Members:

This letter serves as our Letter of Intent for our client Apple Tree Acres LLC (J.D. Enterprises Inc.) who plan to construct a new 50,000 SF pre-engineered steel building office and warehouse / manufacturing facility. Approximately 50% will be used by a new tenant for office and manufacturing and the other 50% will be used by their Hank Parker Rental Businesses. This is the second phase or building project for the 19.8 ac. parcel. The first phase was a 60,000 SF facility completed in 2020. The new building will be accessed off of a private road previously owned by the Town of Bergen as Roxbury Lane. This 60' public right-of-way is being sold to Apple Tree Acres LLC (J.D. Enterprises) since only a portion of the road was improved with the financial cost to fully improve determined to be not in the Town's future plans. The site circulation includes a west entrance (rear) of the building for truck deliveries and circulation and the east entrance (front) of the building for customer and employee parking. The new building utility services include a 6" sanitary sewer service, 8" combined fire and domestic water service, 600 A 3Ø 277V/480V minimum electrical service and a natural gas service of 2.5 M BTu/HR – 3.0 MBTu/HR. The storm drainage will consist of eight (8) storm catch basins that outlet into one (1) bioretention basin or pond forebay and then into a "wet" retention pond. The new retention pond will be connected to the newly constructed (2020 – 2021) retention pond for the business park. The storm water management system will comply with NYSDEC SPDES Permit Requirements with a SWPPP and NOI. The new facility will have a combined 40-50 employees for both businesses. The normal business hours of operation are Monday through Saturday 8 AM – 5 PM with provision for after hour shipping and receiving. This concludes our Letter of Intent. Please find attached our Site Design Plan, Engineer's Report and Long Form SEQR EAF.

Sincerely,

APEX CONSULTING SURVEY &  
ENGINEERING SERVICES, P.C.



Timothy W. Arlington, PE

TWA/BWB  
XC: Apple Tree Acres LLC

APPLICATION FOR ZONING  and/or BUILDING  PERMIT  
**TOWN OF BERGEN, N. Y. 14416**

APPLICATION NUMBER: \_\_\_\_\_

APPLICATION DATE: 11-22-2021

<b>OWNER</b>	Name: <u>Apple Tree Acres LLC</u>	<b>APPLICANT</b> <small>(IF OTHER THAN OWNER)</small>	Name: <u>Same</u>
	Address: <u>5885 Transit Rd.</u>		Address: _____
	<u>East Amherst, NY 14001</u>		_____
	Phone #: <u>585-</u>		Phone #: _____

**MUST BE FILLED IN** PROJECT SITE LOCATION: 7001 Apple Tree Ave Tax Map # (TMP) 13.0-1-59.221  
Check w/ local Assessor or Tax Bill

**INSTRUCTIONS:** Using a ball point pen please fill out this application as completely as possible. Submit additional Attachment(s) (listed on the back of the Gold sheet) and the completed application to the Zoning Enforcement Officer (Z.E.O.). This application is **NON-TRANSFERABLE** and is **NOT** a permit to commence work.

- Application for Use: RESIDENTIAL ; COMMERCIAL ; INDUSTRIAL ; RECREATIONAL ; SITE PLAN ; AG.
- Permit for: NEW CONSTRUCTION ; ADDITION ; ALTERATION ; REPAIR ; CHANGE IN USE
- Is this parcel? ; A corner lot: YES  NO ; In a Sewer District? YES  NO ; In a Water District? YES  NO
- List the DIMENSIONS of the parcel: \_\_\_\_\_ x \_\_\_\_\_ and/or TOTAL PARCEL AREA (Acres) 19.8
- What are the parcel setbacks (Ft.) from the project. FRONT 940±; REAR 100' & SIDE yards (a) 100' (b) 200±
- Total % of coverage of ALL buildings on the parcel (including the proposed project): 14.4 TOTAL %
- Does this project require County Health Department approval? NO  YES . If yes, submit attachment F.
- Is this parcel properly subdivided? NO  YES . If yes, provide approved survey map.
- Do you give the Town VALID CONSENT to do the required inspections? YES  NO . If no, what procedures?
- Name of Architect/Engineer Apex Consulting Surveying Engineering Services PC Telephone # (716) 439-0188  
 Address: 102 East Ave Lockport NY 14094
- Name of Contractor(s) TBD Telephone # \_\_\_\_\_  
 Address \_\_\_\_\_

Estimated cost of the project? 5,000,000 est. [Substantiation may be required]

PROPOSED PROJECT	HEIGHT	LENGTH	WIDTH	SQ. FT.
HOUSE (1st floor)				
OTHER (or 2nd floor)				
GARAGE				
ACCESSORY BUILDING				
SWIMMING POOL				
DECK				
COMMERCIAL/INDUSTRIAL	<u>26'</u>	<u>500'</u>	<u>100'</u>	<u>50,000</u>
<b>TOTAL SQ. FT.</b>				<u>50,000</u>

- Total Dwelling units: NA
- Will electric be installed? Yes  No
- Describe the proposed project and use:  
New 50,000SF building for  
25,000SF tenant industrial  
mfg. and 25,000 SF for  
additional storage for Hank Porter  
Rental Business @ 7001 Apple Tree Ave  
(Use additional sheet(s) for more information)

I hereby certify that I have read the instructions and examined this application and supporting attachments and know the same to be true and correct. All provisions of laws and ordinances governing this type of work or use will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel provisions of any other state or local law or ordinance regulating construction or performance of construction.

Signature - OWNER: Jessy W. Carl Representative Date: 11-22-2021  
 Signature - APPLICANT (if different than owner): Same Date: \_\_\_\_\_

Action taken by Zoning Enforcement Officer: APPROVED  DENIED . Action necessary: SPECIAL USE  SITE PLAN  SCHEDULE A  VARIANCE: Area  Use

Article \_\_\_\_\_ Section \_\_\_\_\_ Subsection \_\_\_\_\_ Paragraph \_\_\_\_\_ Briefly Describe: \_\_\_\_\_  
 Zoning District: \_\_\_\_\_

Attachments Required: _____	Wetlands YES <input type="checkbox"/> NO <input type="checkbox"/> Flood Plain YES <input type="checkbox"/> NO <input type="checkbox"/>	Zoning \$ _____ Building \$ _____ Electric \$ _____ Late \$ _____ <b>TOTAL \$ _____</b>	Cash: _____ Check #: _____ Receipt #: _____
Z.E.O. _____ Signature _____			

Date of Action: \_\_\_\_\_

**OFFICE USE ONLY**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: <i>New 50,000 SF OFFICE &amp; WAREHOUSE/Manufacturing Facility</i>		
Project Location (describe, and attach a general location map): <i>7001 Apple Tree Ave Town of Bergen</i> <i>SB# 13-1-59.22</i>		
Brief Description of Proposed Action (include purpose or need): <i>1. New 50,000 SF office &amp; warehouse/manufacturing facility for 2-4 tenants</i> <i>2. Site utility connections for sanitary sewer, domestic and fire sprinkler system combined, electric and Gas (RGE)</i> <i>3. Storm Drainage Improvements including retention pond and bio-retention basins.</i> <i>4. Parking and Pavement circulation, site lighting and landscaping</i>		
Name of Applicant/Sponsor: <i>Apple tree Acres LLC</i>	Telephone: <i>585-370-5676</i>	E-Mail: <i>jacob@rentrightnow.com</i>
Address: <i>5885 Transit Rd.</i>		
City/PO: <i>EAST Amherst</i>	State: <i>NY</i>	Zip Code: <i>14051</i>
Project Contact (if not same as sponsor; give name and title/role): <i>Timothy W. Arlington, PE</i> <i>Apex Consulting Survey &amp; Engineering Services PC</i>	Telephone: <i>716-439-0188</i>	E-Mail: <i>t.arlington@apexconsultingpc.net</i>
Address: <i>102 EAST Ave</i>		
City/PO: <i>Lockport</i>	State: <i>NY</i>	Zip Code: <i>14094</i>
Property Owner (if not same as sponsor): <i>Same as sponsor</i>	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Bergen Town Planning Board	12/2021
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Monroe County Water Authority	12/2021
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SPDES NGI Permit	2/2022
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input type="checkbox"/> No

**C. Planning and Zoning**

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>If Yes, complete sections C, F and G.</li> <li>If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <i>Apple Tree Acres Corporate Park</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district? INT-1 Interchange - Industrial

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Byron Bergen Central School

b. What police or other public protection forces serve the project site?  
Genesee County Sheriff Dept.

c. Which fire protection and emergency medical services serve the project site?  
Bergen Fire Dept. Co.

d. What parks serve the project site?  
NA

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial / Industrial

b. a. Total acreage of the site of the proposed action? 19.8 acres  
b. Total acreage to be physically disturbed? 8.9 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 19.8 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 12 months

ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 1  
 ii. Dimensions (in feet) of largest proposed structure: 27' height; 100 width; and 500 length  
 iii. Approximate extent of building space to be heated or cooled: 50,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: Storm water Detention  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: Surface Drainage  
 iii. If other than water, identify the type of impounded/contained liquids and their source.  
 iv. Approximate size of the proposed impoundment. Volume: 1.20 million gallons; surface area: 1.2 acres  
 v. Dimensions of the proposed dam or impounding structure: N/A height; 600' length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
earth fill

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: 1000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Genesee Co. Water District No. 4
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: 750 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary Sewer waste from

employee Restrooms

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used:  Berge Wastewater Plant
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 3.9 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 19.6 acres (parcel size)

ii. Describe types of new point sources. Retention Pond Outlet to New Park Retention Pond Constructed 2020

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
Site Stormwater Management - Bioretention Basin (1) and Large Retention Pond

• If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: 50 KVA max. demand  
for 260 days per year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): Local Utility ; Village of Bergen Municipal

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: 8 AM - 5 PM
- Saturday: 8 AM - 5 PM
- Sunday: NA
- Holidays: NA

ii. During Operations:

- Monday - Friday: 8 AM - 5 PM
- Saturday: 8 AM - 5 PM
- Sunday: NA
- Holidays: NA

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:

---

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No

Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
LED Parking / Circulation Lighting, 25' H, Down lighting on site  
100' from building, offsite over 500'

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No

Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

---

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: 20 tons per month (unit of time)
- Operation: 10 tons per month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Dumpster - Pickup by Waste Management
- Operation: Dumpster - Pickup by Waste Management

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

---

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	4.1	8.0	+ 3.9
• Forested	0	0	
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	11.6	2.7	- 8.9
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	1.2	+ 1.2
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Landscape</u>	4.1	7.9	+ 3.8

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_  
 \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
 \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
 \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
 \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
 \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? 8' feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: 6' feet

e. Drainage status of project site soils:  Well Drained: 0 % of site  
 Moderately Well Drained: 95 % of site  
 Poorly Drained: 5 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_ N/A \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: \_\_\_\_\_  
 iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): \_\_\_\_\_  
 ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: \_\_\_\_\_  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_  
 iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

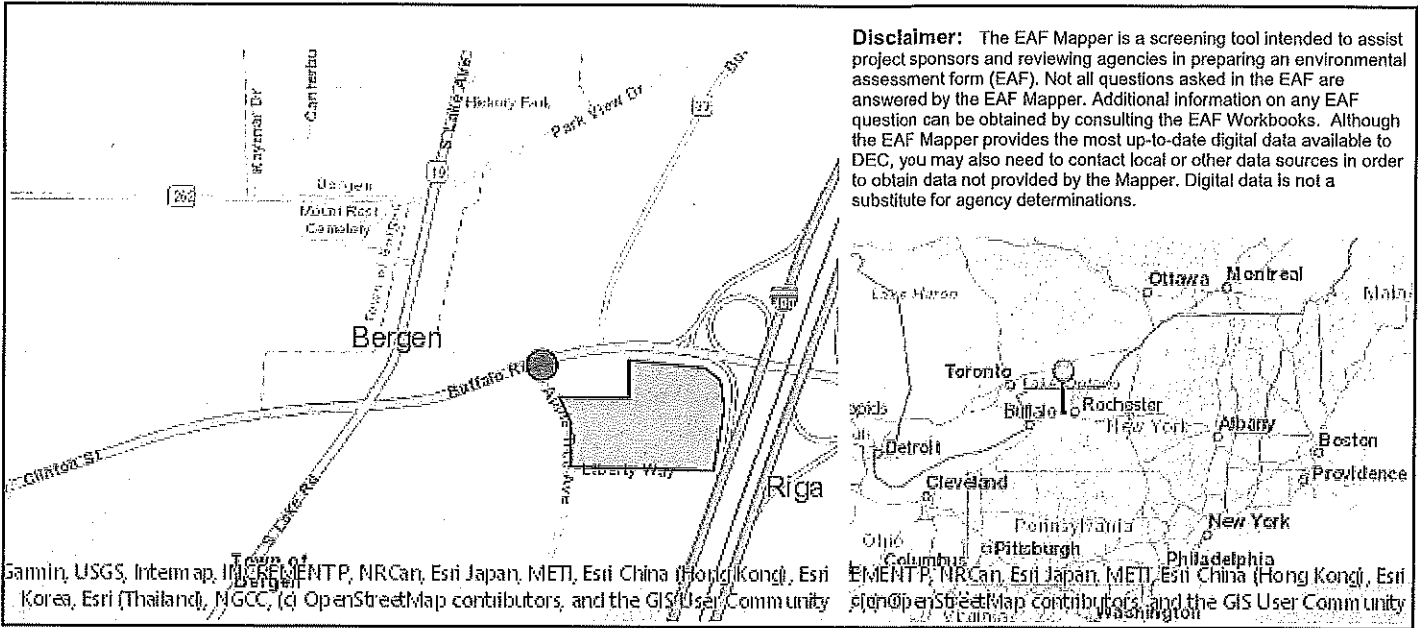
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jacob Berardo / Umberto Berardi Date 11-08-2021

Signature *Umberto Berardi* Title owner



B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



**Parks, Recreation,  
and Historic Preservation**

**KATHY HOCHUL**  
Governor

**ERIK KULLESEID**  
Commissioner

February 18, 2022

Kenneth Brown  
Engineer  
Apex Consulting  
102 East Avenue  
Lockport, NY 14094

Re: SEQRA  
Apple Tree Acres Office, Warehouse and Manufacturing Facility Construction Project  
7001 Apple Tree Ave, Bergen, Genesee County, NY  
22PR01180

Dear Kenneth Brown:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the opinion of OPRHP that no properties, including archaeological and/or historic resources, listed in or eligible for the New York State and National Registers of Historic Places will be impacted by this project.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

R. Daniel Mackay

Deputy Commissioner for Historic Preservation  
Division for Historic Preservation

January 24, 2022

Mr. Gary Fink, Chairman  
And Planning Board Members  
Town of Bergen  
10 Hunter Street  
Bergen, New York 14416

**RE: 50,000 SF OFFICE AND WAREHOUSE/MANUFACTURING FACILITY  
APPLE TREE CORPORATE BUSINESS PARK – 7001 APPLE TREE AVENUE  
PRELIMINARY SITE PLAN AND SWPPP REVIEW  
MRB PROJECT NO. 0202.18000.000**

Dear Mr. Fink and Planning Board Members:

As requested, MRB Group has completed a review of the revised Preliminary Site Plans dated November 1, 2021, last revised January 10, 2022 prepared by Apex Consulting Survey & Engineering Services, P.C. This document was submitted to MRB Group by Apex Consulting Survey & Engineering Services, P.C. on January 14, 2022. We offer the following preliminary comments for the Planning Boards consideration. A brief written response to each comment should be provided by the design engineer.

#### **SEQR COMMENTS**

1. The application is considered an Unlisted Action under SEQRA, and requires a determination to be made by the Planning Board. A Full Environmental Assessment Form (FEAF) Part 1 was provided for the Planning Board to review. A 30-day Coordinated Review is not required for Unlisted actions but the Planning Board may opt to coordinate with all applicable agencies to help make a SEQR determination.
2. The following comments are in regards to the FEAF Part 1 (No revised FEAF Part 1 has been submitted):
  - a. The Tax Map number in the project location appears to be incomplete. It is stated 13-1-59.22 while the Genesee County Real Property Tax Map number for the parcel in the plans is 13-1-59.221. This should be reviewed and revised.
  - b. Question B: The County Health Department does have environmental review authority for commercial/industrial wastewater treatment systems, unless the applicant has documentation to satisfy this requirement.
  - c. Question E.2.c.: The predominant soil type should be listed in this section.

#### **SITE PLAN AND GENERAL COMMENTS**

3. It should be stated if there is a manufacturing tenant that is anticipated to become a tenant at the completion of the project as the Interchange Industrial Zoning District requires a special use permit for light manufacturing.

4. A copy of all supporting correspondence from other agencies (e.g. local/state/federal) should be provided to the Town Planning Board and MRB Group for review.
5. All entrances to the site should comply with all New York State Universal Fire Code requirements for access roads. The Town Fire Marshall and Code Enforcement Officer should be satisfied that emergency access is adequate and meets NYS Building Code requirements. Correspondence should be provided to the Town Planning Board for review.
6. A sequence of construction should be added to the plans. This should include each step of the project clearing, erosion and sediment control measures, grading, stormwater, etc. in chronological order.
7. Snow storage areas shall be shown on the plan. In the response to the January 10, 2022 MRB comment letter it was stated that snow storage notes were added to the plan. Please identify the location of these notes.
8. A Letter of Credit is required for this project. An itemized engineer's estimate shall be provided which includes: erosion and sediment control practices, and stabilization. This should be a formal submission for review and will need to be approved and accepted by the Town prior to issuance of a building permit.

#### **GRADING, DRAINAGE, & EROSION CONTROL PLAN**

9. The concrete washout and Topsoil stockpile location should be more visible on the plans. The current gray scale depiction is not clear on the plans.

#### **UTILITY LAYOUT PLAN**

10. The location of the septic tank will have to be coordinated with at least the County Health Department and also may require MCWA prior to final approval. The County Health Department does have environmental review authority for commercial/industrial wastewater treatment systems, unless the applicant has documentation to satisfy this requirement.

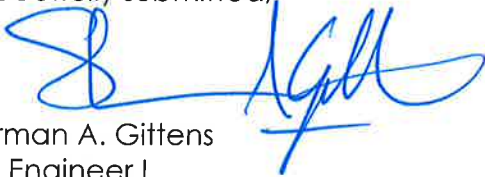
#### **SWPPP**

11. A revised SWPPP should be submitted for review. Approval of the Final SWPPP is required prior to the issuance of a building permit.
12. As previously stated the letter from the Office of Parks, Recreation, and Historic Preservation (OPRHP) dated March 21, 2008 does not make any statement of approval or no effect, also it should be made clear which site location corresponds with the sites identified in the letter. The applicant will need to provide a letter from OPRHP to support that there is no effect on archeologically sensitive land.
13. As previously stated it appears that the soil information and the geotechnical report are both regarding an area adjacent to the actual project area. The statement has been made that the soil types are the same. The documentation in the legal document (SWPPP) does not support that as the information does not reflect the total project area.

14. Drainage area maps for the existing and proposed project area need to be added to the SWPPP. These maps need to show the flow path that is being analyzed, the point of analysis, time of concentration for the flow path, and the total area of the drainage area.
15. All proposed erosion and sediment control practices for the project should have the corresponding specification sheet from the New York State Standards and Specifications for Erosion and Sediment Control, November 2016 (NYS Blue Book) added to the SWPPP.

Please feel free to contact our office with any comments or questions you may have in this regard. Thank you.

Respectfully submitted,



Sherman A. Gittens  
Civil Engineer I

Copies by Email Only to:

Supervisor Ernie Haywood  
Michael Johnson, Highway Superintendent  
Michele Smith, Town Clerk  
Timothy Arlington P.E., APEX Consulting



**APEX CONSULTING**  
Survey & Engineering Services, P.C.  
102 East Avenue, Lockport, New York 14094

Office: (716) 439-0188 • Fax: (716) 439-0189

TIMOTHY W. ARLINGTON, President

January 12, 2022

Mr. Gary Fink, Chairman  
and Planning Board Members  
Town of Bergen  
10 Hunter Street  
Bergen, NY 14416

RE: 50,000 SF Office and Warehouse/Manufacturing Facility – Apple Tree Corporate  
Business Park – 7001 Apple Tree Avenue, Town of Bergen  
Apex No. 21-095

Dear Mr. Fink and Planning Board Members

On January 10, 2022 we received a comment letter from your Engineering Consultant MRB Group that required a few changes and/or additional information along with several general comments. This letter addresses those comments.

1. This Business Park Development has already gone through SEQR coordinated review and approval including SHPO approval for the Archeological Cultural Resources Study. Our opinion, similar to Phase I (60,000 SF building), is this project should not require another coordinated review.
2. Item a, b, c ~ Tax number adjusted. The Genesee County Health Department review is not required. NYSOPRHP has already previously approved the Business Park Development further approval is not required.
3. General Comment – No Action
4. If a Special Use Permit is required it will be discussed at the next meeting.
5. Not Required
6. Okay – Descriptions were provided to Town
7. Okay
8. Fall Zone is for 3D printer as discussed at previous meeting.
9. Entrances comply
10. Key added to plans.
11. Erosion Control notes from SWPPP added to plans.
12. No Fire Lanes required.
13. Two dumpster locations were identified if necessary. Phase I Hank Parker Rental does not have a dumpster.

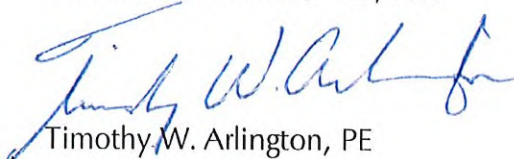


14. Notes on snow storage were added.
15. No pole or ground signs.
16. In discussing the erosion control measures, an estimate of \$15,000 is appropriate.
17. Spot Elevations added.
18. Concrete washout area added.
19. Topsoil Stockpile Location added.
20. Clearing and disturbance boundaries were shown on plans.
21. A separate Erosion Control Plan was included.
22. Flow arrows were added.
23. Not applicable to design.
24. All existing utilities are show on plans.
25. No floor drains will be used that require oil-water separator.
26. Slope corrected.
27. Note added to plans.
28. Septic tank location does not require either agency approval.
29. See No. 1 ~ OPRHP has already approved Business Park.
30. Soil types are the same, so the conservative design properties for infiltration remain the same.
31. Drainage Area Maps are in the SWPPP and in the design plans set.
32. All information is provided for HydroCAD calculations.
33. We will remove MS4 forms.
34. Erosion Control and Sediment Control Practices are included in SWPPP Appendices.
35. Okay
36. All requirements are included.
37. No changes to NOI.
38. This provision was not required for Phase I Project.

This concludes our response letter. Attached are revised plans. Copies of revised SEQR FEAF will be provided at next meeting.

Sincerely,

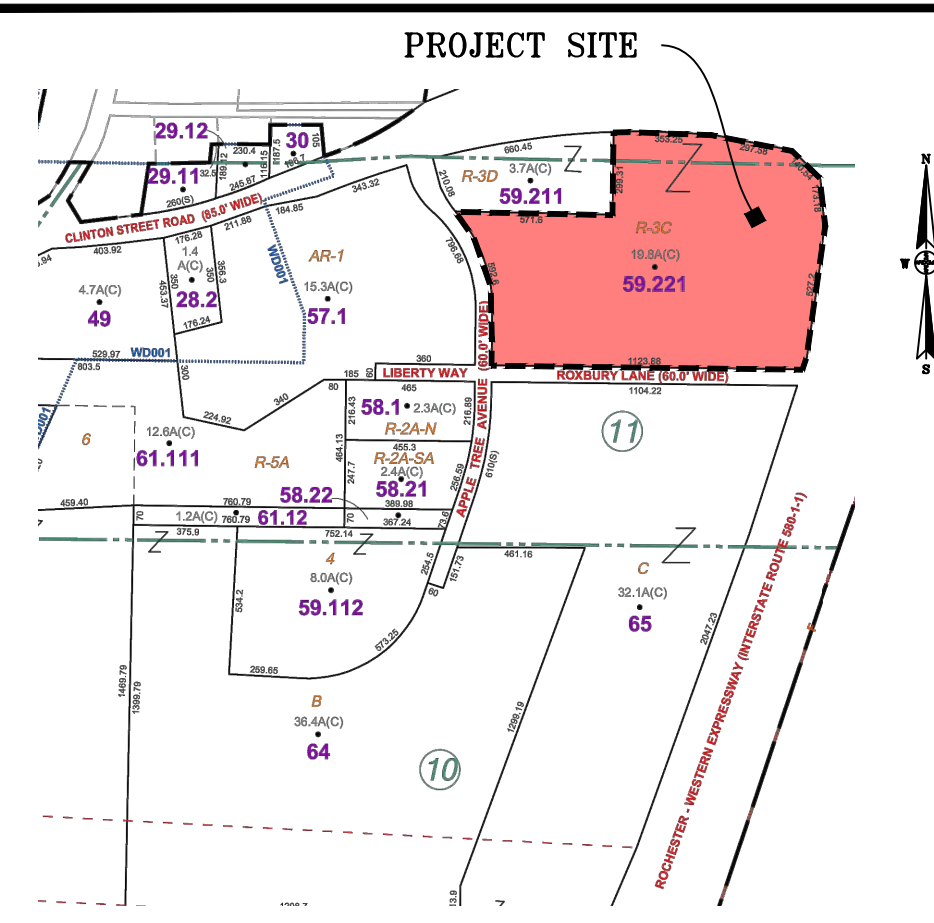
APEX CONSULTING SURVEY &  
ENGINEERING SERVICES, P.C.



Timothy W. Arlington, PE

TWA/BWB

XC: Supervisor, Ernie Haywood  
Jacob Berardi, Owner  
Chris Souzzi, GL Planning  
Sherman Gittens, MRB Group



**LAYOUT NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF WORKERS AND OTHER PERSONS BY ANY MEASURES DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN, ORDERLY, AND FREE OF DEBRIS ON A DAILY BASIS. FINAL CLEANUP SHALL BE TO THE OWNER'S SATISFACTION.
4. REFER TO DWG. NO. DT1 FOR SITE CONSTRUCTION DETAILS.

**GENERAL NOTES:**

1. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION (HORIZONTAL & VERTICAL) PRIOR TO CONSTRUCTION.
2. VERIFY ALL EXISTING CONDITIONS (I.E. AS-BUILT LOCATIONS, ELEVATIONS & DIMENSIONS) PRIOR TO BID PREPARATION AND CONSTRUCTION.
3. CONTRACTOR IS TO OBTAIN PERMISSION TO ACCESS UTILITIES WITHIN RIGHT-OF-WAY AND/OR UNDER THE AUTHORITY OF OTHERS.
4. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL TYPES OF ROOT, TRUNK AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS AND CONSTRUCTION FENCE WHICH PREVENT FILLING ON TOP, OR SOIL COMPACTION OVER ROOTS.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL CONSTRUCTION SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISION BY THE TOWN ENGINEER.
6. CONTRACTOR SHALL REPAIR ALL SIDEWALKS, PAVEMENTS AND LAWN AREAS DISTURBED BY SITE WORK.

**PROJECT SITE DATA:**  
**PARCEL DATA:**  
 S.B.L. ID #: 13.0-1-59.221  
 SIZE: 19.8± AC.

**INT-1 ZONING REGULATIONS:**  
 CURRENT ZONING: INTERCHANGE-INDUSTRIAL (INT-1)  
 MINIMUM FRONT YARD SETBACK: 80'  
 MINIMUM REAR YARD SETBACK: 35'  
 MINIMUM SIDE YARD SETBACK: 40'  
 MAXIMUM LOT COVERAGE ALLOWED: 30% (COMMERCIAL)  
 MAXIMUM LOT COVERAGE ALLOWED: 35% (LIGHT INDUSTRIAL)  
 MAXIMUM BUILDING HEIGHT ALLOWED: 35'

**PARKING SPACES:**  
 REQUIRED: AS NEEDED BY OWNER AND SUBJECT TO PLANNING BOARD INPUT.  
 REQUIRED PARKING SPACE SIZE: 10' X 20' TO PROVIDE 200 S.F. MINIMUM.

NOTE: THESE PLANS DO NOT ASSURE THE PRESENCE OR LOCATION OF UTILITIES. THE CONTRACTOR SHALL NOTIFY "DIG SAFELY-NEW YORK" TOLL FREE AT 1-800-962-7962 TWO (2) FULL WORKING DAYS BEFORE THE START OF CONSTRUCTION, NOT COUNTING THE DAY OF YOUR CALL.



**APPROVAL SIGNATURES:**

TOWN ENGINEER:	DATE:
TOWN ZONING/CODE ENFORCEMENT OFFICER:	DATE:
TOWN HIGHWAY SUPERINTENDENT:	DATE:
PLANNING BOARD CHAIR:	DATE:

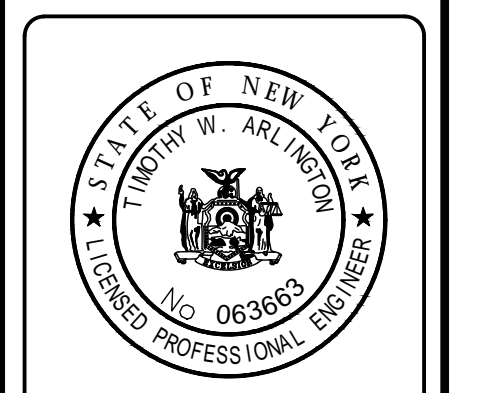
**SITE LAYOUT PLAN**  
 SCALE: 1"=50'

**REVISIONS**

DATE	DESCRIPTION	BY
1/10/22	REVISED PER IWB COMMENTS (1/10/22)	ACM

**PROJECT TITLE:** ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE  
 7001 APPLE TREE AVE., TOWN OF BERGEN  
**CLIENT:** APPLE TREE ACRES LLC / UMBERTO BERARDI  
 5885 TRANSIT ROAD  
 EAST AMHERST, NY 14051  
**DRAWING TITLE:** SITE LAYOUT PLAN

**APEX CONSULTING**  
 SURVEY & ENGINEERING SERVICES, P.C.  
 SURVEYING • ENGINEERING • LANDSCAPE ARCHITECTURE  
 102 EAST AVENUE, LOCKPORT, NEW YORK 14094  
 Phone: (716) 439-0188 FAX: (716) 439-0189



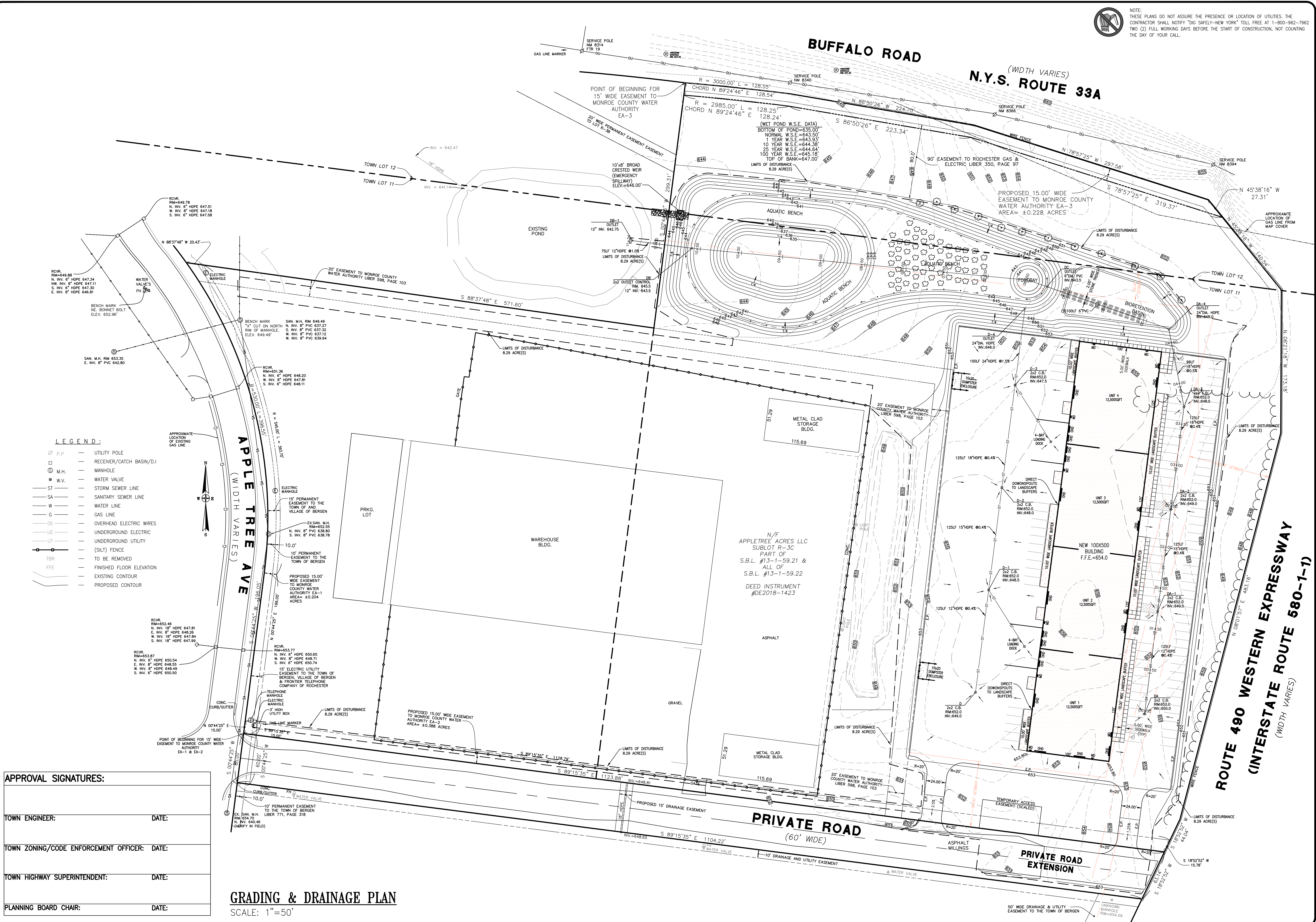
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DATE: 11/1/21  
 SCALE: 1"=50'  
 PROJECT NO.: 21-095  
 DRAWN BY: ACM  
 CHECKED BY: TWA

**SL-1**  
 SHEET OF



NOTE:  
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- LEGEND:**
- ⊙ P.P. — UTILITY POLE
  - — RECEIVER/CATCH BASIN/D.I.
  - ⊙ M.H. — MANHOLE
  - ⊙ W.V. — WATER VALVE
  - ST — STORM SEWER LINE
  - SA — SANITARY SEWER LINE
  - W — WATER LINE
  - G — GAS LINE
  - OE — OVERHEAD ELECTRIC WIRES
  - UE — UNDERGROUND ELECTRIC
  - UT — UNDERGROUND UTILITY
  - (SILT) FENCE
  - TBR — TO BE REMOVED
  - FFE — FINISHED FLOOR ELEVATION
  - — — — — EXISTING CONTOUR
  - — — — — PROPOSED CONTOUR

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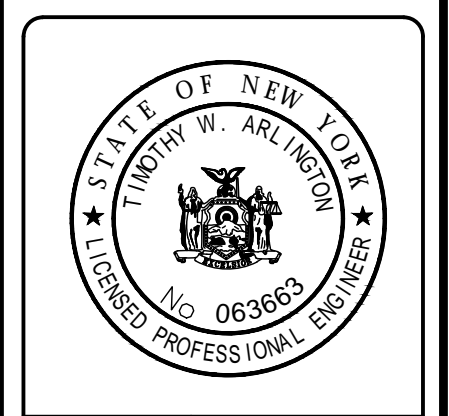
**GRADING & DRAINAGE PLAN**  
SCALE: 1"=50'

**REVISIONS**

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PROJECT TITLE: **ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE**  
 7001 APPLETREE AVE., TOWN OF BERGEN  
 CLIENT: **APPLETREE ACRES LLC / UMBERTO BERARDI**  
 5885 TRANSIT ROAD  
 EAST AMHERST, NY 14051  
 DRAWING TITLE: **GRADING & DRAINAGE PLAN**

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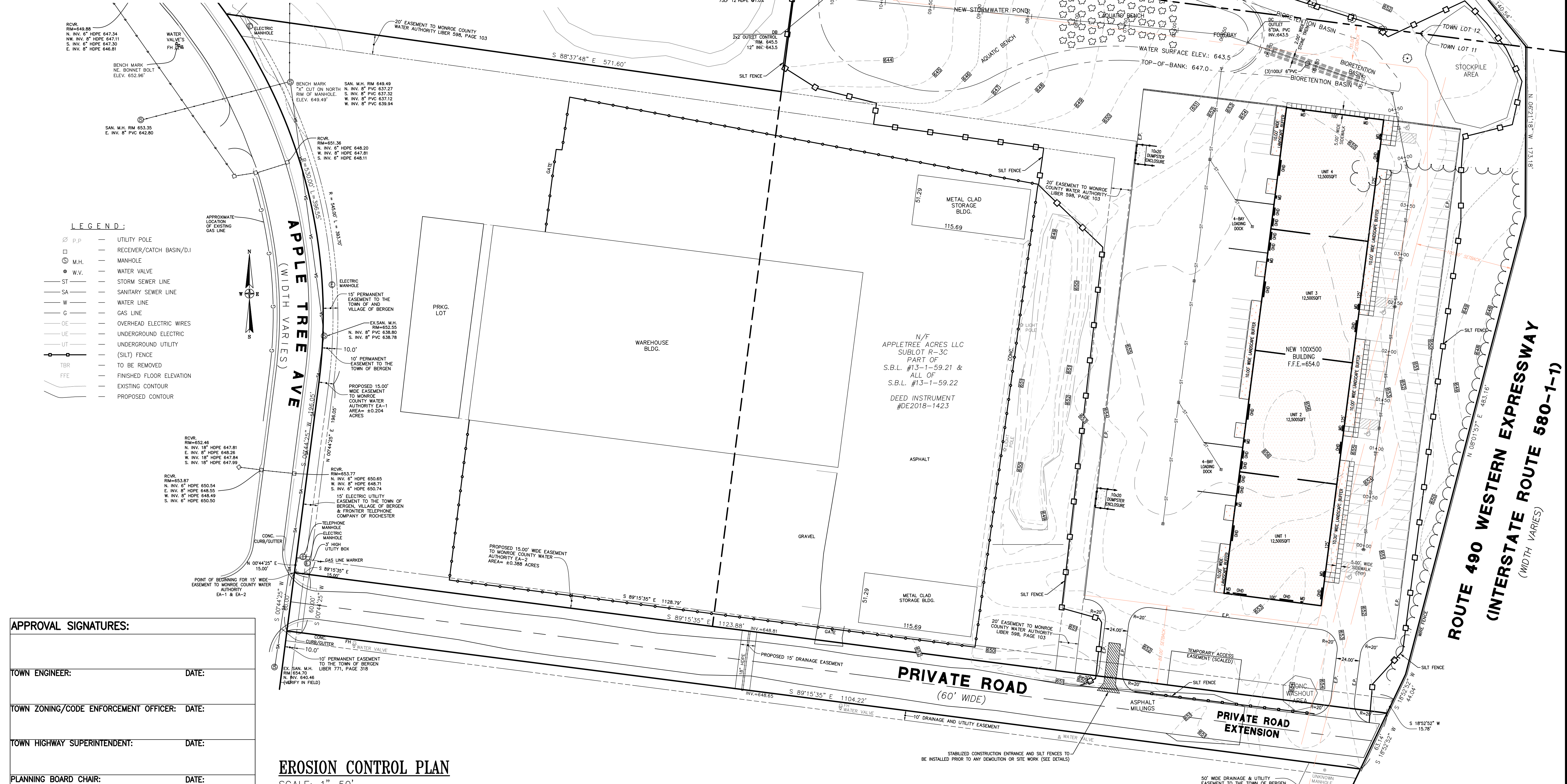
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CHECKED BY:	TWA

DWG. NO.:  
SHEET **GD-1** OF

**SEQUENCE OF EROSION CONTROL:**

1. Install the stabilized construction entrance/exit per Erosion Control Plan.
2. Install silt fence per Erosion Control Plan.
3. Clear and remove vegetation (if necessary).
4. Strip and stockpile topsoil in designated areas. Stockpiled topsoil shall be seeded and silt fence placed around perimeter immediately. Earthwork can begin at this time.
5. Diversion swales (if necessary) shall be constructed in conjunction with earthwork.
6. All erosion and sediment control practices shall be inspected at least every 7 calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater. Inspections shall be conducted by a qualified professional and record of such inspection be recorded in the site log book. Additionally, copies of inspection reports will be supplied to the MS4 management officer. Inspection reports must meet the minimum requirements in the SPDES permit. The qualified professional for inspections will meet the "qualified inspector" qualifications in the SPDES permit.
7. The owner or operator shall maintain a copy of the General Permit (GP-0-20-001), N.O.I., N.O.J. Acknowledgement letter, SWPPP, MS4 SWPPP Acceptance form and inspection reports at the site until all disturbed areas have achieved final stabilization and the N.O.T. has been submitted to the department. These documents must be maintained in a secure location, such as a job trailer, construction office or large mailbox with a lock. The secure location must be accessible during normal business hours to an individual performing compliance inspections.
8. The grading of the site to include all storm water management components shall be performed by accepted practices.
9. The building will be constructed and under ground utilities placed concurrently. Earthwork for utility placement which requires traversing storm water control structures or components will be performed to allow same day reinstallation of said components.
10. Drive way and parking lot construction will be completed following any other excavation dependent activities to prevent soil tracking following stabilized construction entrance being converted to final driveway configuration.
11. Final landscaping, including grading, seeding and plantings will be performed and growth established prior to removal of storm water control measures as outlined in the SPDES permit.
12. Prior to filing for notice of termination or the end of the permit term, a final site erosion and sediment control inspection shall be conducted by the qualified inspector. The qualified inspector shall certify that the site has undergone final stabilization using either vegetative or structural controls, and that temporary measures not needed for long term erosion control have been removed, and must sign-off on the N.O.T. under post-construction stormwater practices, along with the owner's sign-off and submit to the NYSDEC. The MS4 officer may require a final inspection prior to signing the Notice of Termination.
13. The owner must maintain records for 5 years after acceptance of the Notice of Termination (N.O.T).
14. The site will require post construction maintenance on those components that remain in use. The pond will require monitoring for both sediment build-up and growth of plants that could limit the smooth flow of water. The outlet pipe and control structure should be inspected each year for sediment build-up and blockages, and any materials removed.

NOTE: ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IN PLACE BEFORE CONSTRUCTION BEGINS.



**APPROVAL SIGNATURES:**

TOWN ENGINEER:	DATE:
TOWN ZONING/CODE ENFORCEMENT OFFICER:	DATE:
TOWN HIGHWAY SUPERINTENDENT:	DATE:
PLANNING BOARD CHAIR:	DATE:

**EROSION CONTROL PLAN**  
SCALE: 1"=50'

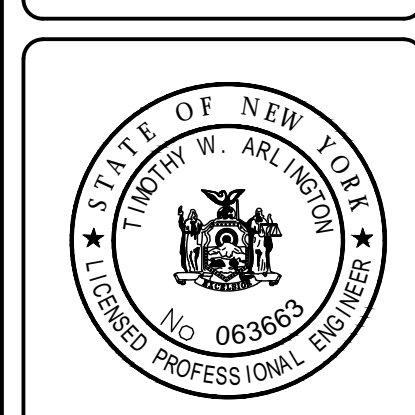
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**REVISIONS**

DATE	DESCRIPTION	BY	ACM
1/10/22	REVISED PER MR COMMENTS (1/10/22)		

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5885 TRANSIT ROAD  
EAST AMHERST, NY 14051  
DRAWING TITLE: **EROSION CONTROL PLAN**

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CHECKED BY:	TWA
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SHEET	OF

**ER-1**

**GENERAL NOTES:**

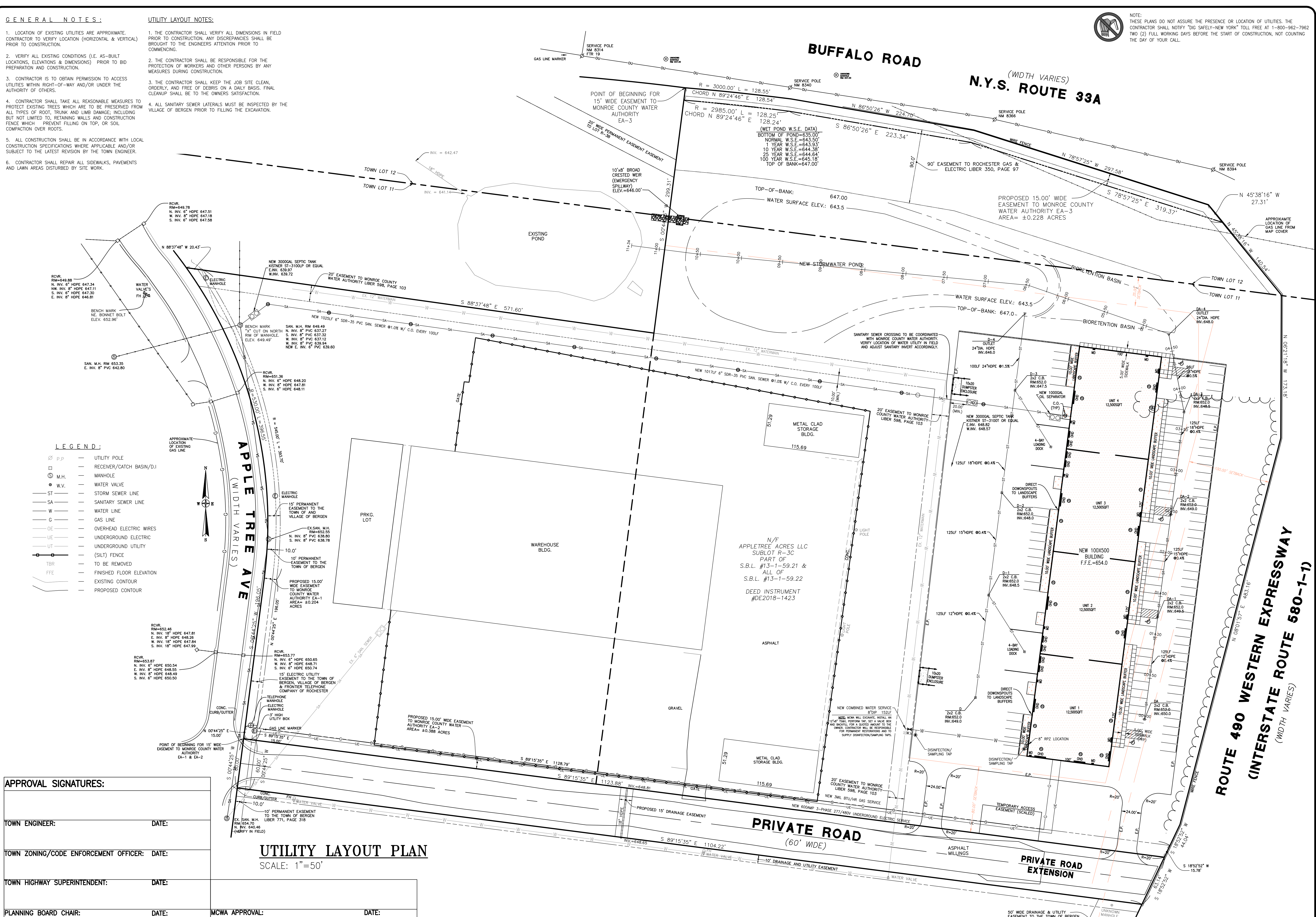
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**UTILITY LAYOUT NOTES:**

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4. ALL SANITARY SEWER LATERALS MUST BE INSPECTED BY THE VILLAGE OF BERGEN PRIOR TO FILLING THE EXCAVATION.



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**LEGEND:**

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PLANNING BOARD CHAIR:	DATE:

**UTILITY LAYOUT PLAN**  
SCALE: 1"=50'

**MCWA APPROVAL:**

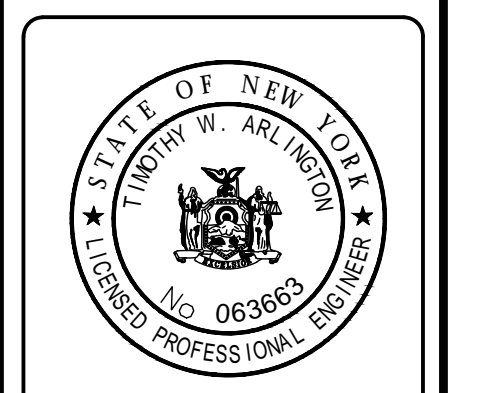
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**REVISIONS**

DATE	DESCRIPTION	BY
2/17/22	REVISED PER O&A COMMENTS	ACM
2/14/22	REVISED PER MCWA COMMENTS	ACM
1/19/22	REVISED PER A&E COMMENTS (1/19/22)	ACM

PROJECT TITLE: **ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE**  
7001 APPLETREE AVE., TOWN OF BERGEN  
CLIENT: **APPLETREE ACRES LLC / UMBERTO BERARDI**  
5885 TRANSPORT ROAD  
EAST AMHERST, NY 14051  
DRAWING TITLE: **UTILITY LAYOUT PLAN**

**APEX CONSULTING**  
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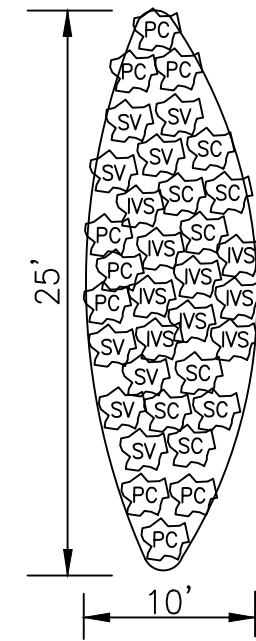
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**PROJECT PLANT MATERIAL SCHEDULE:**

KEY SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
AR	Acer rubrum	Red Maple Tree	1 1/2" cal.	12	B&B
PE	Prunus serotina	Black Cherry Tree	1 1/2" cal.	8	B&B
GD	Gymniodia dioicus	Kentucky Coffee Tree	1 1/2" cal.	3	B&B
IV	Ilex verticillata 'Winter Red'	Winter Red Winterberry Shrub	12"-18"	47	#5 Cont. male/female
SC	Sambucus canadensis	Elderberry Shrub	12"-18"	7	#5 Cont.
CO	Celtis occidentalis	Common Hackberry Tree	1 1/2" cal.	5	B&B
AC	Abies concolor	Concolor Fir Tree	4-6' hgt.	31	B&B
PS	Pinus strobus	White Pine Tree	4-6' hgt.	8	B&B
<b>Wet Pond Aquatic Bench (AB) Area Species</b>					
PC	Pontederia cordata	Pickeralweed	2" PLUG	43	2'-0" O.C.
SC	Schoenoplectus cyperinus	Woolgrass	2" PLUG	48	2'-0" O.C.
SV	Scirpus validus	Soft-stem Bulrush	2" PLUG	43	2'-0" O.C.
IVS	Iris virginica var. shrevei	Virginia Iris	2" PLUG	54	2'-0" O.C.



9 X 6 AREAS=54 TOTAL  
8 X 6 AREAS=48 TOTAL  
8 X 6 AREAS=48 TOTAL  
9 X 6 AREAS=54 TOTAL

(AB MIX) Wet Pond Aquatic Bench Area Species Key:  
( 6 AREAS )

**PROJECT PLANT MATERIAL LEGEND:**

- PROPOSED DECIDUOUS TREE
- PROPOSED DECIDUOUS SHRUB
- PROPOSED EVERGREEN TREE
- PROPOSED PLANT SPECIES KEY SYMBOL
- PROPOSED PLANT SPECIES QUANTITY

**LANDSCAPING NOTES:**

- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS SUFFICIENT TO COMPLETE THE PLANTING QUANTITIES SHOWN ON THIS DRAWING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER (IF OWNER REQUESTS).
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON (IF OWNER REQUESTS).
- PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.
- ALL NEW PLANTING MATERIAL SHALL HAVE A TWO YEAR REPLACEMENT QUARANTEE STARTING FROM FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

**PERMANENT GROUND COVER SEED MIXES:**

- (BRB) FOR BIO-RETENTION BASINS AND 2 ON 1 SLOPES AS FOLLOWS:  
PERENNIAL RYE GRASS @ 0.68 LBS. PER 1,000 S.F.  
TALL FESCUE @ 0.45 LBS. PER 1,000 S.F.  
REDTOP @ 0.05 LBS. PER 1,000 S.F.
- (PMA) FOR PERMANENT MOWED LAWN AREAS ADJACENT TO THE BUILDING AS FOLLOWS:  
65% KENTUCKY BLUEGRASS @ 2.5 LBS. PER 1,000 S.F.  
20% PERENNIAL RYEGRASS @ 0.6 LBS. PER 1,000 S.F.  
15% FINE FESCUE @ 0.5 LBS. PER 1,000 S.F.
- (PSR) FOR PERMANENT SEEDING FOR ALL OPEN AREAS INCLUDING SWMB-1 SIDESLOPES AS FOLLOWS:  
COMMON WHITE CLOVER @ 0.20 LBS. PER 1,000 S.F.  
TALL FESCUE @ 0.45 LBS. PER 1,000 S.F.  
PERENNIAL RYE GRASS @ 0.10 LBS. PER 1,000 S.F.

NOTE: ALL SEEDING TO BE COVERED WITH STRAW MULCH UPON APPLICATION TO THE TOPSOIL.

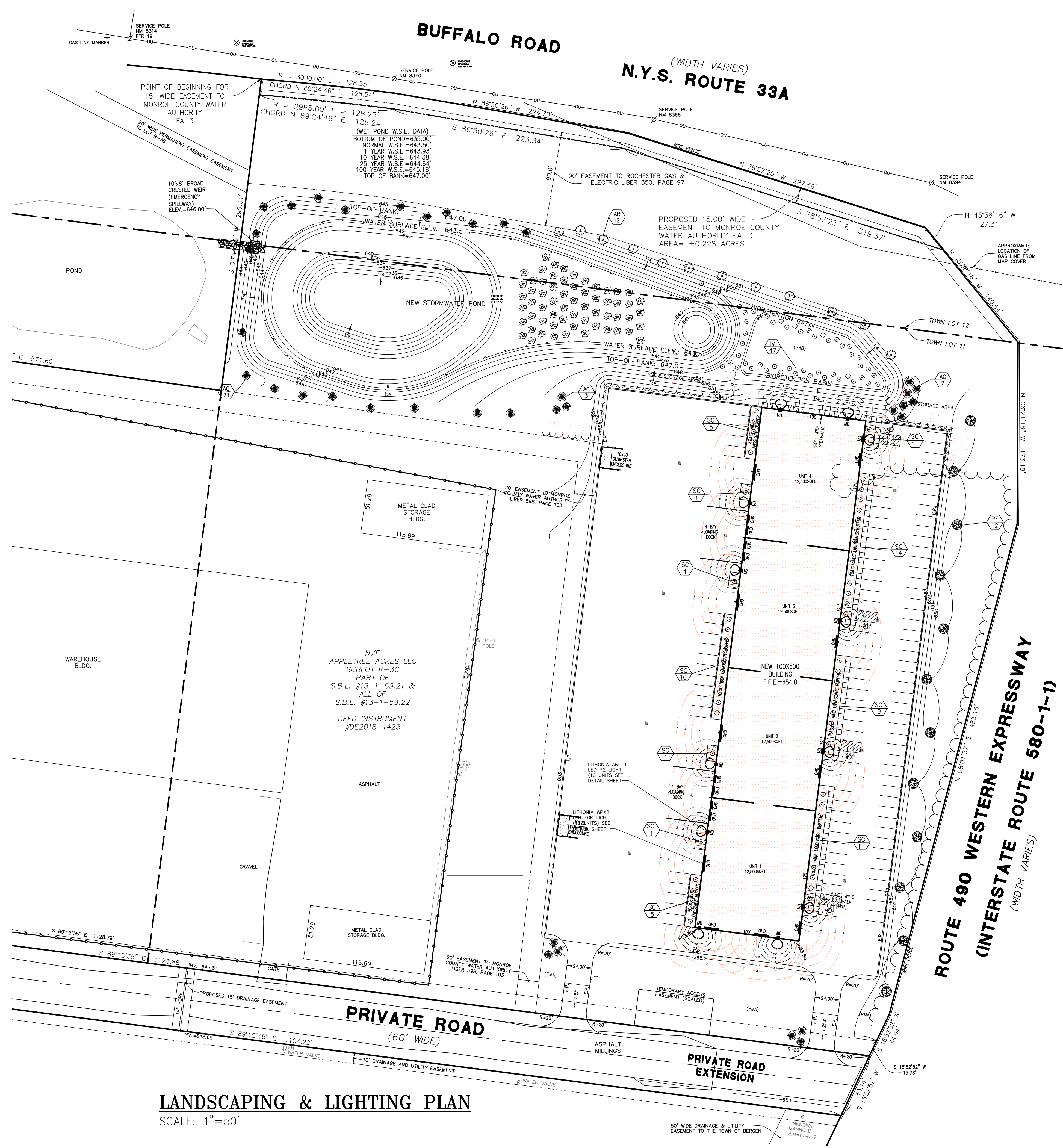
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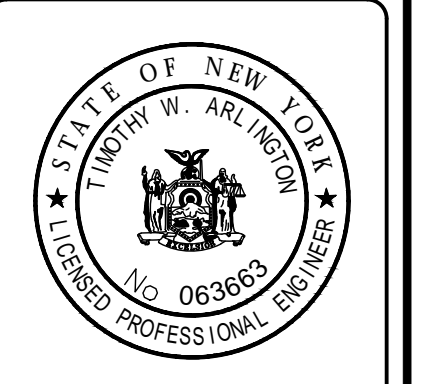


**LANDSCAPING & LIGHTING PLAN**  
SCALE: 1"=50'

REVISIONS	DESCRIPTION	DATE

PROJECT TITLE: **ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE**  
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102 EAST AVENUE, LOCKPORT, NEW YORK 14094  
Phone: (716) 439-0188 FAX: (716) 439-0189




ANY UNAUTHORIZED ALTERATION OR ADDITION OF THIS DRAWING / DOCUMENT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW  
DATE: 11/1/21  
SCALE: 1"=50'  
PROJECT NO.: 21-095  
DRAWN BY: ACM  
CHECKED BY: TWA  
**LA-1**  
SHEET OF



NOTE:  
THESE PLANS DO NOT ASSURE THE PRESENCE OR LOCATION OF UTILITIES. THE CONTRACTOR SHALL NOTIFY "DIG SAFELY-NEW YORK" TOLL FREE AT 1-800-962-7962 TWO (2) FULL WORKING DAYS BEFORE THE START OF CONSTRUCTION, NOT COUNTING THE DAY OF YOUR CALL.

### ARC1 LED Architectural Wall Luminaire



**Specifications**  
Depth (D1): 6.5"  
Depth (D2): 4.75"  
Height: 5"  
Width: 11"  
Weight: 7 lbs (without optional)

**ARC LED Family Overview**

Series	Model	Power (W)	Beam Angle	Height (ft)	Width (in)	Depth (in)	Weight (lbs)
ARC1 LED	4K	4W	40°	5	11	6.5	7
ARC1 LED	8K	8W	40°	5	11	6.5	7

**Ordering Information**

Code	Package	Lead Time (Weeks)	Notes
ARC1 LED	P1 1,500 Lumens	8W 300K	40°
	P2 2,000 Lumens	8W 400K	40°
	P3 3,000 Lumens	8W 500K	40°

**Accessories**  
VSW-0001: Safety membrane for impact protection

**Notes**  
1. LED not available with 8000K.  
2. LED not available with 2000K.

### Contractor Select™ WPX LED Wall packs

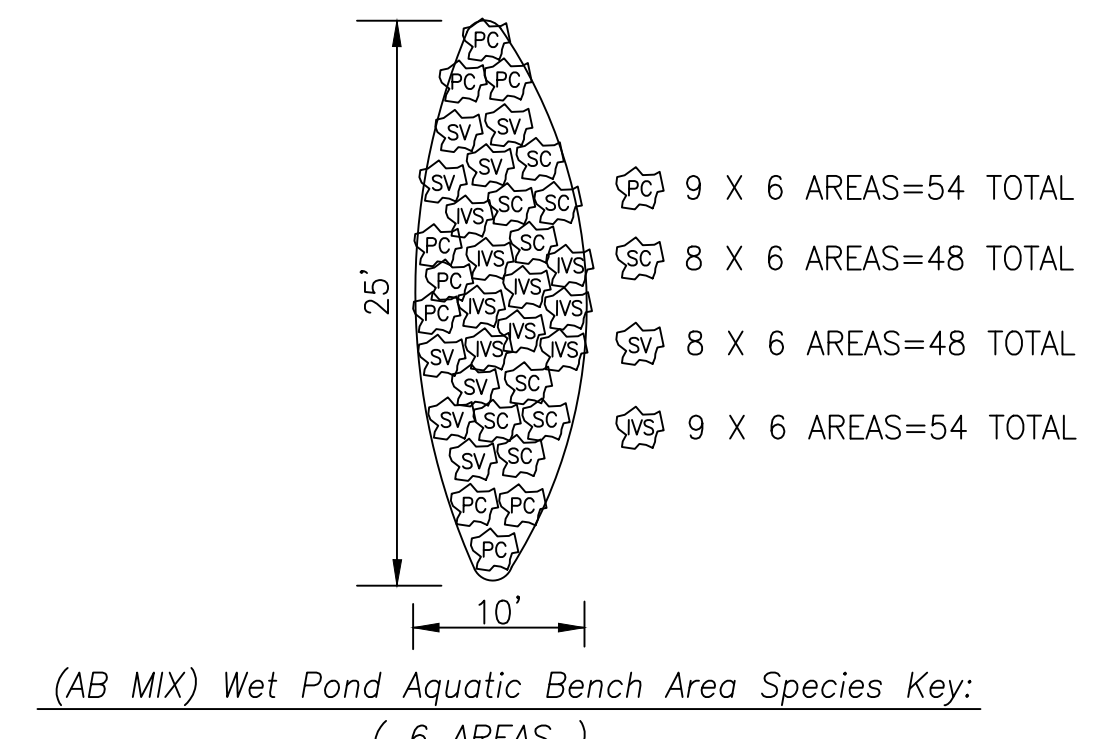


**Introduction**  
The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback. ARC1 delivers up to 3,000 lumens with a soft, non-polluted light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

**Features:**  
• Architectural design at very economical prices  
• Energy efficient - payback in less than two years  
• Wide range of configuration options available

**Specifications Table:**

Series	Code	Power (W)	Beam Angle	Height (ft)	Width (in)	Depth (in)	Weight (lbs)
WPX	4000K	2,000	30°	1.5	14.5	1.5	1.5
WPX	4000K	4,000	40°	1.5	14.5	1.5	1.5
WPX	4000K	6,000	40°	1.5	14.5	1.5	1.5
WPX	4000K	8,000	40°	1.5	14.5	1.5	1.5



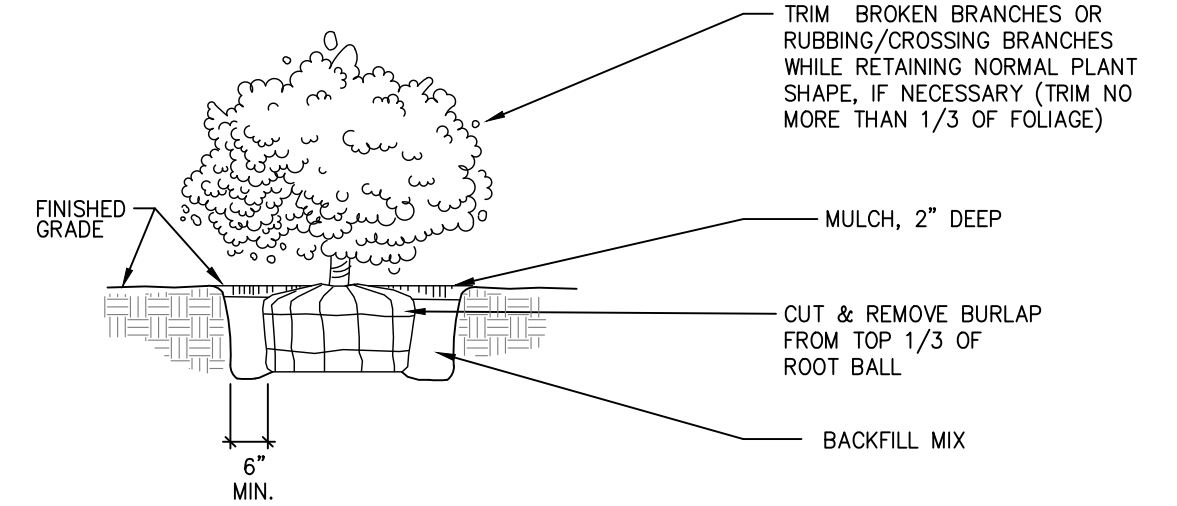
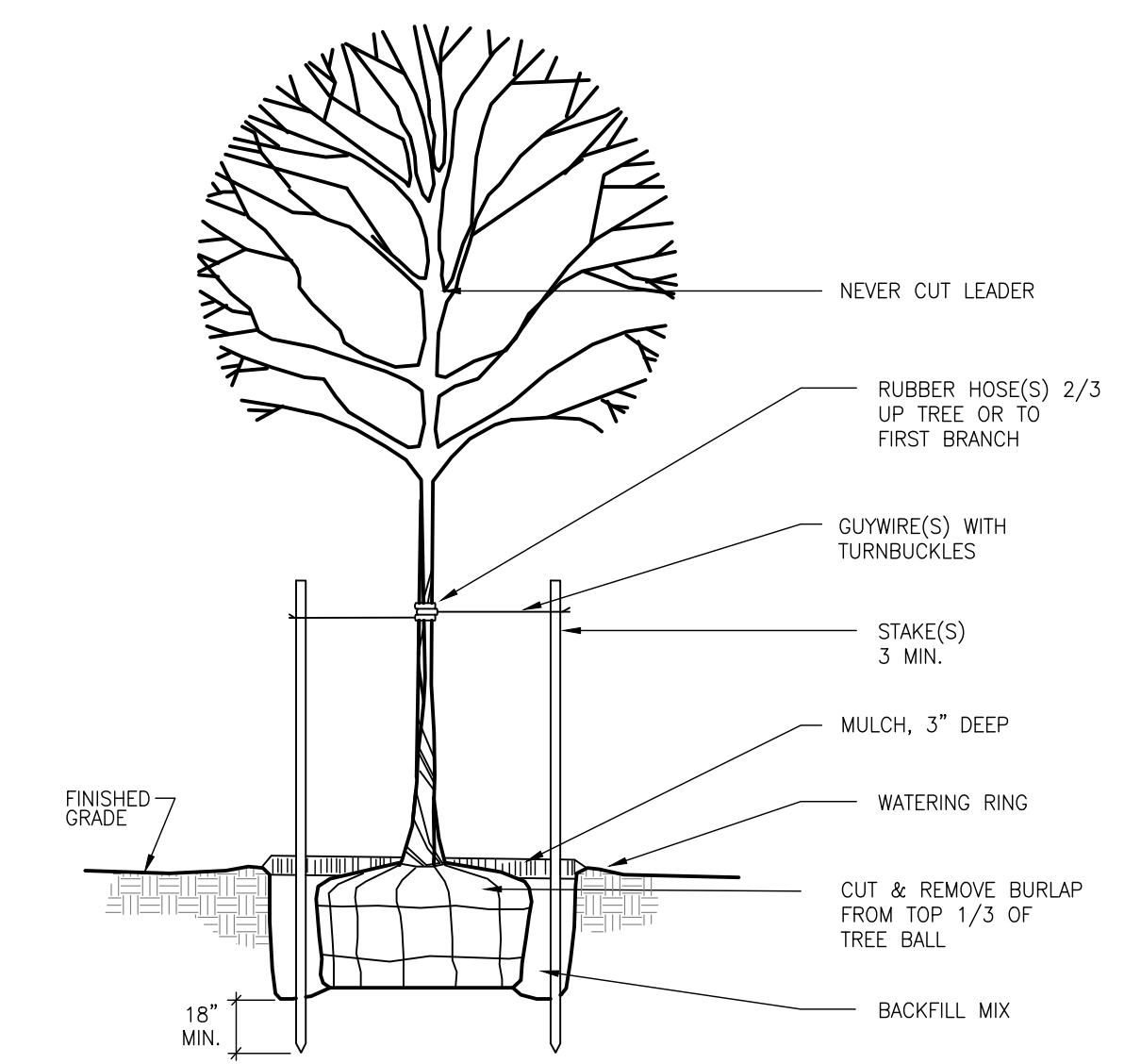
### PROJECT PLANT MATERIAL SCHEDULE:

KEY SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
MP	Malus 'Prairie Fire'	Prairie Fire Crabapple Tree	1 1/2" cal.	4	B&B
AC	Abies concolor	Concolor Fir Tree	4-6 hgt.	7	8'-12" O.C.
AB	Abies balsamea	Balsam Fir Tree	4-6 hgt.	10	8'-12" O.C.
AS	Acer saccharum	Sugar Maple Tree	1 1/2" cal.	5	B&B
PS	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	1 1/2" cal.	6	B&B
VS	Viburnum sargentii 'Onondaga'	Onondaga Viburnum	12"-18"	5	#5 cont.
IC	Ilex crenata 'Green Luster'	Green Luster Holly	12"-18"	6	#5 cont.
SN	Sorghastrum nutans 'Sioux'	Sioux Blue Indian Grass	12"-18"	13	#5 cont.
RM	Rosa 'Meivahyn'	Knockout Rose	12"-18"	5	#5 cont.

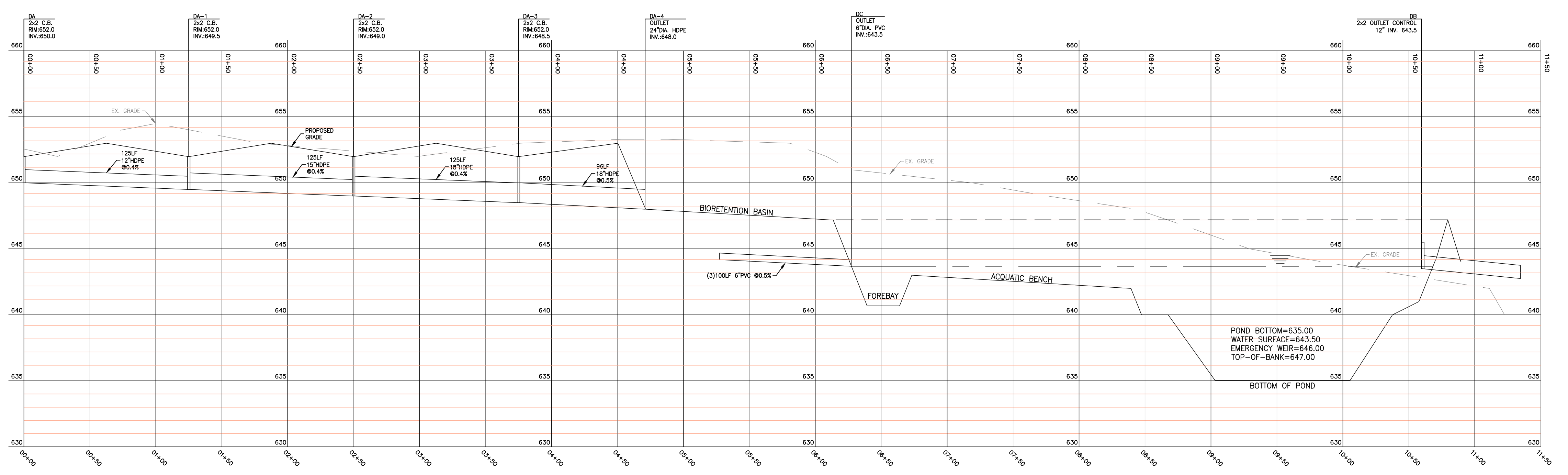
### Wet Pond Aquatic Bench (AB) Area Species

PC	Pontederia cordata	Pickerelweed	2" PLUG	54	2'-0" O.C.
SC	Schoenoplectus cyperinus	Woolgrass	2" PLUG	48	2'-0" O.C.
SV	Scirpus validus	Soft-stem Bulrush	2" PLUG	48	2'-0" O.C.
IVS	Iris virginica var. shrevei	Virginia Iris	2" PLUG	54	2'-0" O.C.



## EXTERIOR LIGHTING SPECIFICATIONS

- ### LANDSCAPING NOTES:
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS SUFFICIENT TO COMPLETE THE PLANTING QUANTITIES SHOWN ON THIS DRAWING.
  - ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
  - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
  - ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER (IF OWNER REQUESTS).
  - ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON (IF OWNER REQUESTS).
  - PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.
  - ALL NEW PLANTING MATERIAL SHALL HAVE A TWO YEAR REPLACEMENT QUARANTEE STARTING FROM FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
- ### PERMANENT GROUND COVER SEED MIXES:
- (BRB) FOR BIO-RETENTION BASINS AND 2 ON 1 SLOPES AS FOLLOWS:  
PERENNIAL RYE GRASS @ 0.68 LBS. PER 1,000 S.F.  
TALL FESCUE @ 0.45 LBS. PER 1,000 S.F.  
REDTOP @ 0.05 LBS. PER 1,000 S.F.
  - (PMA) FOR PERMANENT MOWED LAWN AREAS ADJACENT TO THE BUILDING AS FOLLOWS:  
85% KENTUCKY BLUEGRASS @ 2.5 LBS. PER 1,000 S.F.  
20% PERENNIAL RYEGRASS @ 0.6 LBS. PER 1,000 S.F.  
15% FINE FESCUE @ 0.5 LBS. PER 1,000 S.F.
  - (PSR) FOR PERMANENT SEEDING FOR ALL OPEN AREAS INCLUDING SWMB-1 SIDESLOPES AS FOLLOWS:  
COMMON WHITE CLOVER @ 0.20 LBS. PER 1,000 S.F.  
TALL FESCUE @ 0.45 LBS. PER 1,000 S.F.  
PERENNIAL RYE GRASS @ 0.10 LBS. PER 1,000 S.F.
- NOTE: ALL SEEDING TO BE COVERED WITH STRAW MULCH UPON APPLICATION TO THE TOPSOIL.



## STORM PROFILE

SCALE: 1"=50'

### APPROVAL SIGNATURES:

TOWN ENGINEER:	DATE:
TOWN ZONING/CODE ENFORCEMENT OFFICER:	DATE:
TOWN HIGHWAY SUPERINTENDENT:	DATE:
PLANNING BOARD CHAIR:	DATE:

REVISIONS	DESCRIPTION	DATE

PROJECT TITLE: ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE  
7001 APPLETREE AVE., TOWN OF BERGEN  
CLIENT: APPLETREE ACRES LLC / UMBERTO BERARDI  
5885 TRANSIT ROAD  
EAST AMHERST, NY 14051  
DRAWING TITLE: DETAILS & STORM PROFILE

## APEX CONSULTING

SURVEYING • ENGINEERING • LANDSCAPE ARCHITECTURE

**SURVEY & ENGINEERING SERVICES, P.C.**

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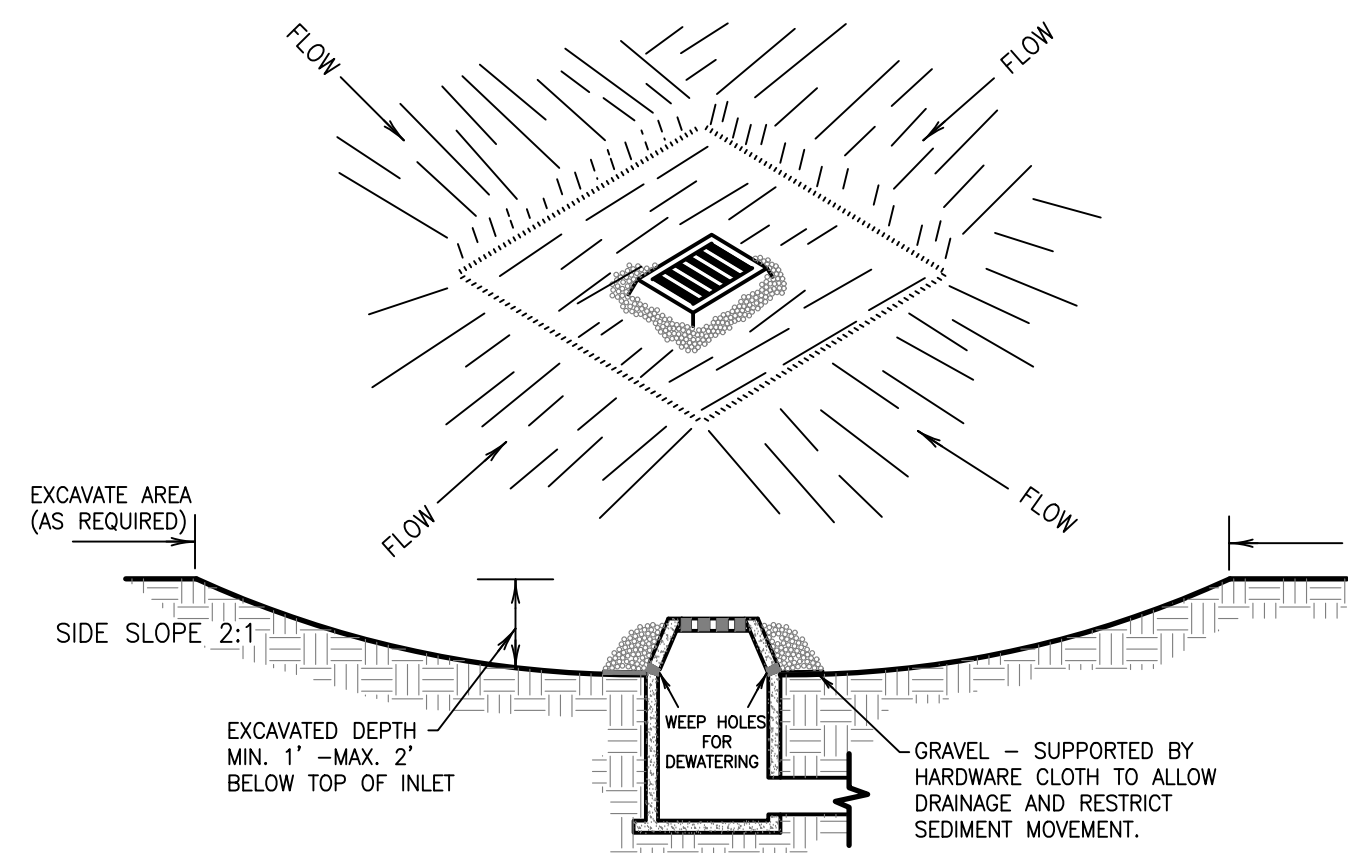


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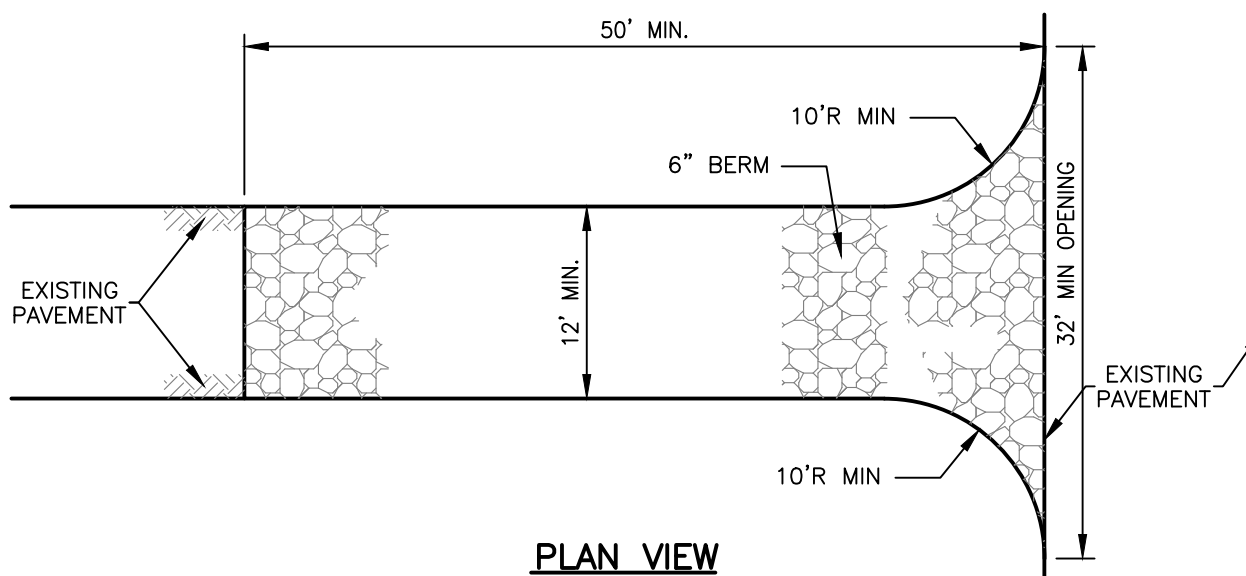
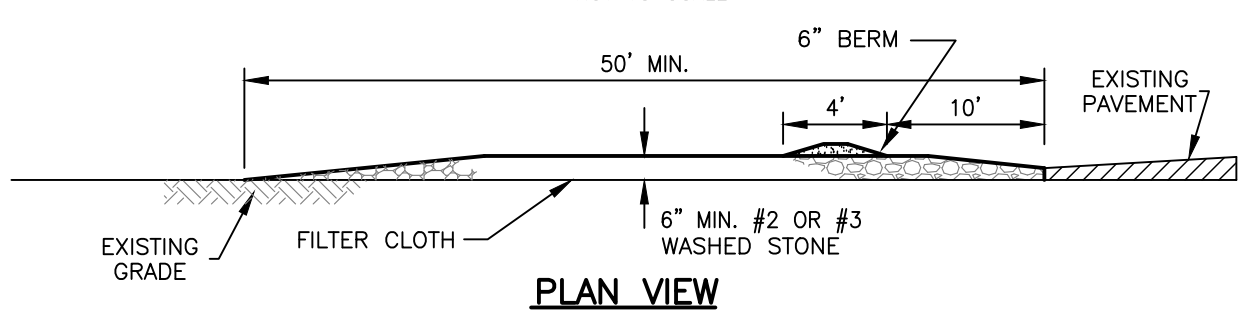
## LA-2



**CONSTRUCTION SPECIFICATIONS**

1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING.

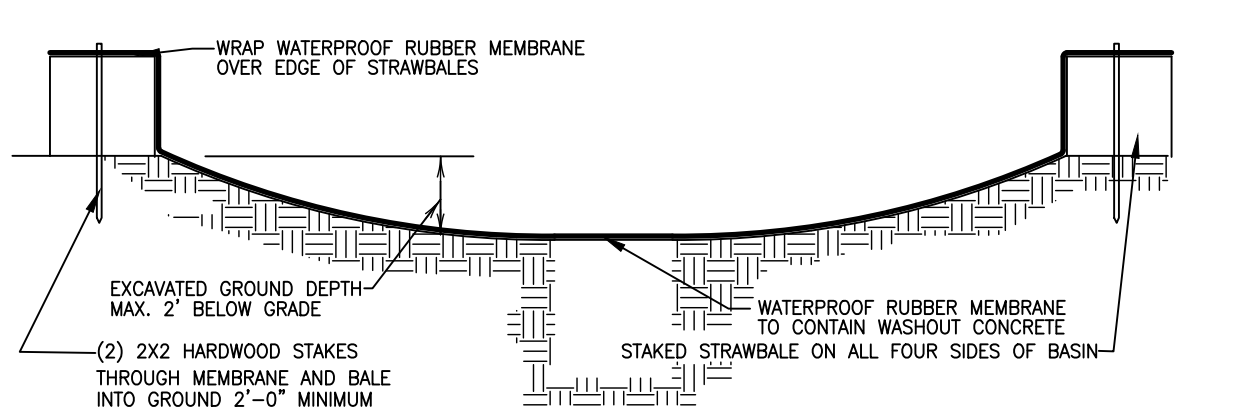
**INLET PROTECTION DETAIL**



**CONSTRUCTION SPECIFICATIONS**

1. STONE SIZE - USE 2" OR 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - FIFTEEN (15) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY FIVE (25) FOOT MIN WIDTH AT ACCESS POINT TO ROAD, IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACE OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPE ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

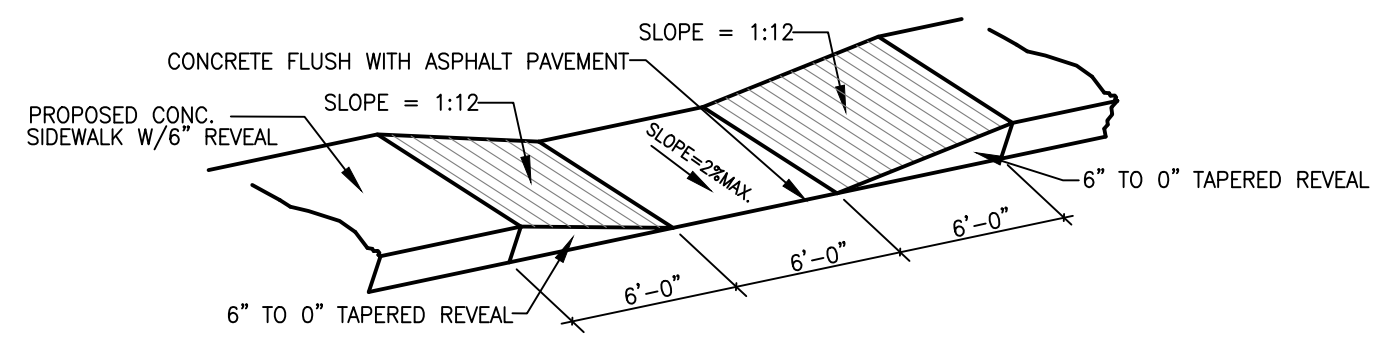
**CONSTRUCTION ENTRANCE DETAIL**



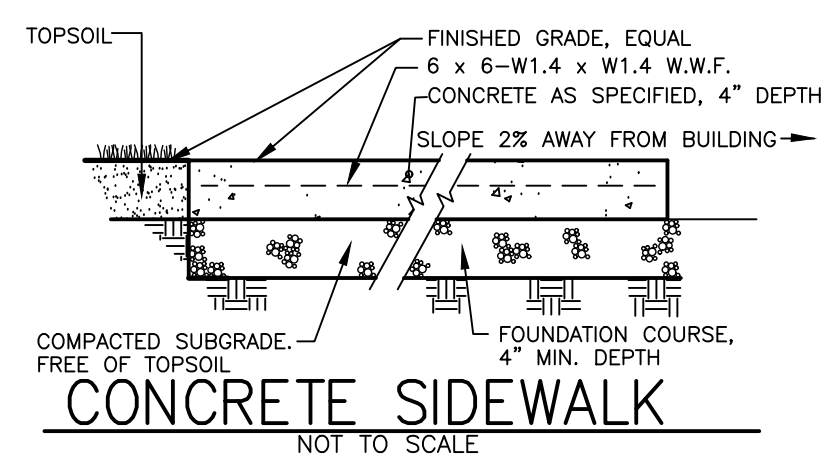
**CONSTRUCTION SPECIFICATIONS**

1. PREFERABLY ALL SURPLUS WET CONCRETE SHOULD BE RETAINED BY CONCRETE CONTRACTOR FOR RE-USE AT PLANT.
2. MANUFACTURED WOOD, METAL OR PLASTIC CONCRETE WASHOUT UNITS ARE ACCEPTABLE UPON SHOP DRAWING REVIEW AND APPROVAL BY PROJECT ENGINEER.
3. DISPOSE OF CONTAINED AND CURED CONCRETE WASHOUT, MEMBRANE AND STRAWBALES LEGALLY OFF-SITE.
4. WASHOUT TO BE CLEANED AT A MAXIMUM OF 75% CAPACITY.

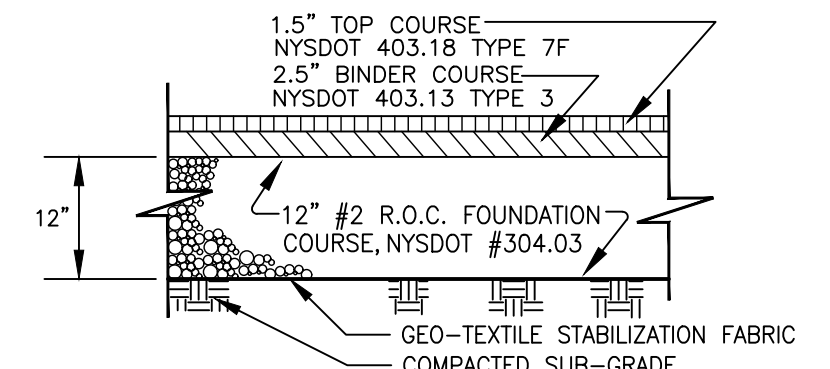
**CONCRETE TRUCK WASHOUT BASIN DETAIL**



**SIDEWALK HANDICAP ACCESSIBLE CURB RAMP DETAIL**



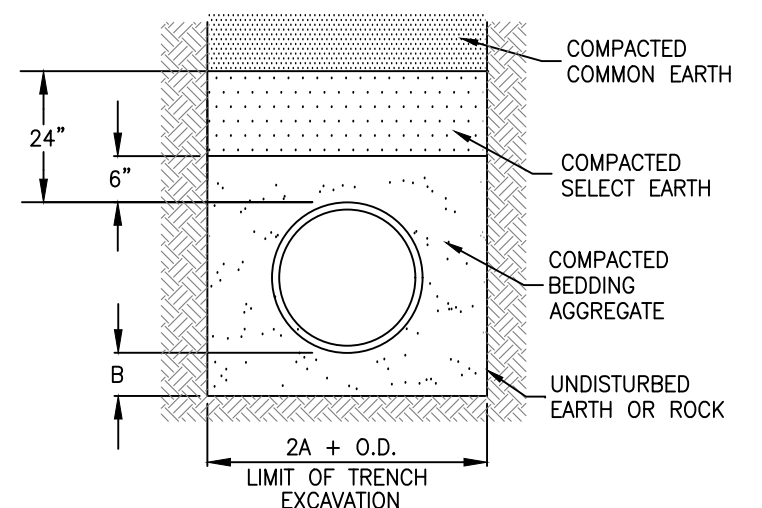
**CONCRETE SIDEWALK**



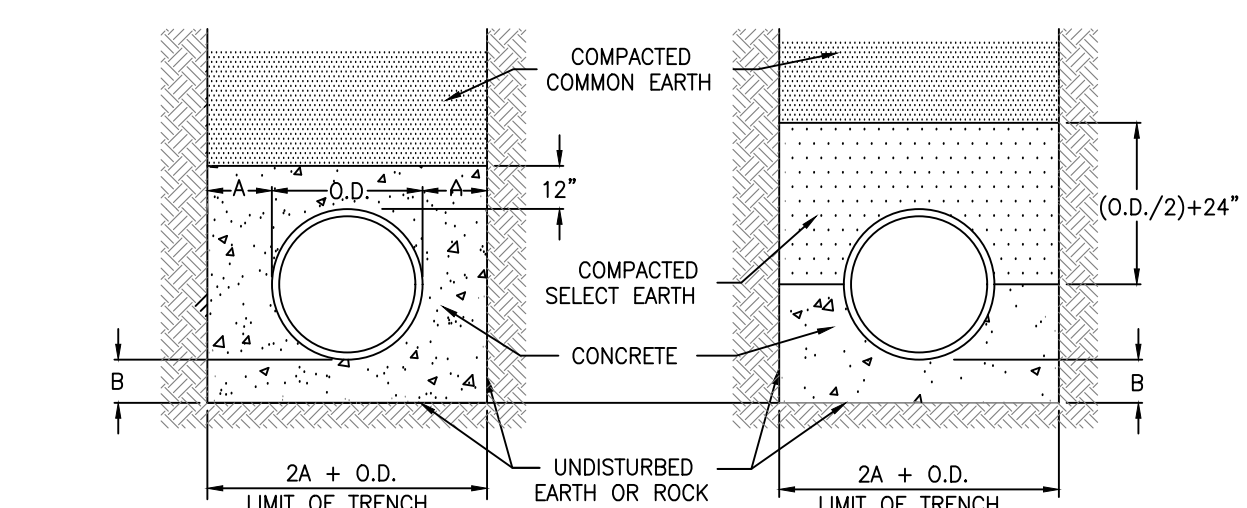
**ASPHALT PAVEMENT SECTION**

**SEQUENCE OF EROSION CONTROL:**

- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL INSTALL THE FOLLOWING AS SEQUENCED:
1. INSTALL CONSTRUCTION ENTRANCE/EXIT AS PER PLAN.
  2. INSTALL SILT FENCE/ STONE CHECK DAMS AS SHOWN ON PLAN.
  3. STRIP AND STOCKPILE TOPSOIL IN DESIGNATED AREA. STOCKPILED SOIL TO BE SEED IMMEDIATELY. EARTHWORK CAN BEGIN AT THIS TIME.
  4. DIVERSION SWALES SHALL BE CONSTRUCTED IN CONJUNCTION WITH EARTHWORK.
  5. ALL EROSION & SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND AFTER RAINFALL EVENTS. IMMEDIATELY REPAIR AS NEEDED.
  6. AFTER THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES, IMMEDIATELY TOPSOIL AND HYDRO-SEED ALL DISTURBED AREAS.



**TYPICAL BEDDING DETAIL**

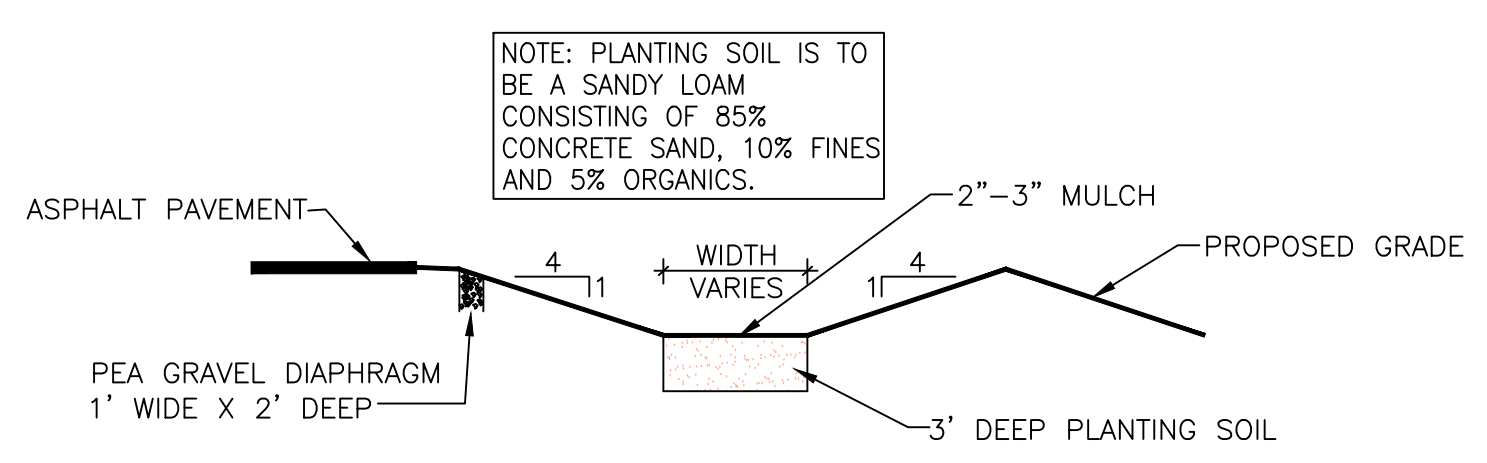


**CONCRETE ENCASMENT**

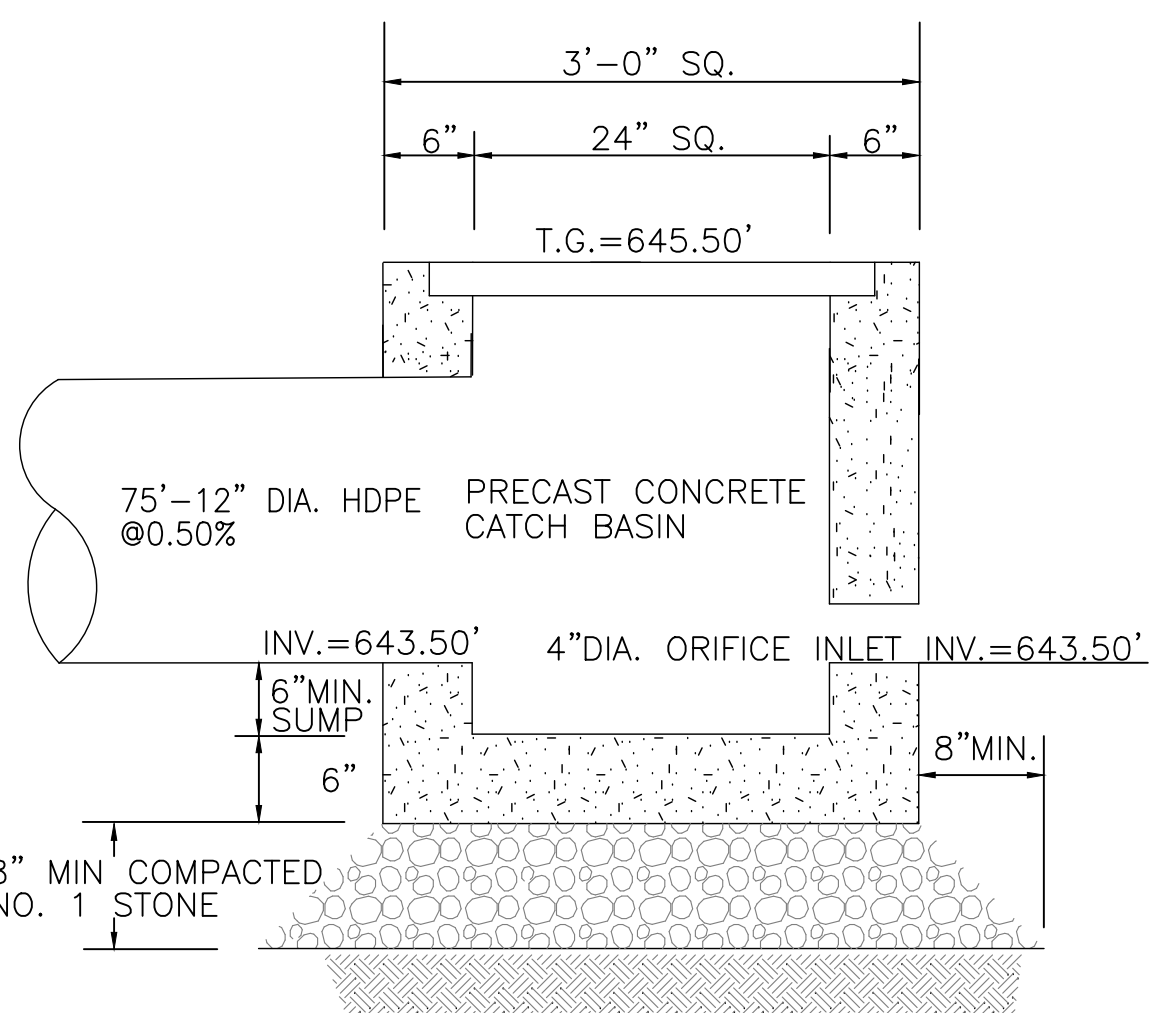
**CONCRETE CRADLE**

**PIPE BEDDING DETAIL**

NOT TO SCALE

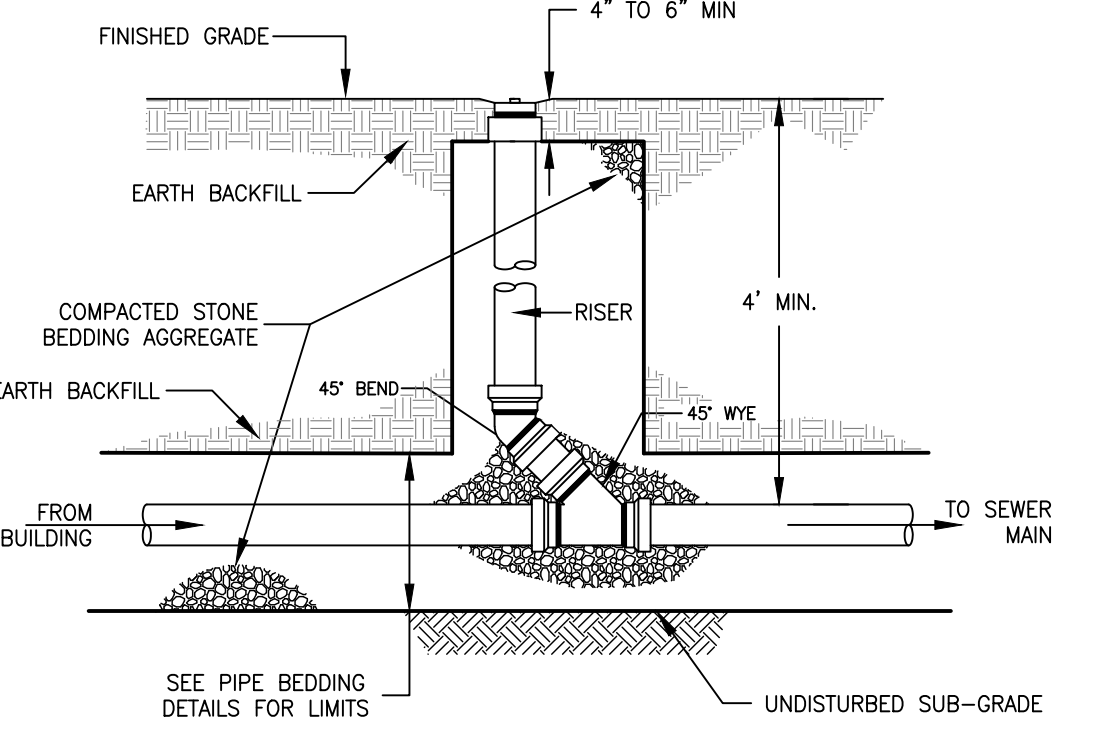


**BIO-RETENTION BASIN SECTION (TYP.)**



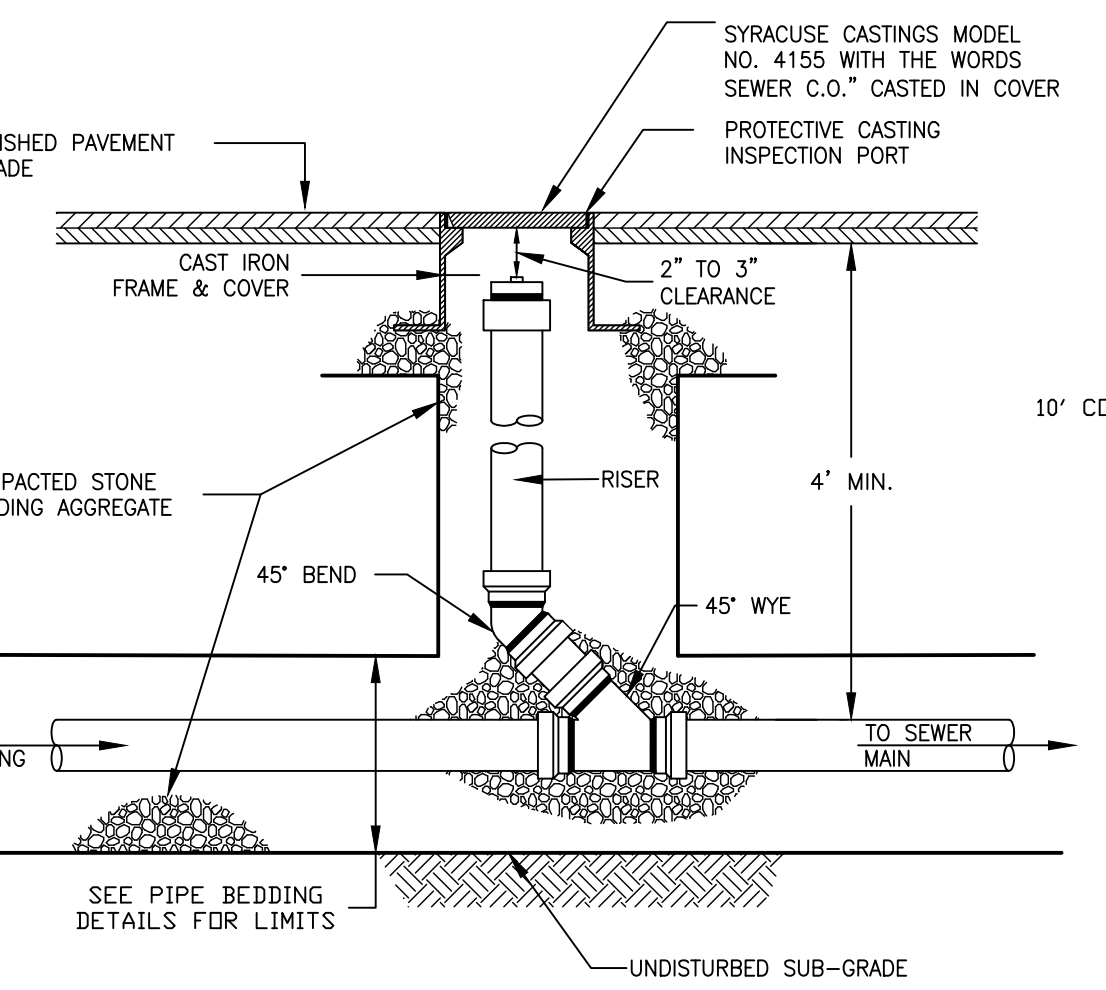
**2'X2' OUTLET CONTROL STRUCTURE DETAIL**

NOT TO SCALE



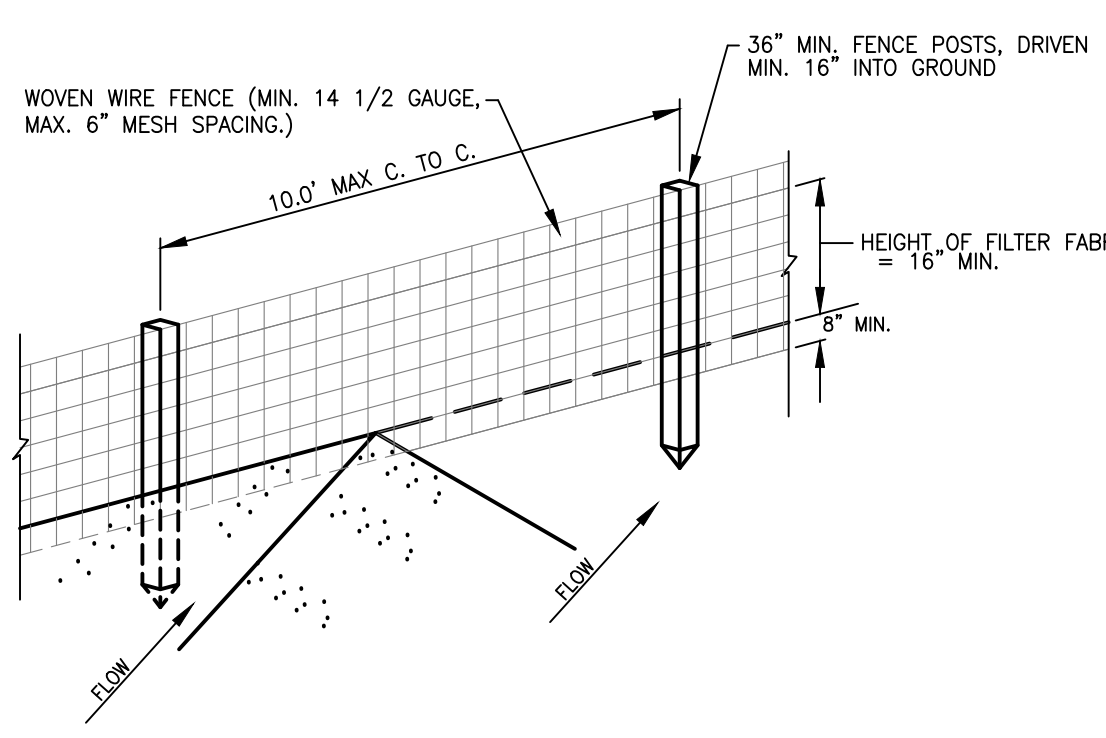
**IN LINE CLEANOUT - UNDER LAWN**

NOT TO SCALE



**IN LINE CLEANOUT - UNDER PAVEMENT**

NOT TO SCALE



**SILT FENCE NOTES:**

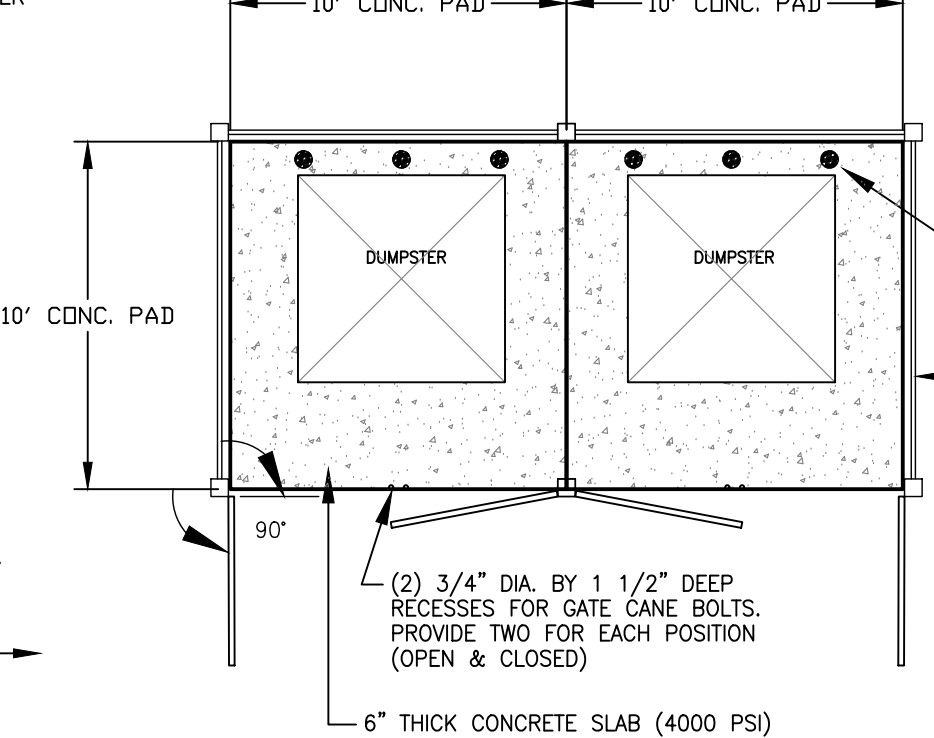
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND SECURELY FASTENED TO WIRE FENCE.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. TEMPORARY DRAINAGE DITCHES IN RIGHT-OF-WAY TO BE CONSTRUCTED AS NEEDED.

**SILT FENCE**

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD  
 FENCE: WOVEN WIRE, 14 1/2 GAUGE  
 6" MAX. MESH OPENING  
 FILTER CLOTH: FILTER X  
 MIRA7 100X, STAB-  
 LINKA T140N OR APPROVED  
 EQUAL  
 PREFABRICATED UNIT: GEOFAB,  
 ENVIROFENCE, OR APPROVED  
 EQUAL.

**SILT FENCE DETAIL**

NOT TO SCALE



**DUMPSTER ENCLOSURE**

NOT TO SCALE

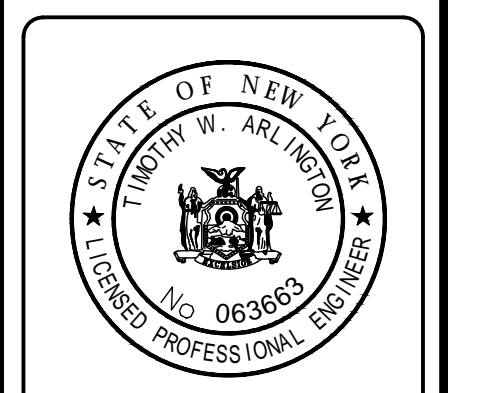
**APPROVAL SIGNATURES:**

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TOWN ZONING/CODE ENFORCEMENT OFFICER:	DATE:
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REVISIONS	BY	DATE
DESCRIPTION		

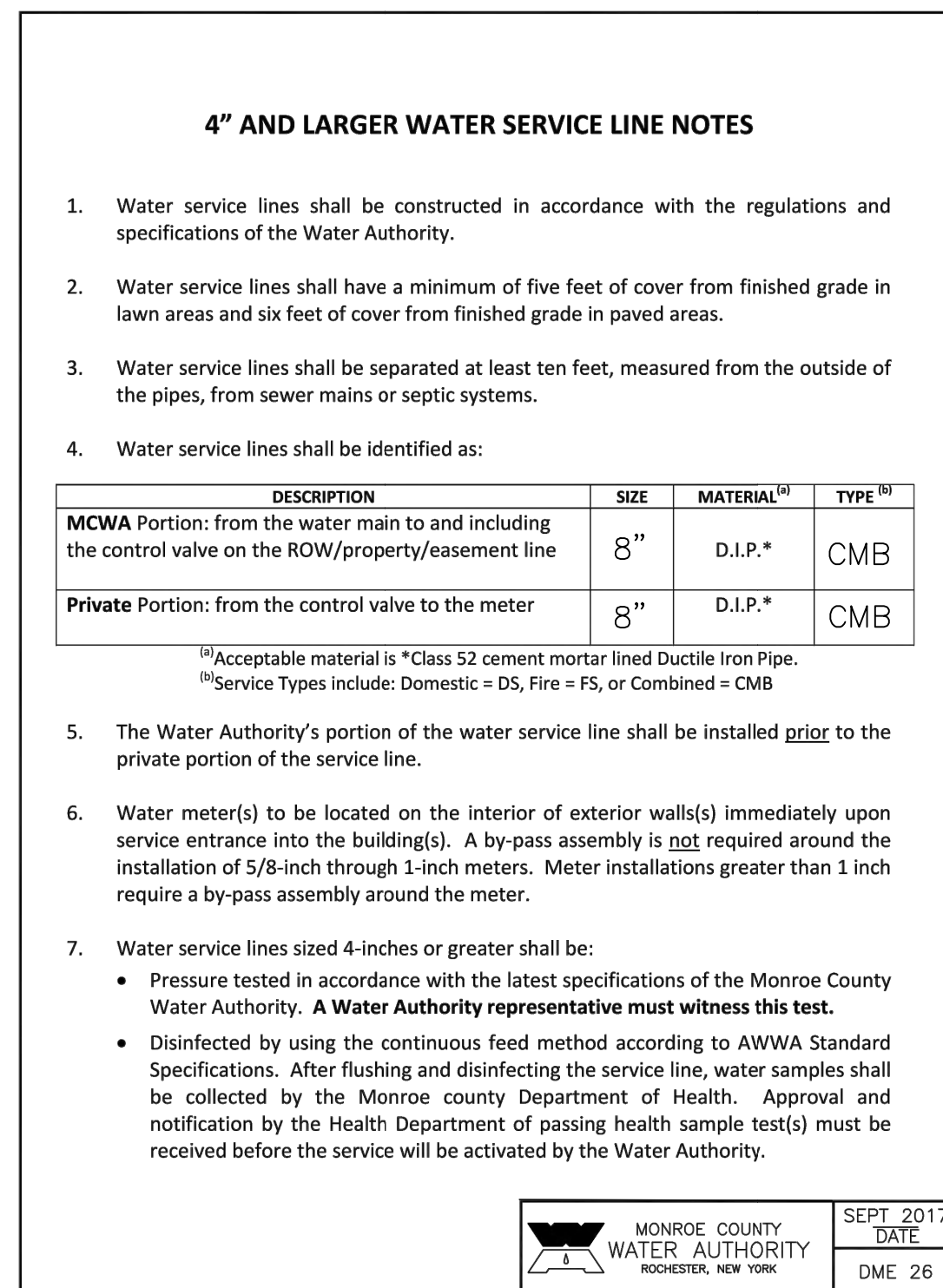
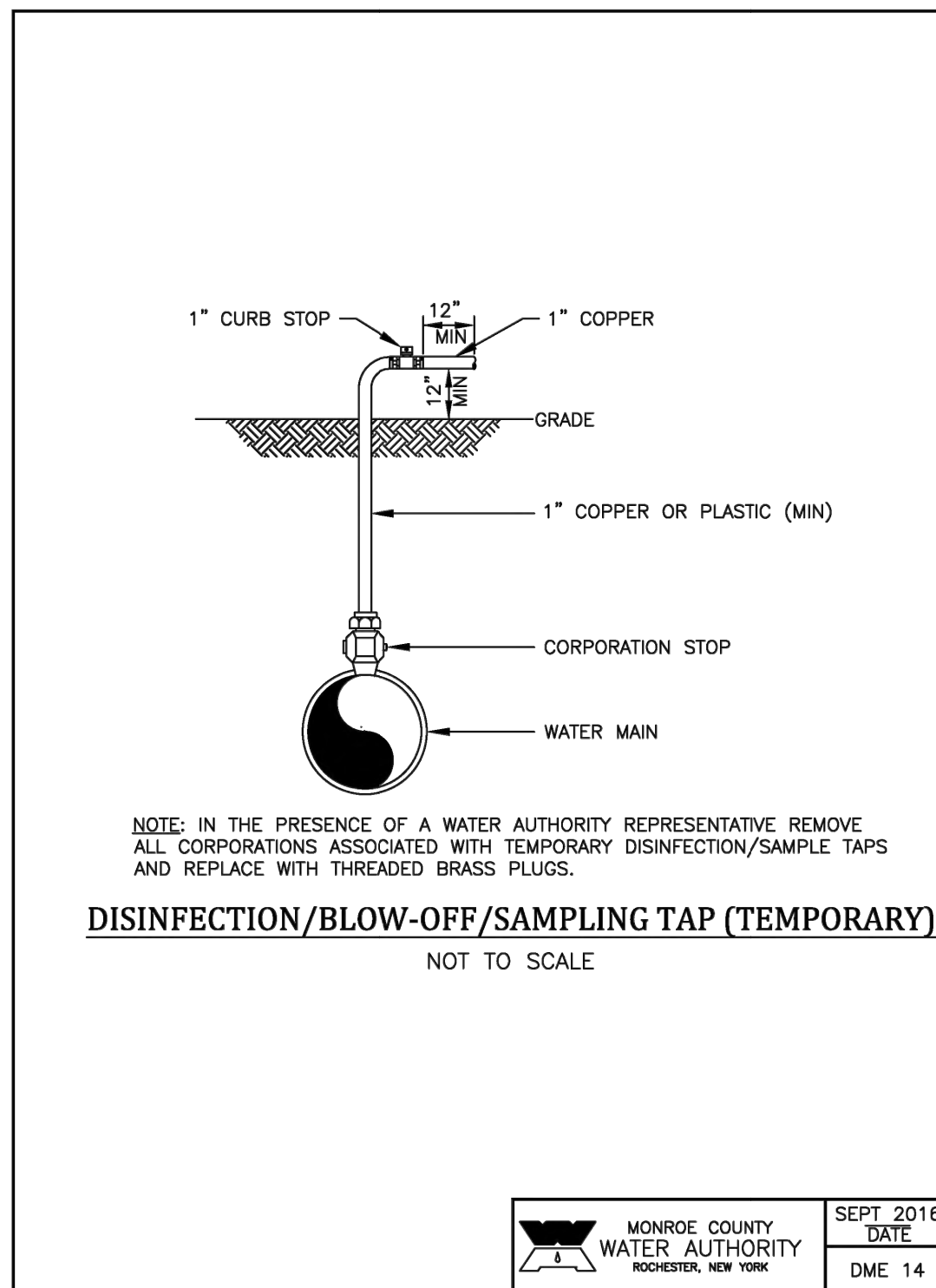
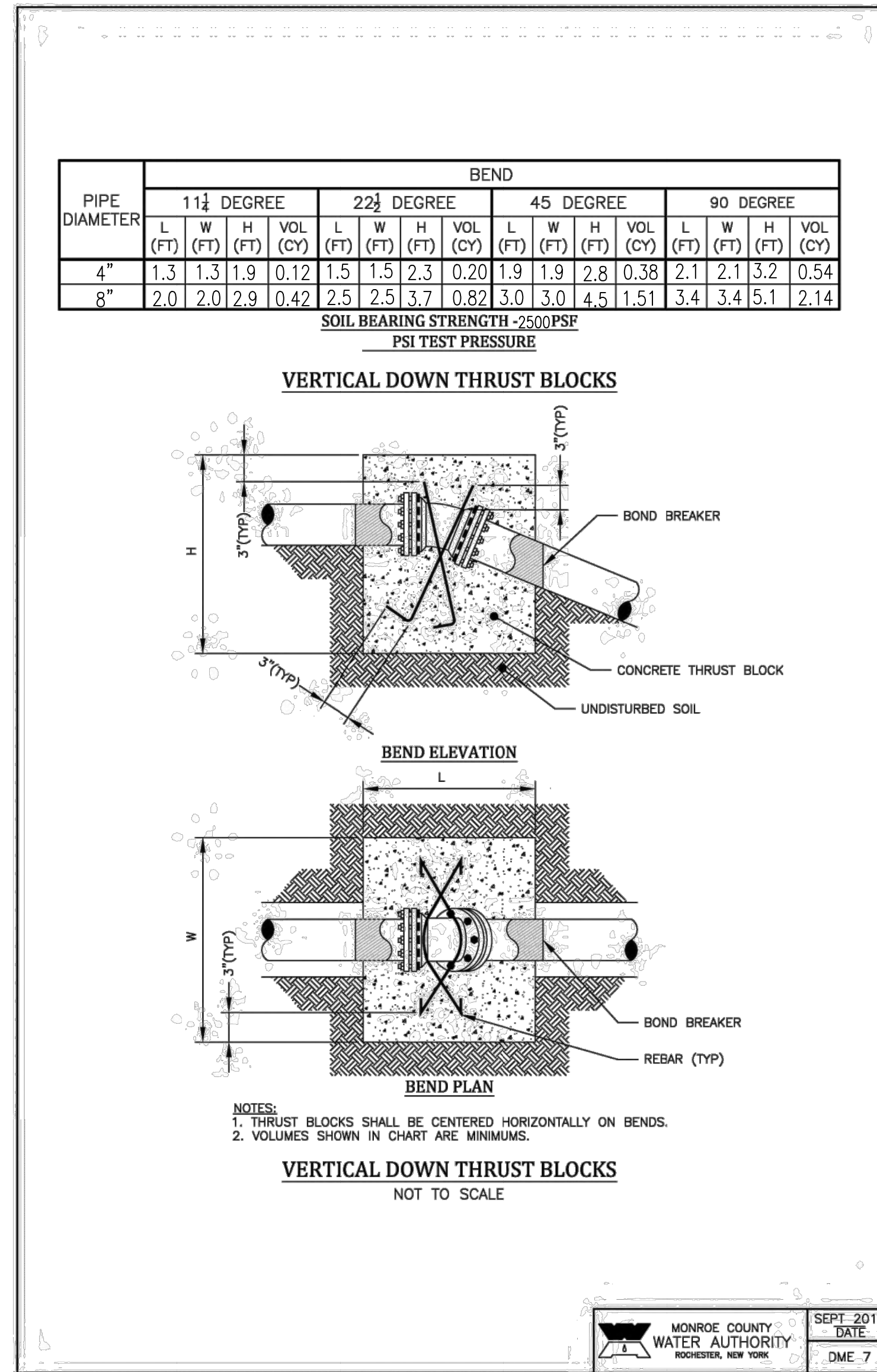
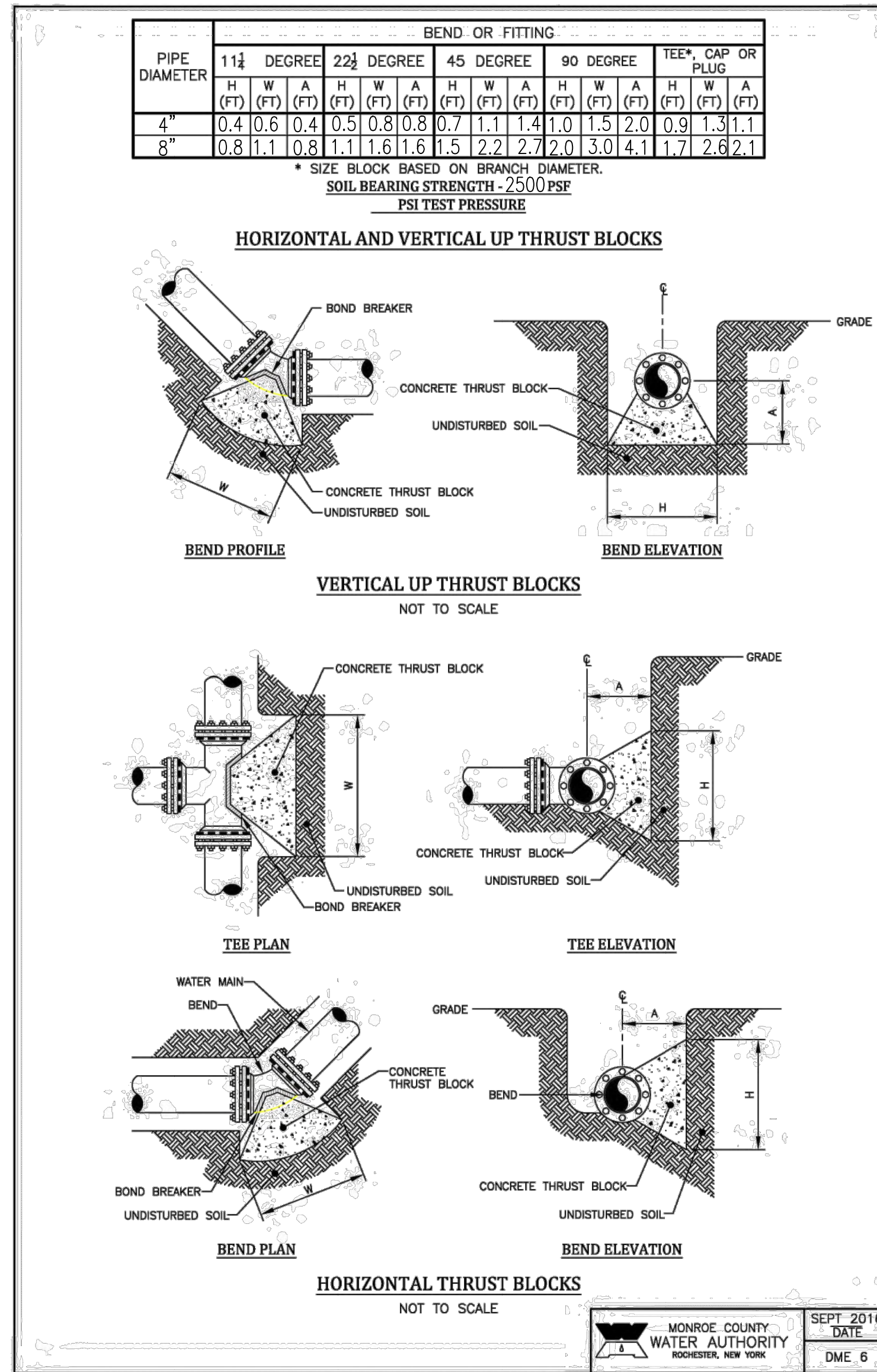
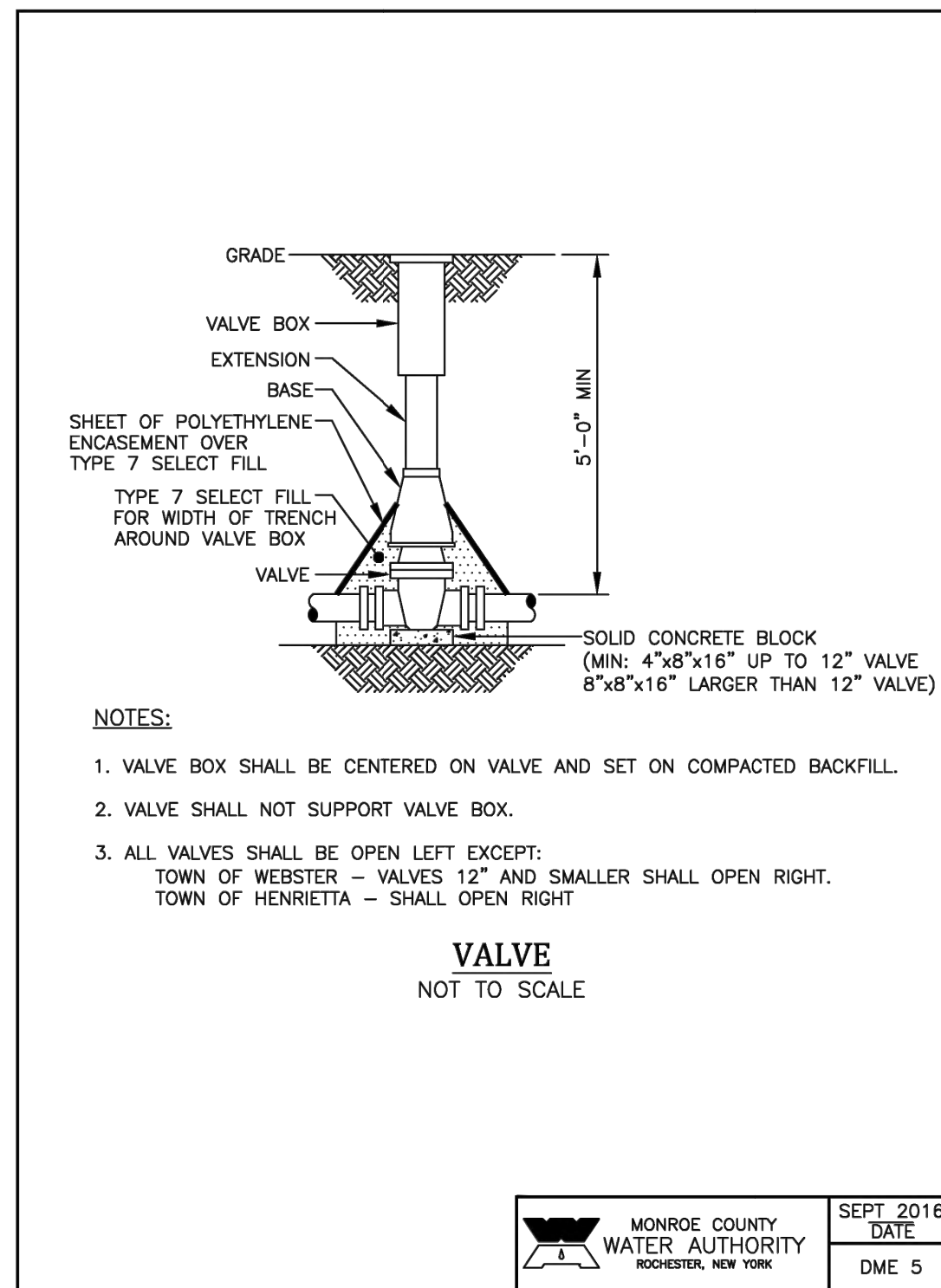
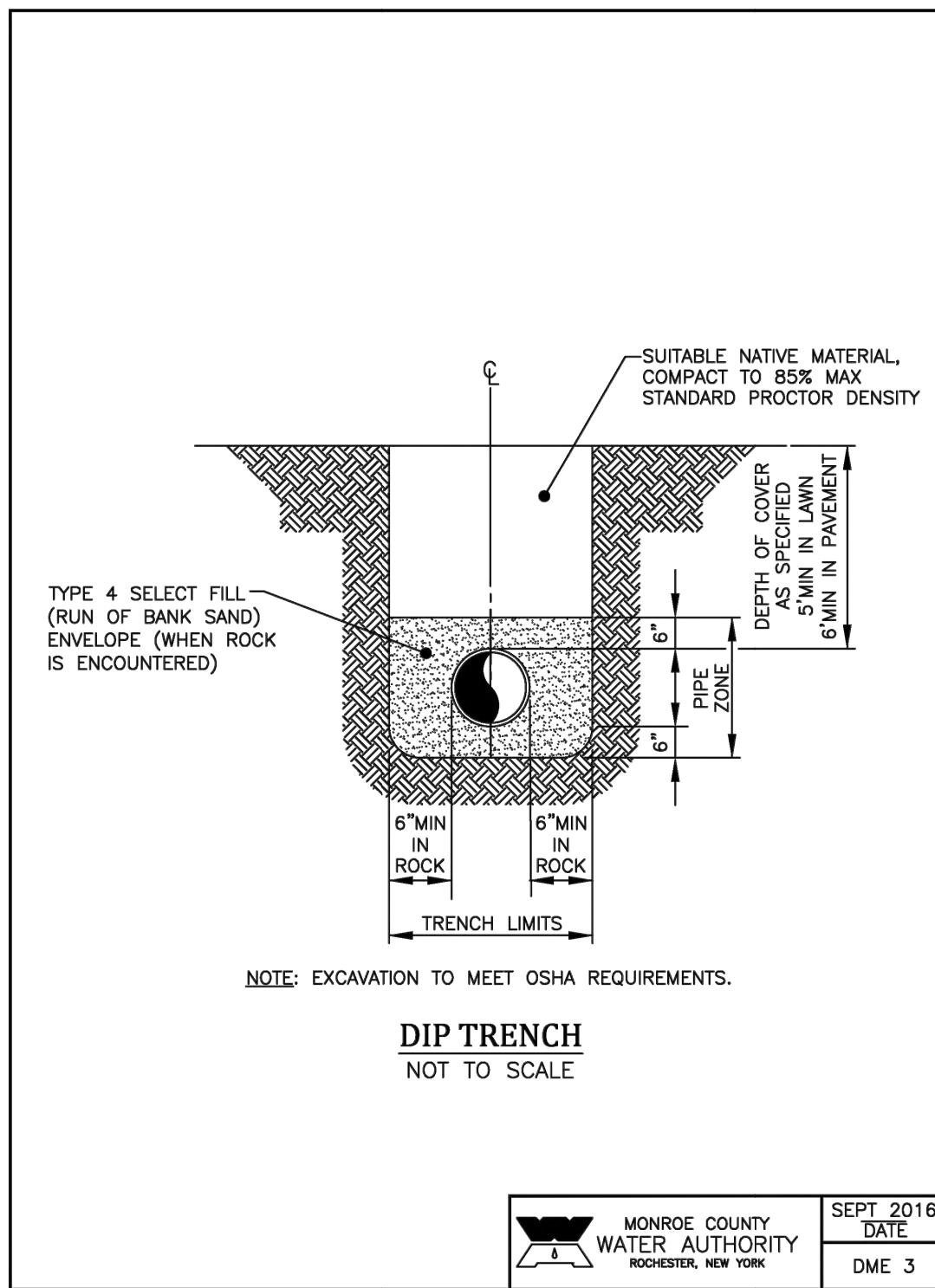
PROJECT TITLE: **ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE**  
 7001 APPLETREE AVE., TOWN OF BERGEN  
 CLIENT: **APPLETREE ACRES LLC / UMBERTO BERARDI**  
 5885 TRANSIT ROAD  
 EAST AMHERST, NY 14051  
 DRAWING TITLE: **CONSTRUCTION DETAILS**

**APEX CONSULTING**  
**SURVEY & ENGINEERING SERVICES, P.C.**  
 SURVEYING • ENGINEERING • LANDSCAPE ARCHITECTURE  
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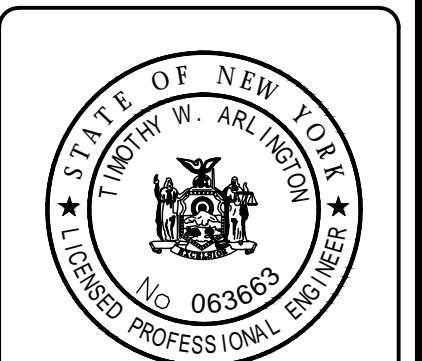




REVISIONS	DESCRIPTION	BY	DATE
		ACM	

PROJECT TITLE: ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE  
7001 APPLETREE AVE., TOWN OF BERGEN  
APPLETREE ACRES LLC / UMBERTO BERARDI  
CLIENT: 5885 TRANSPORT ROAD  
EAST AMHERST, NY 14051  
DRAWING TITLE: **WATER DETAILS**

**APEX CONSULTING**  
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**DT2**  
SHEET OF

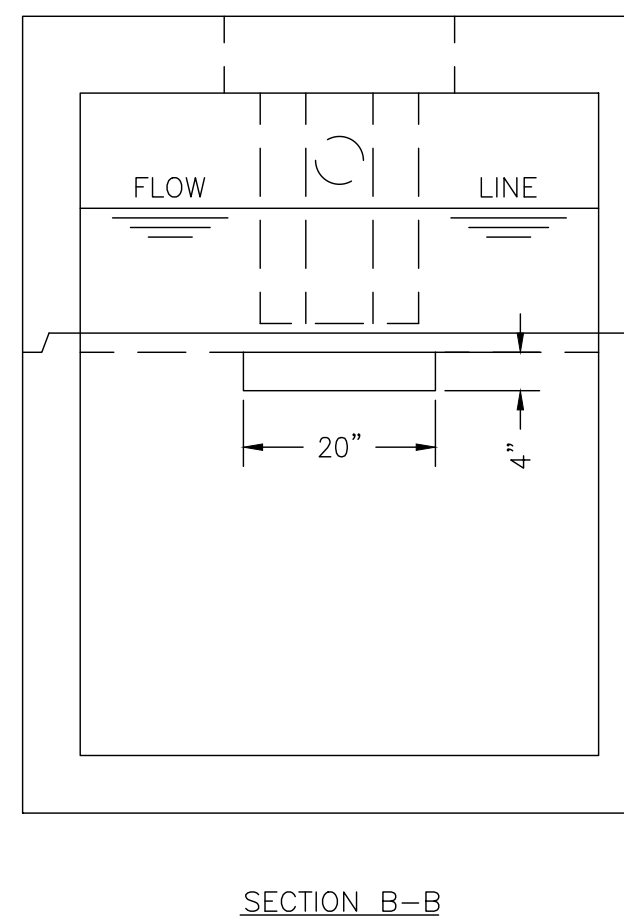
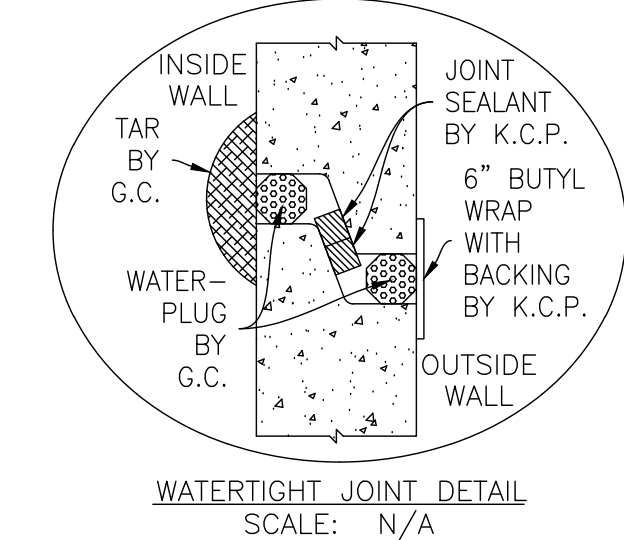
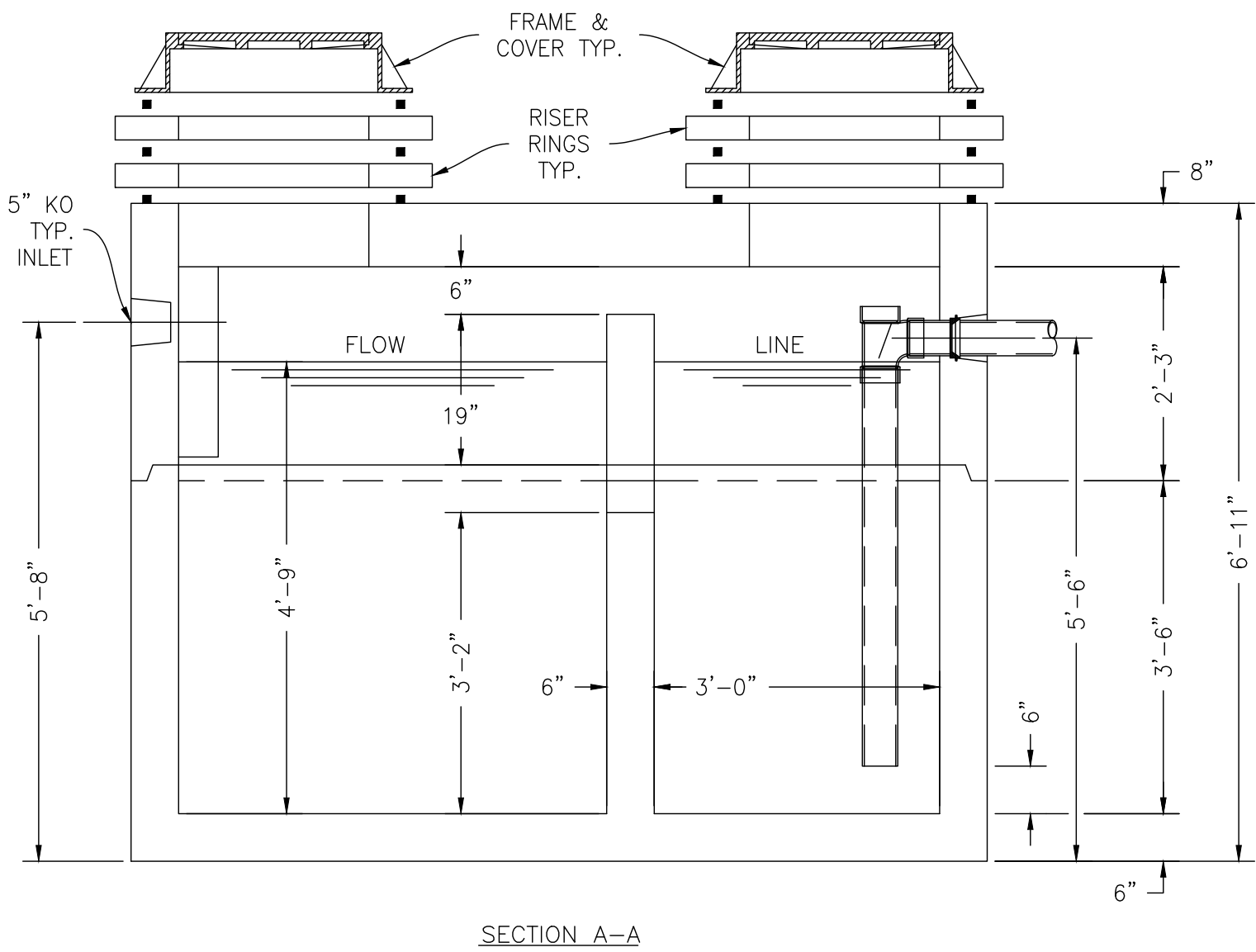
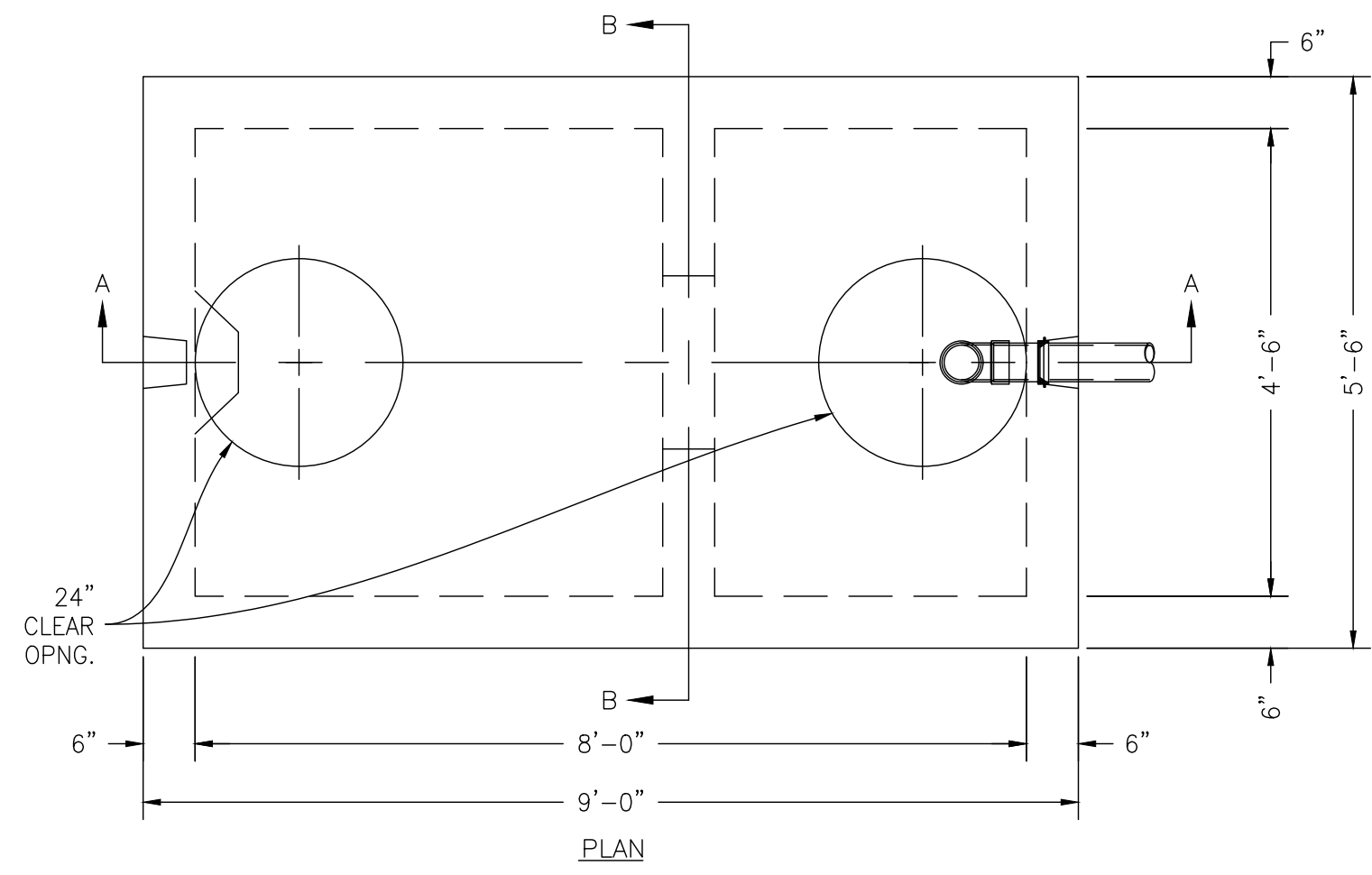
APPROVAL SIGNATURES:

TOWN ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

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TOWN HIGHWAY SUPERINTENDENT: \_\_\_\_\_ DATE: \_\_\_\_\_

MCWA APPROVAL: \_\_\_\_\_ DATE: \_\_\_\_\_ PLANNING BOARD CHAIR: \_\_\_\_\_ DATE: \_\_\_\_\_



**SPECIFICATIONS:**  
 CONCRETE: 4,000 P.S.I. @ 28 DAYS.  
 ENTRAINED AIR: 5% - 9%  
 STEEL: A.S.T.M. A496-A615 GRADE 60-60 KSI.  
 DESIGN LOADING: A.A.S.H.T.O. HS-20-44 WITH 30% IMPACT AND EQUIVALENT SOIL PRESSURE OF 130 (PSF). FLOTATION FORCES NOT ACCOUNTED FOR.  
 PIPING: OUTLET TEES AND DROP LEGS SUPPLIED AND INSTALLED BY G.C.  
 FRAME & COVER: 24" Ø AVAILABLE AS REQUIRED.  
 RISERS: 4" Ø MANHOLE RISERS OR 3" TK. GRADE RINGS AVAILABLE AS REQUIRED.

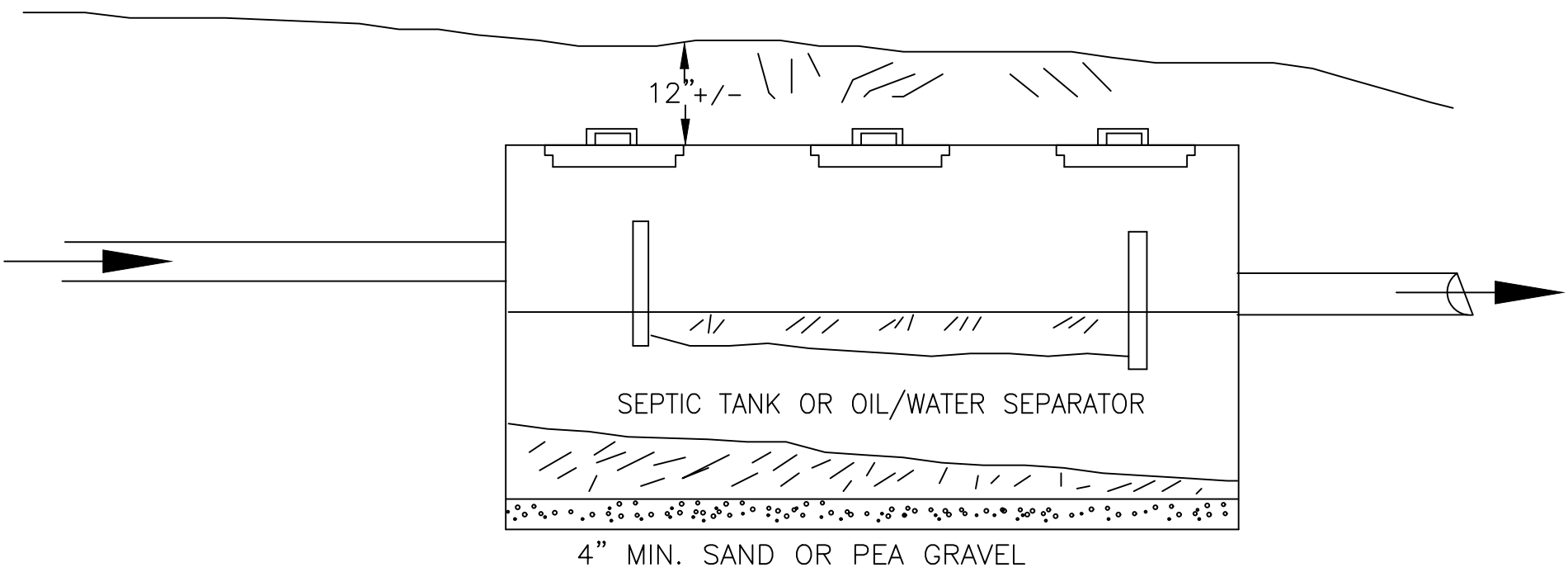
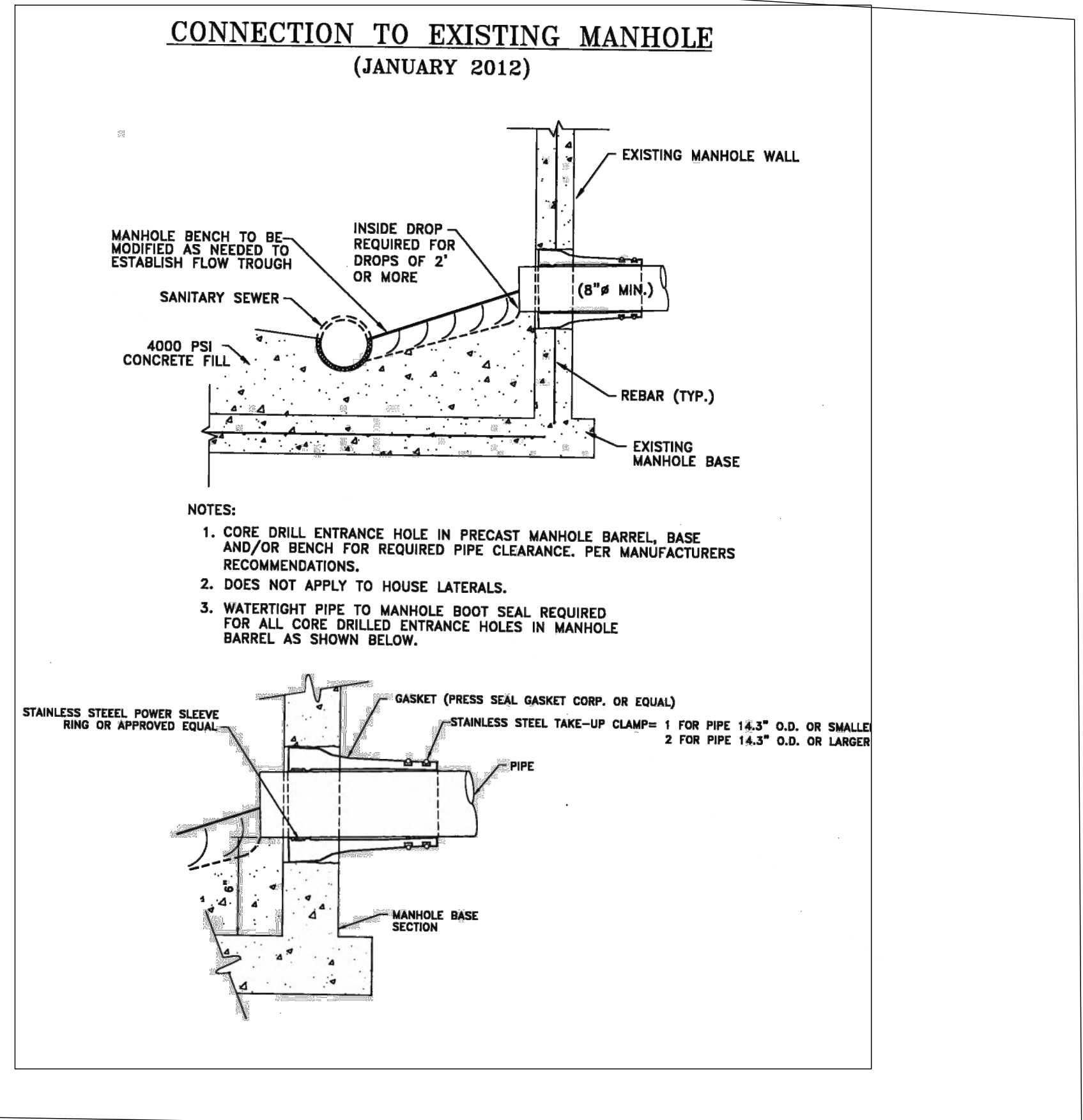
**WEIGHT:**  
 TOP SECTION: 10,139 LBS.  
 BOTTOM SECTION: 11,833 LBS.  
 TOTAL: 21,972 LBS.

**EFFECTIVE GALLON CAPACITY:**  
 7.5' X 3.75' X 4.75' = 134 CU. FT.  
 134 CU. FT. X 7.48 GAL./CU. FT. = 1000 GAL.

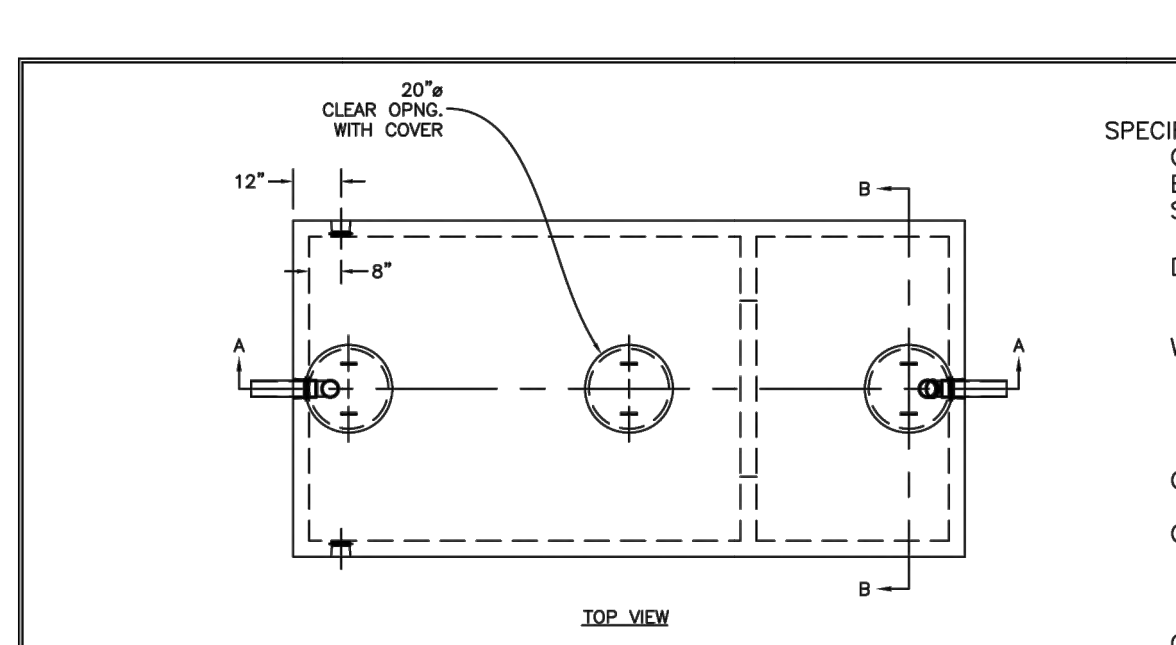
**PRECAST**  
 KISTNER CONCRETE PRODUCTS INC.  
 671 FLYING DUTCHMAN ROAD  
 FLEMINGHAM, NY 14056  
 (716) 894-2267

**PRODUCT DESIGNATION**  
 1000 GALLON OIL SEPARATOR - TRAFFIC

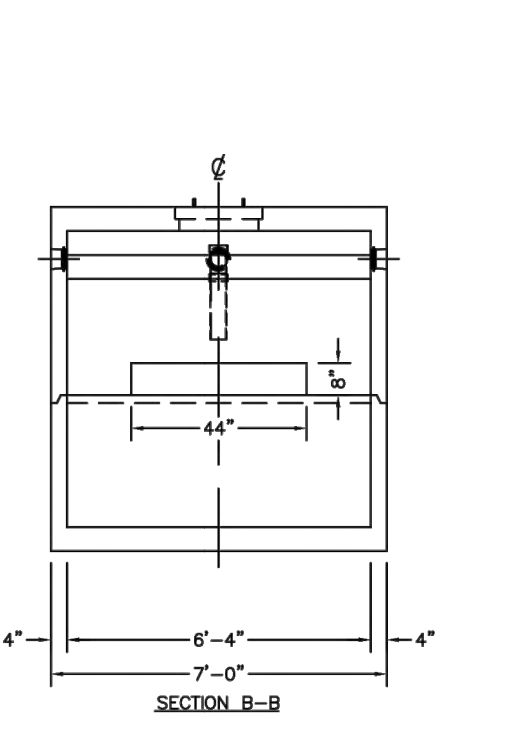
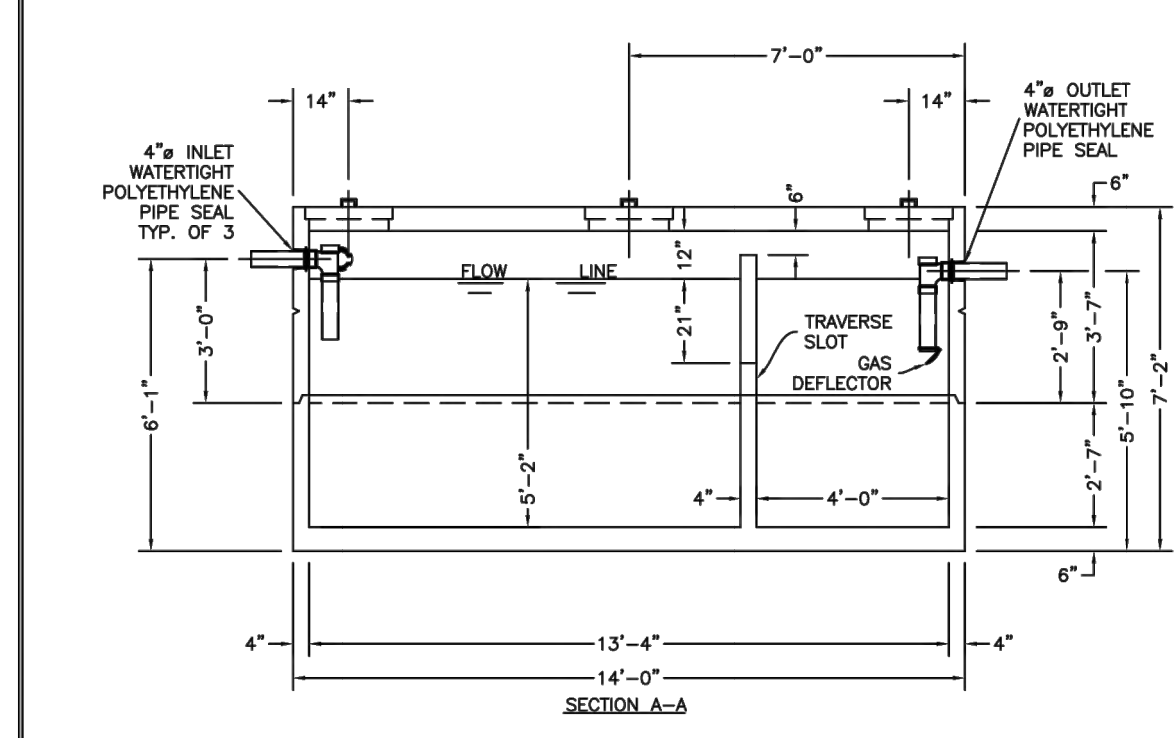
**DWG. NO.**  
 OS-1000T-II  
 6-13-97



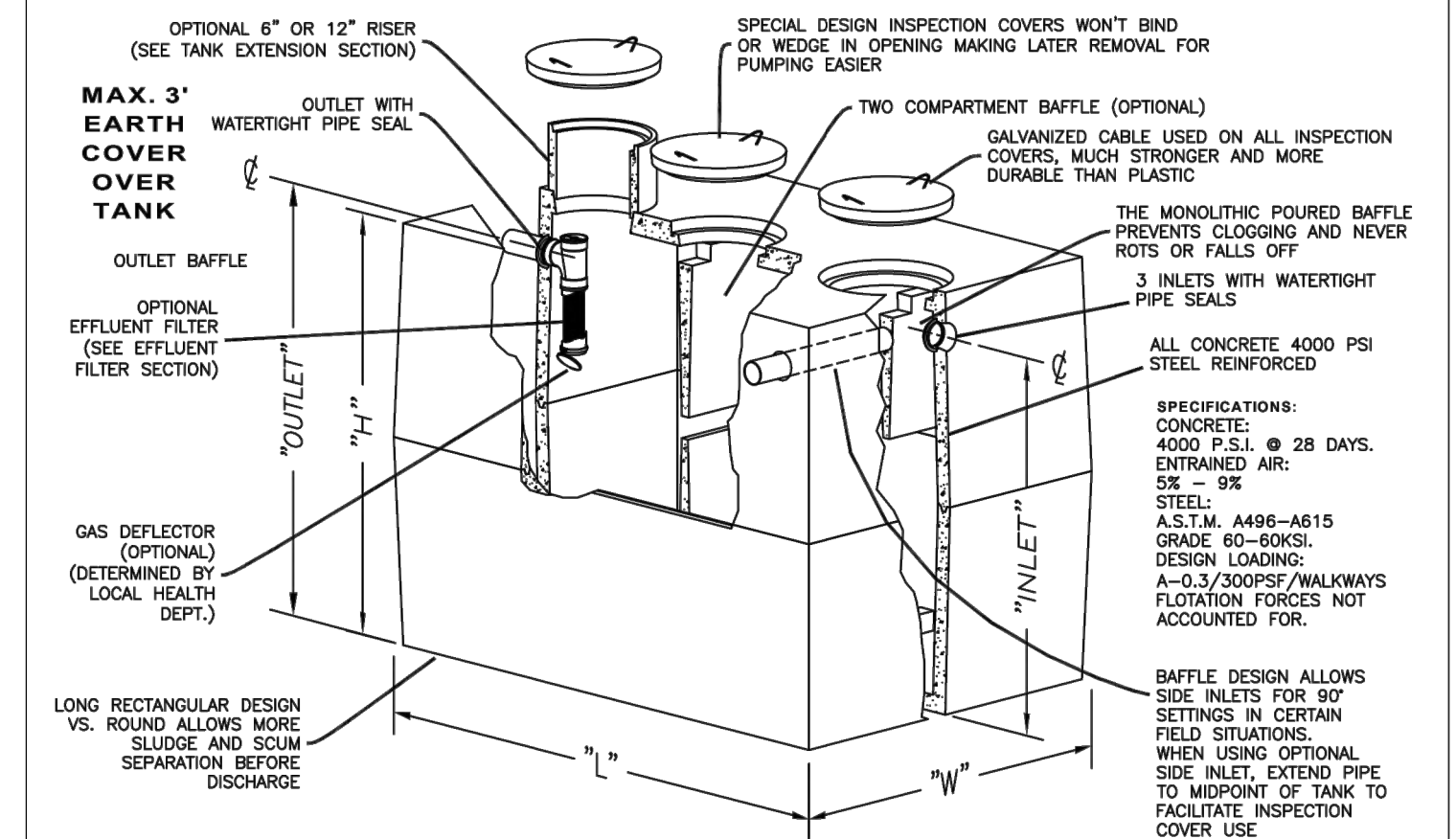
**TANK BEDDING DETAIL**  
 NOT TO SCALE



**SPECIFICATIONS:**  
 CONCRETE: 4000 P.S.I. @ 28 DAYS.  
 ENTRAINED AIR: 5% - 9%  
 STEEL: A.S.T.M. A496-A615 GRADE 60-60KSI.  
 DESIGN LOADING: A-0.3/300PSF/WALKWAYS. FLOTATION FORCES NOT ACCOUNTED FOR.  
 WEIGHT: TOP SECTION: 16,829 LBS.  
 BOTTOM SECTION: 14,581 LBS.  
 TOTAL: 31,410 LBS.  
 OUTLET BAFFLE: PIPE BAFFLE BY K.C.P.  
 OPTIONAL ITEMS:  EFFLUENT FILTER  
 GAS DEFLECTOR  
 COVER OVER TANK: MAX 3' OF EARTH FILL.



**PRECAST SEPTIC TANKS - NON-TRAFFIC**



STANDARD - NON-TRAFFIC						
DESCRIPTION	"L"	"W"	"H"	"INLET"	"OUTLET"	DWG. # REV. DATE
300	53"	53"	46"	38"	37"	ST-ST300 1/10/2007
500	82"	40 1/2"	64"	56 1/2"	53 1/2"	ST-ST500 1/10/2007
1000 STANDARD	96"	62"	64"	56 3/4"	53 3/4"	ST-ST1000 1/10/2007
1000 2 COMPARTMENT	96"	62"	64"	56 3/4"	53 3/4"	ST-ST1000-II 1/10/2007
1250 2 COMPARTMENT	96"	62"	76"	68 1/2"	65 1/2"	ST-ST1250-II 1/10/2007
1500 2 COMPARTMENT	102"	69 3/4"	76"	68"	65"	ST-ST1500-II 1/15/2007
2000 2 COMPARTMENT	153 1/2"	84"	62 1/2"	54 5/8"	51 5/8"	ST-ST2000-II 1/15/2007
2500 2 COMPARTMENT	168"	84"	74"	61"	58"	ST-ST2500-II 1/16/2007
3100	168"	84"	86"	73"	70"	ST-ST3100LP 1/16/2007
3500	168"	84"	93"	80"	77"	ST-ST3500 1/16/2007
3700	168"	84"	96"	83"	80"	ST-ST3700 1/16/2007
400090	288"	84"	86"	73"	53 3/4"	ST-ST400090-M 1/16/2007
4500	168"	84"	112"	99"	96"	ST-ST4500 1/16/2007
5000	168"	84"	122 1/2"	109 1/2"	106 1/2"	ST-ST5000 1/16/2007
500090	360"	84"	86"	73"	43"	ST-ST500090 1/16/2007
6000	168"	84"	137 3/4"	128"	125"	ST-ST6000 1/16/2007

LOW PROFILE - NON-TRAFFIC						
DESCRIPTION	"L"	"W"	"H"	"INLET"	"OUTLET"	DWG. # REV. DATE
1000 2 COMPARTMENT	126 1/2"	60 1/2"	56 3/4"	46 3/4"	44 3/4"	ST-ST1000-II-LP 1/10/2007
1250 2 COMPARTMENT	126 1/2"	60 1/2"	64 1/2"	55"	53"	ST-ST1250-II-LP 1/10/2007
1500 2 COMPARTMENT	126 1/2"	60 1/2"	71"	64"	62"	ST-ST1500-II-LP 1/15/2007
2000 2 COMPARTMENT	168"	84"	84"	51"	48"	ST-ST2000-II-LP 1/15/2007

\* DEVIATES FROM CURRENT NYSDEC GUIDELINES.  
 \*\* SEE DRAWING FOR PROPER EXCAVATION

**APPROVAL SIGNATURES:**

TOWN ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

TOWN ZONING/CODE ENFORCEMENT OFFICER: \_\_\_\_\_ DATE: \_\_\_\_\_

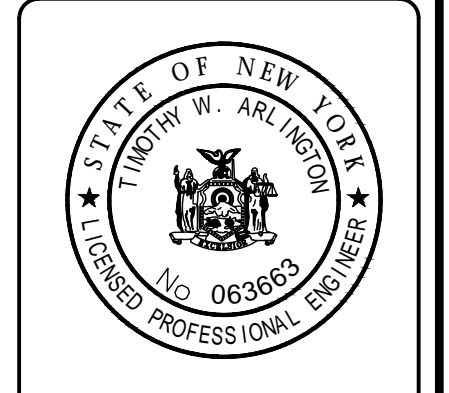
TOWN HIGHWAY SUPERINTENDENT: \_\_\_\_\_ DATE: \_\_\_\_\_

PLANNING BOARD CHAIR: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISIONS	DESCRIPTION	DATE	BY

PROJECT TITLE: **ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE**  
 7001 APPLETREE AVE., TOWN OF BERGEN  
 CLIENT: **APPLETREE ACRES LLC / UMBERTO BERARDI**  
 5885 TRANSIT ROAD  
 EAST AMHERST, NY 14051  
 DRAWING TITLE: **SANITARY SEWER DETAILS**

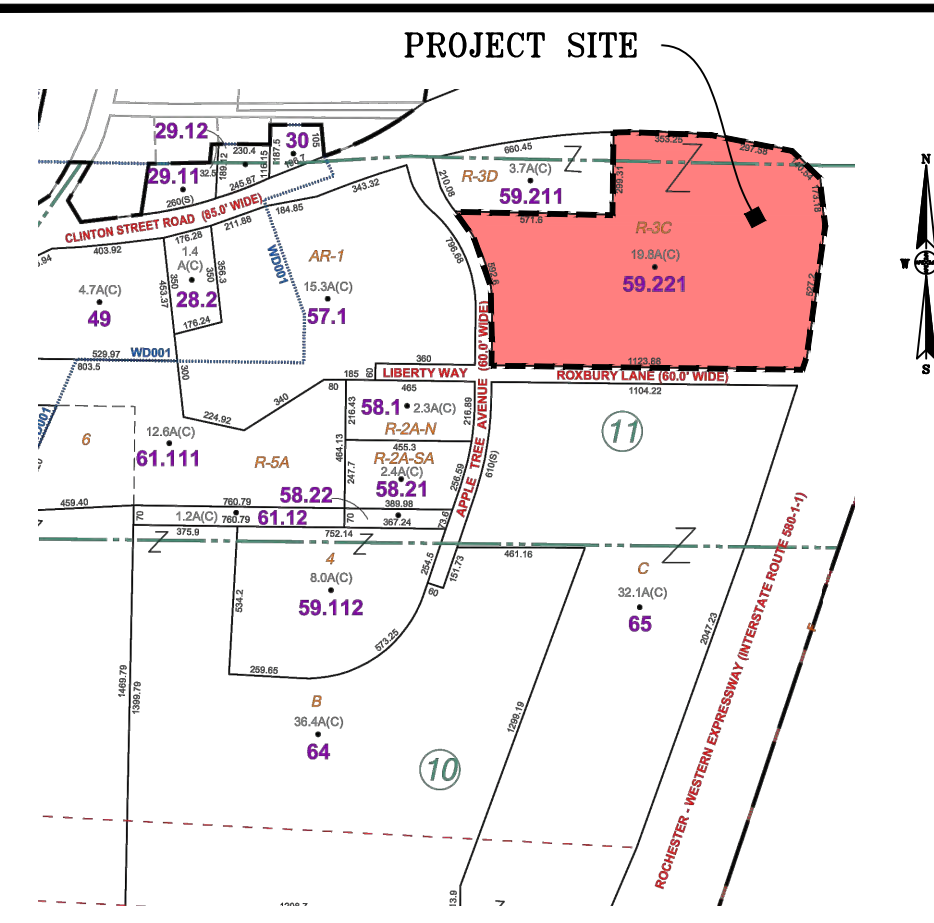
**APEX CONSULTING**  
**SURVEY & ENGINEERING SERVICES, P.C.**  
 SURVEYING • ENGINEERING • LANDSCAPE ARCHITECTURE  
 102 EAST AVENUE, LOCKPORT, NEW YORK 14094  
 Phone: (716) 439-0188 FAX: (716) 439-0189



ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING OR DOCUMENT IS A VIOLATION OF THE PROFESSIONAL ENGINEERING LAW OF THE STATE OF NEW YORK.

DATE: 2/17/22  
 SCALE: AS NOTED  
 PROJECT NO.: 21-095  
 DRAWN BY: ACM  
 CHECKED BY: TWA  
 DWG. NO.: \_\_\_\_\_

**DT3**  
 SHEET \_\_\_\_\_ OF \_\_\_\_\_



- LAYOUT NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCING.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF WORKERS AND OTHER PERSONS BY ANY MEASURES DURING CONSTRUCTION.
  3. THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN, ORDERLY, AND FREE OF DEBRIS ON A DAILY BASIS. FINAL CLEANUP SHALL BE TO THE OWNER'S SATISFACTION.
  4. REFER TO DWG. NO. DT1 FOR SITE CONSTRUCTION DETAILS.
- GENERAL NOTES:**
1. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY LOCATION (HORIZONTAL & VERTICAL) PRIOR TO CONSTRUCTION.
  2. VERIFY ALL EXISTING CONDITIONS (I.E. AS-BUILT LOCATIONS, ELEVATIONS & DIMENSIONS) PRIOR TO BID PREPARATION AND CONSTRUCTION.
  3. CONTRACTOR IS TO OBTAIN PERMISSION TO ACCESS UTILITIES WITHIN RIGHT-OF-WAY AND/OR UNDER THE AUTHORITY OF OTHERS.
  4. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL TYPES OF ROOT, TRUNK AND LIMB DAMAGE, INCLUDING BUT NOT LIMITED TO, RETAINING WALLS AND CONSTRUCTION FENCE WHICH PREVENT FILLING ON TOP, OR SOIL COMPACTION OVER ROOTS.
  5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL CONSTRUCTION SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISION BY THE TOWN ENGINEER.
  6. CONTRACTOR SHALL REPAIR ALL SIDEWALKS, PAVEMENTS AND LAWN AREAS DISTURBED BY SITE WORK.

**PROJECT SITE DATA:**  
**PARCEL DATA:**  
 S.B.L. ID #: 13.0-1-59.221  
 SIZE: 19.8± AC.

**INT-1 ZONING REGULATIONS:**  
 CURRENT ZONING: INTERCHANGE-INDUSTRIAL (INT-1)  
 MINIMUM FRONT YARD SETBACK: 80'  
 MINIMUM REAR YARD SETBACK: 35'  
 MINIMUM SIDE YARD SETBACK: 40'  
 MAXIMUM LOT COVERAGE ALLOWED: 30% (COMMERCIAL)  
 MAXIMUM LOT COVERAGE ALLOWED: 35% (LIGHT INDUSTRIAL)  
 MAXIMUM BUILDING HEIGHT ALLOWED: 35'

**PARKING SPACES:**  
 REQUIRED: AS NEEDED BY OWNER AND SUBJECT TO PLANNING BOARD INPUT.  
 REQUIRED PARKING SPACE SIZE: 10'X 20' TO PROVIDE 200 S.F. MINIMUM.

NOTE:  
 THESE PLANS DO NOT ASSURE THE PRESENCE OR LOCATION OF UTILITIES. THE CONTRACTOR SHALL NOTIFY "DIG SAFELY-NEW YORK" TOLL FREE AT 1-800-962-7962 TWO (2) FULL WORKING DAYS BEFORE THE START OF CONSTRUCTION, NOT COUNTING THE DAY OF YOUR CALL.



- LEGEND:**
- P.P. — UTILITY POLE
  - — RECEIVER/CATCH BASIN/D/I
  - ⊙ M.H. — MANHOLE
  - W.V. — WATER VALVE
  - ST — STORM SEWER LINE
  - SA — SANITARY SEWER LINE
  - W — WATER LINE
  - G — GAS LINE
  - OE — OVERHEAD ELECTRIC WIRES
  - UE — UNDERGROUND ELECTRIC
  - UT — UNDERGROUND UTILITY
  - (SILT) FENCE
  - TBR — TO BE REMOVED
  - FFE — FINISHED FLOOR ELEVATION
  - — EXISTING CONTOUR
  - — PROPOSED CONTOUR

**APPROVAL SIGNATURES:**

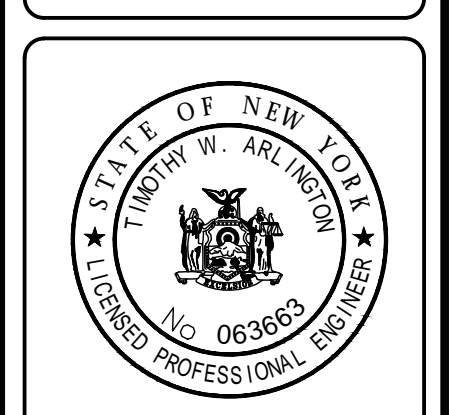
TOWN ENGINEER:	DATE:
TOWN ZONING/CODE ENFORCEMENT OFFICER:	DATE:
TOWN HIGHWAY SUPERINTENDENT:	DATE:
PLANNING BOARD CHAIR:	DATE:

**EXISTING CONDITIONS PLAN**  
 SCALE: 1" = 50'

REVISIONS	DESCRIPTION	DATE

PROJECT TITLE: **ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE**  
 7001 APPLETREE AVE., TOWN OF BERGEN  
 CLIENT: **APPLETREE ACRES LLC / UMBERTO BERARDI**  
 5885 TRANSIT ROAD  
 EAST AMHERST, NY 14051  
 DRAWING TITLE: **EXISTING CONDITIONS PLAN**

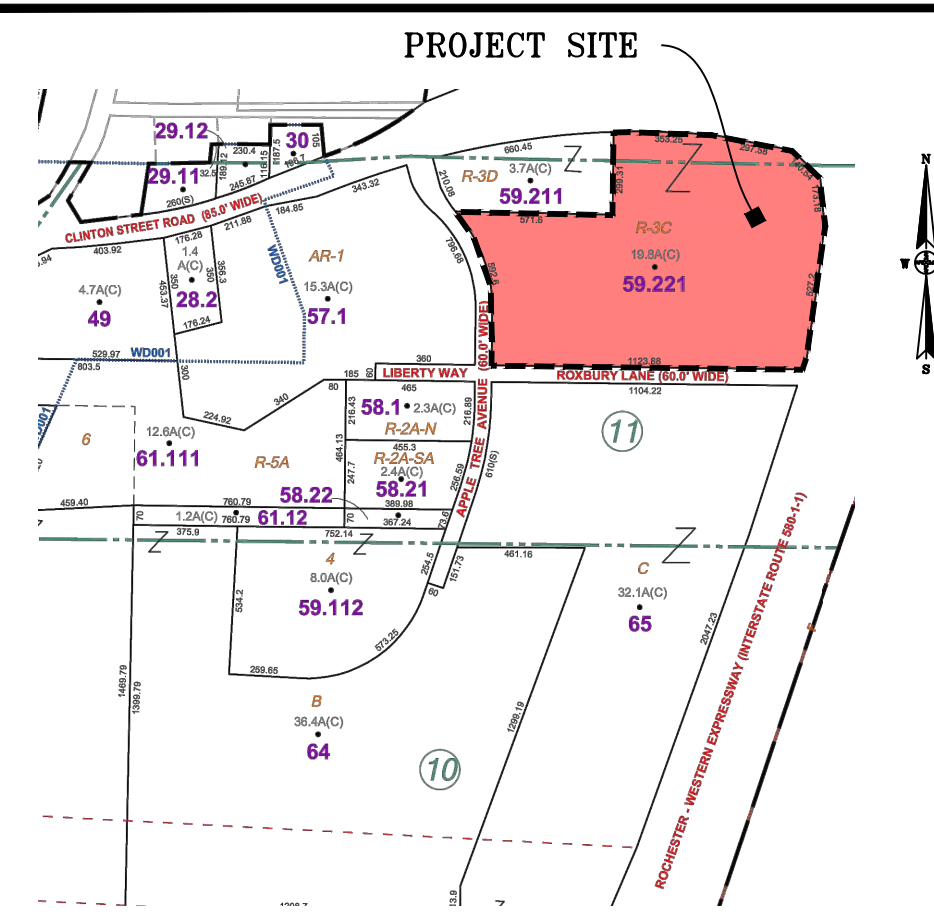
**APEX CONSULTING**  
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DATE: 11/1/21  
 SCALE: 1" = 50'  
 PROJECT NO.: 21-095  
 DRAWN BY: ACM  
 CHECKED BY: TWA

EDC  
 SHEET 01 OF 01



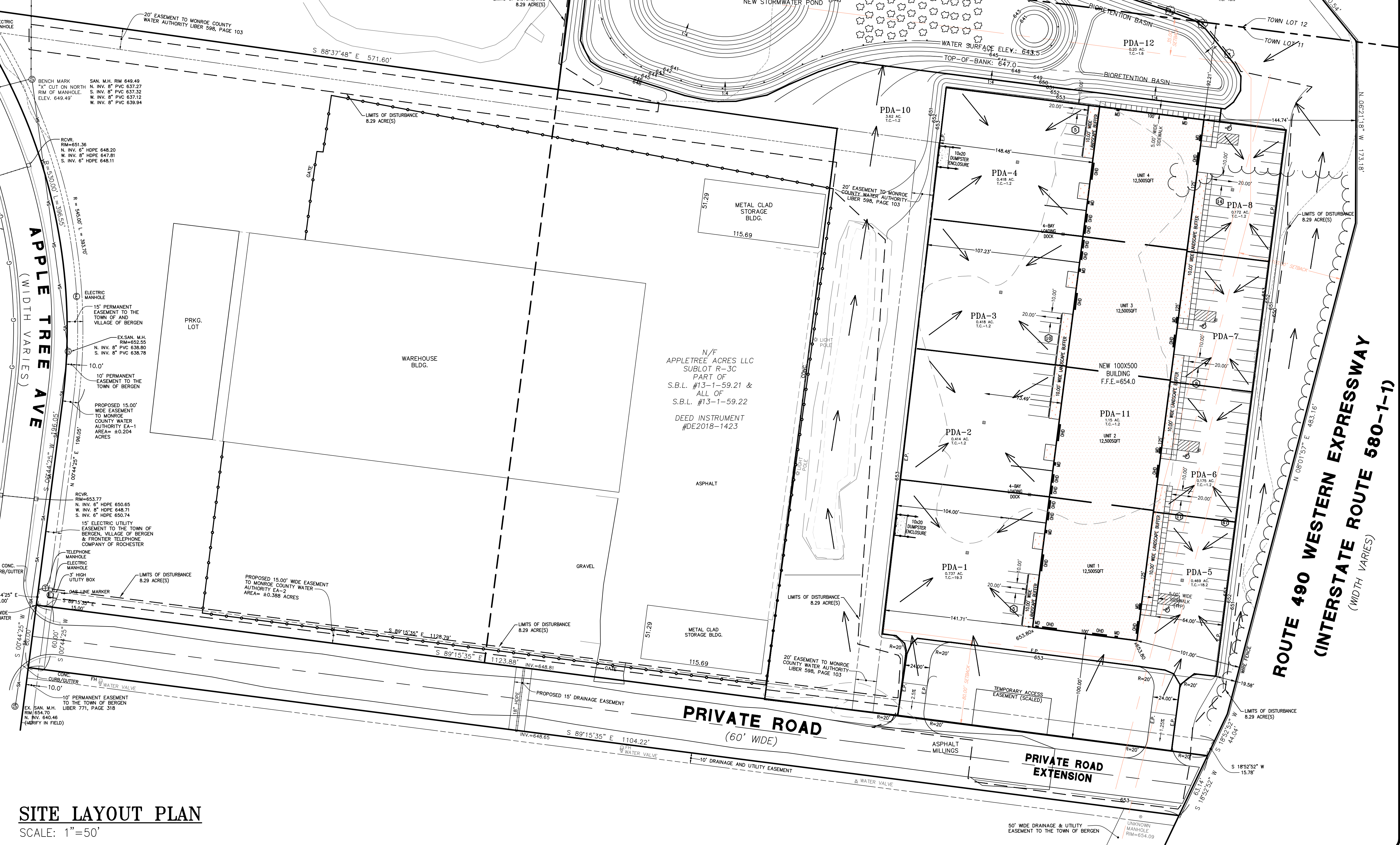
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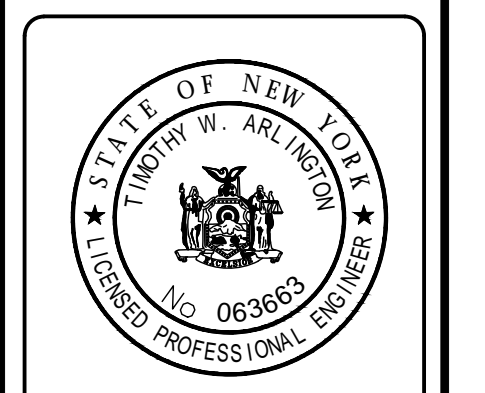
TOWN ENGINEER:	DATE:
TOWN ZONING/CODE ENFORCEMENT OFFICER:	DATE:
TOWN HIGHWAY SUPERINTENDENT:	DATE:
PLANNING BOARD CHAIR:	DATE:

**SITE LAYOUT PLAN**  
 SCALE: 1" = 50'

REVISIONS	DESCRIPTION	DATE
BY: K/SB	REVISED PER COMMENT LETTER	1/26/22

PROJECT TITLE: ENGINEERING DESIGN PLANS FOR +/-50,000sf WAREHOUSE  
 7001 APPLETREE AVE., TOWN OF BERGEN  
 CLIENT: APPLETREE ACRES LLC / UMBERTO BERARDI  
 5885 TRANSIT ROAD  
 EAST AMHERST, NY 14051  
 DRAWING TITLE: PROPOSED DRAINAGE PLAN

**APEX CONSULTING**  
**SURVEY & ENGINEERING SERVICES, P.C.**  
 SURVEYING • ENGINEERING • LANDSCAPE ARCHITECTURE  
 102 EAST AVENUE, LOCKPORT, NEW YORK 14094  
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DATE: 11/1/21  
 SCALE: 1" = 50'  
 PROJECT NO.: 21-095  
 DRAWN BY: ACM  
 CHECKED BY: TWA

**PDC**  
 SHEET 01 OF 01

# T-01-BER-3-22



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