



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID

T-01-BAT-01-24

Review Date

1/11/2024

Municipality

BATAVIA, T.

Board Name

PLANNING BOARD

Applicant's Name

Wesley Winters

Referral Type

Special Use Permit

Variance(s)

Description:

Special Use Permit and Site Plan Review to add a third apartment to an existing two-family residential use.

Location

8591 Slusser Rd., Batavia

Zoning District

Hamlet Commercial (HC) District

PLANNING BOARD RECOMMENDS:

APPROVAL WITH MODIFICATION(S)

EXPLANATION:

The required modifications are as follows: 1) The applicant eliminate parking spots labeled 10 and 11 in the parking plan as they are located within the right-of way of Slusser Rd; and 2) The applicant obtain approval/documentation from the Genesee County Health Department regarding the adequacy of the septic system for the additional unit. With these required modifications the residential use should pose no significant county-wide or inter-community impact.

Director

January 11, 2024

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

DEPARTMENT USE ONLY:
GCDP Referral # T-01-BAT-01-24

RECEIVED
Genesee County
Dept. of Planning
1/4/2024

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) Town of Batavia Planning
Address 3833 West Main St Rd
City, State, Zip Batavia, NY 14020
Phone (585) 343-1729 Ext. 238

2. APPLICANT INFORMATION

Name Wesley Winters
Address 181 Pearl Street
City, State, Zip Batavia, NY 14020
Phone (585) 409-1654 Ext. _____ Email wesley.winters@gmail.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|--|--------------------------------------|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____ | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

- A. Full Address 8591 Slusser Rd Batavia, NY 14020
- B. Nearest intersecting road West Main St Rd
- C. Tax Map Parcel Number 6.-1-48
- D. Total area of the property .29 acres Area of property to be disturbed 0
- E. Present zoning district(s) Hamlet Commercial District (HC)

5. REFERRAL CASE INFORMATION:

- A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____
- B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
Town of Batavia Zoning Code Section 235-27.1
- C. Please describe the nature of this request Applicant is requesting Site Plan review and a Special Use Permit to add a third apartment to an existing structure in the Hamlet Commercial District

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input checked="" type="checkbox"/> Location map or tax maps | <input type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input type="checkbox"/> Elevation drawings | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> SEQR forms | <input checked="" type="checkbox"/> Agricultural data statement | |

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Matthew Mahaney Title CEO Phone (585) 343-1729 Ext. 238
Address, City, State, Zip 3833 West Main St Rd Batavia, NY 14020 Email mmahaney@townofbatavia.com

Agricultural Data Statement

Date 01/04/2024

Instructions: This form must be completed for any application for a special use permit, site plan approval, use variance or a subdivision approval requiring municipal review that would occur on property within 500 feet of a farm operation located in a NYS Dept. of Ag & Markets certified Agricultural District.

Applicant

Owner if Different from Applicant

Name: <u>Wesley Winters</u> Address: <u>181 Peral Street</u> <u>Batavia, NY 14020</u>	Name: _____ Address: _____ _____
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1. Type of Application: Special Use Permit; Site Plan Approval ; Use Variance;
(circle one or more) Subdivision Approval

2. Description of proposed project: Applicant is requesting Site Plan Review and Special Use Permit to add a third apartment to an existing structure in the Hamlet Commercial District

3. Location of project: Address: 8591 Slusser Rd Batavia, NY 14020
Tax Map Number (TMP) 6.-1-48

4. Is this parcel within an Agricultural District? NO YES (Check with your local assessor if

5. If YES, Agricultural District Number _____ you do not know)

6. Is this parcel actively farmed? NO YES

7. List all farm operations within 500 feet of your parcel. Attach additional sheets if necessary.

Name: <u>Daniel Mamak</u> Address: <u>2648 Stegman Rd</u> <u>Batavia, NY 14020</u> Is this parcel actively farmed? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	Name: _____ Address: _____ Is this parcel actively farmed? <input type="checkbox"/> NO <input type="checkbox"/> YES
Name: _____ Address: _____ Is this parcel actively farmed? <input type="checkbox"/> NO <input type="checkbox"/> YES	Name: _____ Address: _____ Is this parcel actively farmed? <input type="checkbox"/> NO <input type="checkbox"/> YES

Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by:

[Signature]
Signature of Municipal Official

1/4/24
Date

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

Building and Zoning Application Permit No. _____

Town of Batavia 3833 West Main Rd. Batavia NY 14020 PH. 585-343-1729

Date **12/18/23** Zone _____ Flood Zone _____ Wellhead Protection _____ Corner Lot

New Construction Fence Pond Sign **Alteration(s) xx** Addition Demolition

Accessory Bldg. Mobile Home Fill Permit Home Occupation Land Separation Site Plan Approval

Special Use Permit Temporary Use Subdivision Zoning Variance Request Other Specify: _____

Tax Map No. **182400 6.-1-48 000763 338**

Owners Name **Wesley A. Winters** Phone No. **(585) 409-1654**

Address **181 Pearl Street Batavia, New York 14020** Project Road Width **45ft**

Applicants Name **Wesley A. Winters** Project Address **8591 Slusser Road, East Pembroke 14056**

E Mail Address **wesley.winters@gmail.com** Phone No **(585) 409-1654**

Description of Project: **Adding 3 bedroom apartment in existing building**

Existing Use **2 family residence**

Proposed Use **3 family residence**

Estimated Cost Building **\$13000** Plumbing **\$2000** Mechanical **\$4000** Miscellaneous **\$1000**

SEQR CLASSIFICATION Type 1 Type 2 Unlisted

Review completed by Planning Board _____ Zoning Board of Appeals _____

Permit Fee \$ _____ Application Date ____/____/____ Permit Expires On ____/____/____

Issuing Officer _____ Date ____/____/____

IN SIGNING THIS DOCUMENT I HEARBY GIVE THE RIGHT OF AN ON SITE INSPECTION TO THE TOWN OF BATAVIA CODE ENFORCEMENT OFFICIAL OR THEIR DESIGNE. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I, WESLEY A. WINTERS, as Owner or Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge.

Wesley A. Winters _____ 12/15/23 _____

Signature of Owner or Authorized Agent

Date

Construction Attachment:

Permit No. _____

Type of Construction

Agriculture Commercial Industrial Residential **XX** Miscellaneous

Contractors

General Contactors Name Wesley A. Winters Address 181 Pearl Street, Batavia, New York

Phone 585-409-1654

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@gmail.com**

Certificate of Workers Compensation: Yes No **XX** Expiration Date ___/___/___

Liability Insurance: Yes **XX No** Expiration Date **01/31/25**

APPLICANT SHALL PROVIDE A COPY OF ALL INSURANCE AND WORKERS COMP. WITH THIS APPLICATION

- **Masonry Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

- **Electrical Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

- **Plumbing Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

- **Alarms / Sprinklers Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

- **HVAC Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

- **Landscape / Site Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

- **Miscellaneous Wesley A. Winters/Owner Phone (585) 409-1654**

Office Phone n/a **Cell Phone(585) 409-1654** Fax No. n/a **E-Mail wesley.winters@email.com**

▪

Signature of Owner or Authorized Agent *X Wesley A Winters* Date *12/15/23*

Affidavit of Exemption to Show Specific Proof of Workers' Compensation Insurance Coverage for a 1, 2, 3 or 4 Family, Owner-occupied Residence

****This form cannot be used to waive the workers' compensation rights or obligations of any party.****

Under penalty of perjury, I certify that I am the owner of the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit that I am applying for, and I am not required to show specific proof of workers' compensation insurance coverage for such residence because (please check the appropriate box):

- I am performing all the work for which the building permit was issued.
- I am not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping me perform such work.
- I have a homeowner's insurance policy that is currently in effect and covers the property listed on the attached building permit AND am hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for which the building permit was issued.

I also agree to either:

- ◆ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if I need to hire or pay individuals a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit, or if appropriate, file a WC/DB-100 exemption form; OR
- ◆ have the general contractor, performing the work on the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit that I am applying for, provide appropriate proof of workers' compensation coverage or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if the project takes a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit.

Wesley A. Winters
(Signature of Homeowner)

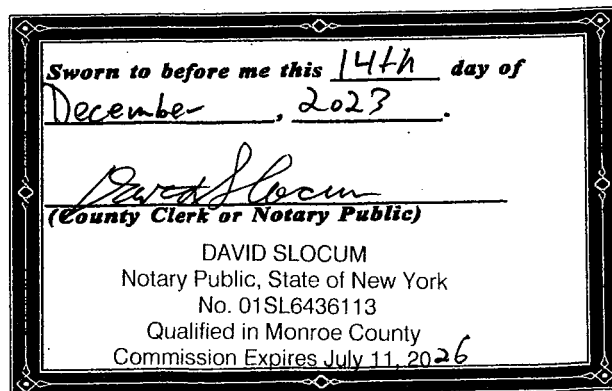
12/14/23
(Date Signed)

WESLEY A. WINTERS
(Homeowner's Name Printed)

Home Telephone Number 585-409-1654

Property Address that requires the building permit:

8591 SLUSSER RD.
EAST PEMBROKE NY 14056
TAX MAP # 182400 6.-1-48



Once notarized, this Form BP-1 serves as an exemption for both workers' compensation and disability benefits insurance coverage.

POLICY NUMBER: 381-0067369291-17
RENEWAL OF: 381-0067369291-16
POLICY PERIOD BEGINNING 02/01/24 **ENDING** 02/01/25 12:01 A.M. STANDARD TIME

YOU AS NAMED INSURED AND YOUR ADDRESS

WESLEY A WINTERS
181 PEARL ST
BATAVIA NY 14020-2926

YOUR POLICY IS SERVICED BY

TOMPKINS INSURANCE AGENCIES, INC.
90 MAIN ST
BATAVIA NY 14020-2109

AGENCY CODE:
319486999

TELEPHONE:
(585) 345-6565

COVERAGES: Coverage is provided only where an Amount of Insurance or a Limit of Liability is shown and a premium is stated for the Peril Insured Against. Detailed descriptions and any limitations will be found in your policy.

LOCATION # 1

IMPORTANT RATING INFORMATION

PREMISES DESCRIPTION:	8591 SLUSSER RD BATAVIA NY 14020-9447		
CONSTRUCTION:	FRAME	TERRITORY:	A
FAMILIES:	2	PROT. CLASS:	5
OCCUPANCY:	RENTAL	RESP. FIRE DEPT.:	EAST PEMBROKE FS
HYDRANT:	WITHIN 1,000 FEET	COUNTY:	GENESEE
FIRE DEPT.:	WITHIN 5 MILES	YR. BUILT:	1857
		FORM:	DF1

SECTION I COVERAGES	AMOUNT OF INSURANCE	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
A. DWELLING	\$ 68,745		\$ 459.00
D. LOSS OF RENTS (1/12 PER MONTH)	\$ 5,000		\$ 25.00
ADDITIONAL PERIL VANDALISM/MALICIOUS MISCHIEF			\$ 36.00

SECTION I LOSSES ARE SUBJECT TO A DEDUCTIBLE OF: \$500 VMM
\$500 ALL OTHER PERILS

SECTION II COVERAGES	LIMIT OF LIABILITY	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
F. PREMISES LIABILITY	\$ 300,000 EA ACCIDENT		\$ 369.00
G. MEDICAL PAYMENTS	\$ 500 EA PERSON		INCLUDED
	\$ 10,000 EA ACCIDENT		

FORMS/ENDORSEMENTS THAT APPLY TO LOCATION # 1**ADD'L/RETURN
PREMIUM****ANNUAL
PREMIUM**

11010 03/06 REDUCTION IN COV WHEN VACANT/UNOCC.
 11001 03/06 DWELLING FIRE ONE - LANDLORD
 11219 01/14 REQUIRED CHANGE-NEW YORK

DISCOUNTS/SURCHARGES THAT APPLY TO LOCATION # 1**ADD'L/RETURN
PREMIUM****ANNUAL
PREMIUM**

PRE-1930 CHARGE
 2 FAMILY SURCHARGE

\$ 115.00
 \$ 46.00

LOCATION # 1 Annual Premium \$ 1,050.00

TOTAL ANNUAL POLICY PREMIUM \$ 1,050.00

MINIMUM EARNED PREMIUM \$100

THIS DECLARATIONS PAGE WITH YOUR FOREMOST POLICY PROVISIONS AND ANY ENDORSEMENTS ISSUED TO FORM A PART THEREOF COMPLETES THE ABOVE NUMBERED POLICY.

Processed: December 5, 2023

SITE PLAN REVIEW TOWN OF BATAVIA

CHECKLIST

Project Description: <i>Winters 2 to 3 Apartment Project</i>		Reviewed By:
Applicant Name: Wesley A. Winters		Checked By:
Office Use	Plan Components	Comments
	Instrument Survey including Public Right-of-Way	<i>See Note 1 Map 1</i>
	North Arrow, Scale, Title and Address	<i>See Note 1 Map 1</i>
	Lot Coverage, Building Coverage and Open Space Percentage Table	<i>See Note 3 Map 3</i>
	Setback Dimensions for building and parking	<i>See Note 4 Map 4</i>
	Building/Structure Details and Elevation Views	<i>See Note 5</i>
	Existing Natural and Topographical Features	<i>See Note 6 Maps 6A, 6B & 6C</i>
	Wetland delineation or boundaries shown if on site	<i>See Note 6 Maps 6A, 6B & 6C</i>
	Proposed Driveway/Roadway with dimensions and details	<i>See Note 8 Map 8</i>
	Parking layout including aisles and queuing aisles with dimensions and number of spaces	<i>See Note 9 Map 9</i>
	Snow storage location for parking of more than 10 vehicles	<i>See Note 10 Map 10</i>
	Drainage and Grading plan with appropriate details	<i>See Note 11 Map 11</i>
	Utility Plan with appropriate details	<i>See Note 12</i>
	Lighting Plan with lighting contours and appropriate details	<i>See Note 13 MAP 13</i>
	Landscaping, Fencing and Screening Plan and appropriate details	<i>See Note 14</i>
	Storm Water Pollution Prevention Plan if disturbing more than 1 acre	<i>See Note 15</i>
	Existing and Proposed signs	<i>See Note 16</i>
	Pedestrian safety around building, curbing, sidewalks and ADA accessible ramps as necessary	<i>See Note 17 Map 17</i>
	Traffic flow easily identified	<i>See Note 18 Map 18</i>
	Profiles of roadway and Utilities if applicable	<i>See Note 19 Map 19</i>
	Appropriate notes to include topsoil to remain on site	<i>See Note 20</i>
	Trash Storage	<i>See Note 21 Map 21</i>
	Town of Batavia Signature Block on Cover Sheet	

Note 1	<p>Instrument Survey including Public Right-of-Way and North Arrow, Scale, Title and Address</p> <ul style="list-style-type: none"> ❖ Instrument Survey included in Map 1 ❖ Title: Survey of part of Lot-10, Sec-13, TWP-12, R-2, Holland Purchase ❖ Hamlet – East Pembroke, Town of Batavia, Genesee County, New York ❖ North Arrow Upper Corner ❖ Scale 1" = 20' ❖ 8591 Slusser Road, East Pembroke, New York 14056
Note 3	<p>Lot Coverage, Building Coverage and Open Space Percentage Table</p> <ul style="list-style-type: none"> ❖ Lot size 0.241 Ac (10,500 sq. ft.) (Map 1) ❖ Building coverage 23.7% (2,500 sq. ft.) (Map 4) ❖ Driveway coverage 23% (2,400 sq. ft.) (Map 8) ❖ Parking coverage 23% (2,400 sq. ft.) Map 9) ❖ Open space 30.3% (3,200 sq. ft.) (Map3B) ❖ Additional open space surrounds the lot on all sides
Note 4	<p>Setback Dimensions for Building and Parking</p> <ul style="list-style-type: none"> ❖ Instrument survey with building shaded in Map 4 ❖ Instrument survey with parking depicted in Map 9
Note 5	<p>Building/Structure Details and Elevation Views</p> <ul style="list-style-type: none"> ❖ Building structure is wood frame post and beam ❖ Exterior is clad in pine clapboards over 1x12 + sheathing and wind resistant fabric ❖ Constructed in 1854 as a Presbyterian church with the majority of the original exterior design elements preserved ❖ Building height 30' at peak – Bell tower 45' at peak
Note 6	<p>Existing Natural and Topographical Features and Wetland delineation or boundaries shown if on site</p> <ul style="list-style-type: none"> ❖ Topographical data gleaned from engineering drawings for <i>Site Waste Treatment</i> system dated October 2011 (Maps 6A, 6B & 6C) ❖ 100 year flood boundary identified on adjacent property in excess of 108' north of north property line and in excess of 185' north of building ❖ 100 year flood boundary approximately 862.5' above sea level ❖ Ground level at building is 880.5' above sea level ❖ No wetlands delineations identified
Note 8	<p>Proposed Driveway/Roadway with dimensions and details</p> <ul style="list-style-type: none"> ❖ Current driveway is 40' wide x 130' deep between east side of building and east property line ❖ Proposed change dedicates 16' x 65' adjacent to building as 8 parking spaces ❖ Dedicated driveway adjacent to east property line is 22' wide and 130' deep ❖ Driveway contains 3 highway grade manhole access covers to septic system
Note 9	<p>Parking layout including aisles and queuing aisles with dimensions and number of spaces</p> <ul style="list-style-type: none"> ❖ Parking spaces are to scale as standard 9'x18' 90 degrees to building ❖ P1 13' x 20' N-S orientation – between trash dumpster and east property line ❖ P2, P3 9' x 18' E-W orientation – behind NE corner of building parallel to N wall of building ❖ P4-P9 9' x 18' E-W orientation – perpendicular to E wall of building ❖ P10-P11 9' x 18' N-S orientation – parallel to W wall of building near to W entrance
Note 10	<p>Snow storage location for parking of more than 10 vehicles</p> <ul style="list-style-type: none"> ❖ Snow storage location to clear parking for more than 10 cars is established north west of the parking area on the lawn west of the trash dumpster ❖ Additional storage of snow is along the east edge of the driveway ❖ Snow near Route 5 along the south east corner but not within 30 ft. of the shoulder ❖ Snow on the west side of the building will be stored north adjacent to the north west corner of the building ❖ No snow will be stored near the corner of Slusser Road and Route 5

Note 11	<p>Drainage and Grading plan with appropriate details</p> <ul style="list-style-type: none"> ❖ Current drainage will be undisturbed and no grading is expected ❖ Displaced water is directed to buried pipe and allowed to daylight on the Slusser Road side (West) ❖ The drainage follows natural contours to the creek ❖ Driveway is not paved and rainwater and snow melt evaporate ❖ Approximately 75% of the lot is available for natural absorption
Note 12	<p>Utility Plan with appropriate details</p> <ul style="list-style-type: none"> ❖ New service entrance cable from power pole to contact point on NE corner of building ❖ New mast heads and conduit on NE corner of building to new meter boxes ❖ New service entrance cable to subpanels in utility room ❖ All new wiring to new apartment upgrade wiring to existing 2 apartment subpanel boxes ❖ Wiring inspected and built to code
Note 13	<p>Lighting Plan with lighting contours and appropriate details</p> <ul style="list-style-type: none"> ❖ Entrance doors are illuminated with dusk to dawn controlled lighting ❖ Lighting contours for entrances are confined to the immediate proximity ❖ Driveway illumination is accomplished by 2 LED wall packs controlled by motion sensor ❖ The driveway lighting contours are confined to the driveway/parking areas ❖ A dusk to dawn wall pack is mounted on the north wall for personal safety
Note 14	<p>Landscaping, Fencing and Screening Plan and appropriate details</p> <ul style="list-style-type: none"> ❖ Current landscaping will not be disturbed ❖ No fencing or screening will be constructed or planted
Note 15	<p>Storm Water Pollution Prevention Plan</p> <ul style="list-style-type: none"> ❖ No land is being disturbed
Note 16	<p>Existing and Proposed signs</p> <ul style="list-style-type: none"> ❖ There are no current signs and none are proposed ❖ Additional building numbers will be applied ❖ The original building faces Main Street and existed many years prior to Slusser Road being constructed ❖ Records show 2601 West Main Street was associated with the property many years ago ❖ Use of 8591 Slusser Road will continue to be used
Note 17	<p>Pedestrian safety around building, curbing, sidewalks and ADA accessible ramps as necessary</p> <ul style="list-style-type: none"> ❖ Pedestrian sidewalks service common paths of pedestrian traffic ❖ Curbing helps define the boundary of lawn and vehicle traffic area ❖ Access to building is via Slusser Road entry and NE corner of building ❖ No access via south wall ❖ Ramp access is not necessary
Note 18	<p>Traffic flow easily identified</p> <ul style="list-style-type: none"> ❖ Entrance and egress are accomplished consistent with a standard driveway ❖ <i>Additionally</i>, the 40' driveway width can accommodate standard cars and trucks to turn around and egress without backing out into traffic ❖ Traffic flow is unobstructed from all directions
Note 19	<p>Profiles of roadway and Utilities if applicable</p> <ul style="list-style-type: none"> ❖ Water shutoff 20' south of south wall in lawn ❖ Gas meters (3) located on north wall east side ❖ Electric service located on north wall east side ❖ Cable and phone service located north wall east side ❖ Septic system see note 6
Note 20	<p>Appropriate notes to include topsoil to remain on site</p> <ul style="list-style-type: none"> ❖ The scope of this project doesn't involve disturbing or removing any topsoil
Note 21	<p>Trash Storage</p> <ul style="list-style-type: none"> ❖ 6 yard commercial front load dumpster bi-weekly service contracted

LOT COVERAGE EAST PEMBROKE
 BUILDING FIRE DEPARTMENT

REPUTED OWNER

REPUTED OWNER
PAUL R. OBERLANDEF

NOTE # 3
 (N-80°-15'-W DEED)

MAP 3a

1.25 CH. = 82.5' DEED = 80.67' MEAS.

A.K.A. SLUSSER ROAD
 ASPHALT TRAVELED WAY

TOWN OF
 EAST LINE
 WEST LINE L
 TOWN

○ EX. IRON PIPE W/ CAP
 13.35' NORTH
 6.33' EAST

SET IRON PIPE W/ CAP

EX. IRON PIPE

87°-29'-54"

92°-51'-30"

EAST LINE BURYING GROUND
 276.01' MEAS.
 (S-07°-30'-W DEED)
 2.05 CH. = 135.3' DEED = 135.74' MEAS.

1.82 CH. = 120.12' DEED = 123.97' MEAS.
 (N-07°-30'-E DEED)

5.34'
 10.8'
 18.8'
 8.1'
 8.1'
 2 GAS METERS

BUILDING NO. 8591

2 GAS METERS

GAS METER

C.O.

SEPTIC TANK COVER

C.O.

95°-25'-57"

COVERED ENTRANCE WEST
 0.7'
 WEST 1.0'
 WEST 4.75'

7.0'
 1.43'

2.1'
 12.65'
 84°-12'-39"

WATER VALVE

POR. 6'

POR. 6'

6.70'

GAS VALVE

SET IRON PIPE W/ CAP
 EX. IRON PIPE 3.31' SOUTH

1.25 CH. = 82.5' DEED = 81.78' MEAS.
 (N-82°-45'-E DEED)

WEST MAIN STREET (99.0' WIDE)
 (N.Y. ROUTE NO. 5)
 (BUFFALO ROAD)

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

FORMERLY OF
 OF
 2-315
 "CEMETERY"
 "ING
 "ND

LOT COVERAGE

OPEN SPACE

NOTE # 3b

REPUTED OWNER
**EAST PEMBROKE
FIRE DEPARTMENT**

MAP 3b

EMERYLY
OF
OKE
-315
EMETERY
NG
VD

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

TOWN OF
EAST LINE
WEST LINE L
TOWN

EX. IRON PIPE W/ CAP
13.35' NORTH
8.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

SET IRON PIPE
W/ CAP

87°-29'-54°

T

EAST LINE BURYING-GROUND
276.01' MEAS.
(S-07°-30'-E DEED)
2.05 CH. = 135.3' DEED = 130.7' MEAS.

5.34'

10.8'

8.1'

18.8'

8.1'

2 GAS METERS

11.0'

37.18'

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

REPUTED OWNER
**PAUL R.
OBERLANDEF**

BUILDING
NO. 8901

64.5'

COVERED
ENTRANCE
WEST
1.0'
WEST
4.75'

0.7'

7.0'

1.43'

2.1'

12.66'

12.7'

28.0'

GAS
METER

C.O.

SEPTIC
TANK
COVER

C.O.

38.36'

85°-25'-57°

SET IRON PIPE
W/ CAP

EX. IRON PIPE
3.31' SOUTH

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

(99.0' WIDE)

CURB

WEST
MAIN
CURB
(N.Y. ROUTE NO. 5)

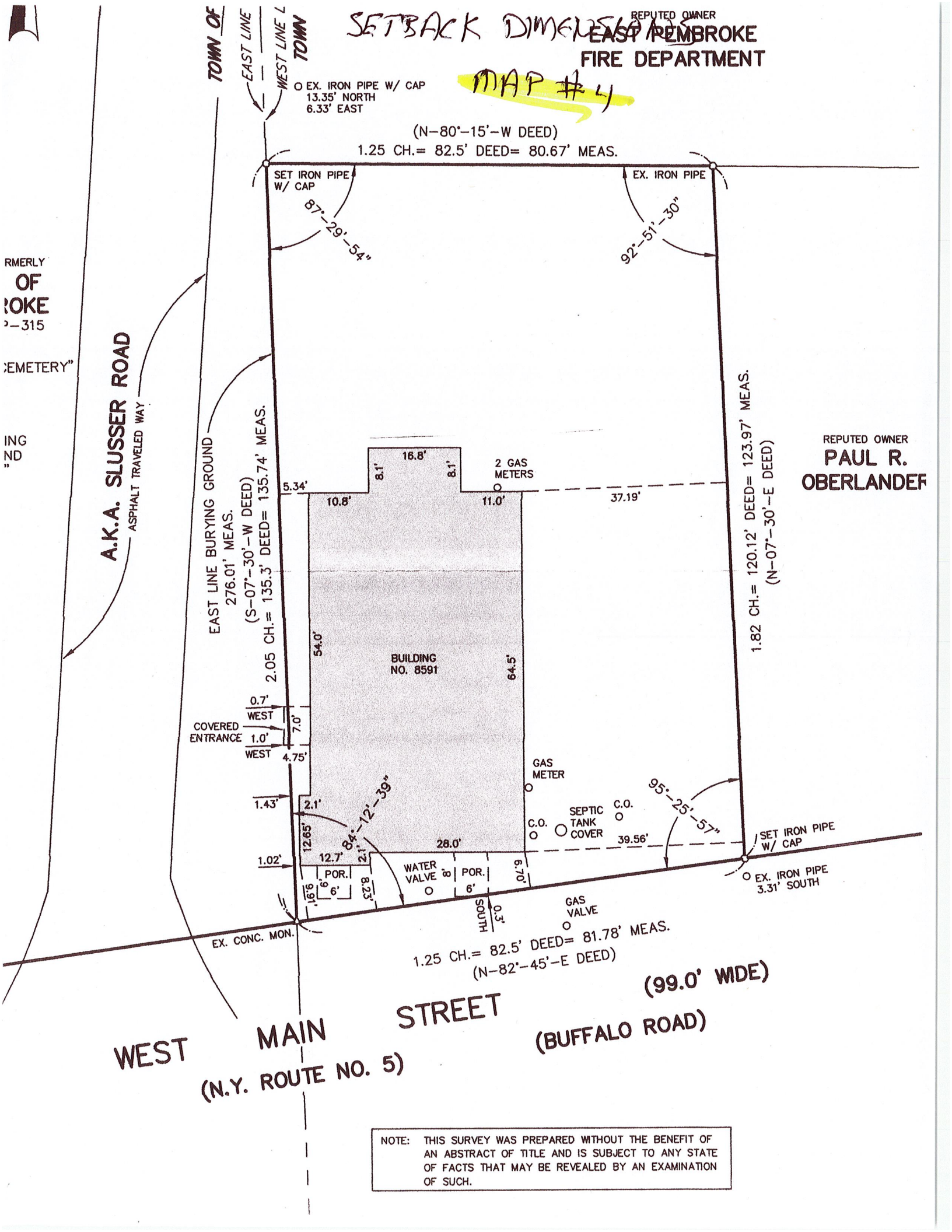
STREET

(BUFFALO ROAD)
NORTH SHOULDER RT 5

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

REPUTED OWNER
SETBACK DIMENSIONS EAST PEMBROKE FIRE DEPARTMENT

MAP # 4



○ EX. IRON PIPE W/ CAP
 13.35' NORTH
 6.33' EAST

(N-80°-15'-W DEED)
 1.25 CH.= 82.5' DEED= 80.67' MEAS.

SET IRON PIPE W/ CAP

EX. IRON PIPE

A.K.A. SLUSSER ROAD
 ASPHALT TRAVELED WAY

EAST LINE BURYING GROUND
 276.01' MEAS.
 (S-07°-30'-W DEED)
 2.05 CH.= 135.3' DEED= 135.74' MEAS.

1.82 CH.= 120.12' DEED= 123.97' MEAS.
 (N-07°-30'-E DEED)

REPUTED OWNER
PAUL R. OBERLANDEF

BUILDING NO. 8591

2 GAS METERS

GAS METER

SEPTIC TANK COVER
 C.O.

GAS VALVE

1.25 CH.= 82.5' DEED= 81.78' MEAS.
 (N-82°-45'-E DEED)

WEST MAIN STREET (BUFFALO ROAD) (99.0' WIDE)
 (N.Y. ROUTE NO. 5)

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

NOT IN ANY WAY DOES THE APPROVAL INDICATE ADEQUACY

NOTE #6 TOPOGRAPHICAL FEATURES

0 COMPARTMENT AND ONE 500-GALLON SEPTIC TANK FOR
NT BUILDING WITHOUT GARBAGE GRINDER. THE SEPTIC
OR PEA GRAVEL AT LEAST 3-INCHES THICK AND SHALL
LTER OR EQUAL.

0 LAID WITH TIGHT JOINTS AT A SLOPE OF 1/8-INCH PER

FORMITY COEFFICIENT (UC) EQUAL TO OR LESS THAN FOUR
ETWEEN 0.25 TO 1.00 mm.

FIVE (5) 4" DISTRIBUTOR PIPES, 45'-0" IN LENGTH OF
ALLED AT 1/16" TO 1/32" PER FOOT. ALL PIPES SHALL BE

OF SEVEN (7) RUNS, 40'-0" IN LENGTH OF PERFORATED
1/16" TO 1/32" PER FOOT.

AL SYSTEM SHALL BE AT LEAST 100' FROM ANY WELL OR
RAIN TILE, OR 20' FROM ANY BUILDING FOUNDATION WALL
WATER LINE OR PROPERTY LINE.

T 50' FROM ANY WELL, 10' FROM ANY FOUNDATION WALL,

DRAINS SHALL BE DIRECTED AWAY FROM THE WASTE

ET ON A BED OF SAND OR PEA GRAVEL AT LEAST
PIPES LEADING FROM THE DISTRIBUTION BOXES SHALL BE
FFICIENT WATER AVAILABLE AT THE TIME OF INSPECTION
THE EVENNESS OF THE INVERTS. THE USE OF SPEED

T OFF THE AREA OF THE WASTE DISPOSAL BED.
Y A REPRESENTATIVE OF THE ENGINEERS OFFICE BEFORE
ALL INSPECTIONS SHALL BE FURNISHED TO THE GCHD.
IVING DEVICES: 3-APARTMENT, 6-BEDROOM BUILDING =

grade = 3.48

D Box INVERT = 6.48

BOTTOM OF DIS = 12.48

BOTTOM OF TANK
(TOP OF STAGE) 12.29

MAP 6A

Project:

WINTERS' APARTMENTS
8591 SLUSSER ROAD
BATAVIA (T), GENESEE (C), NEW YORK

Title:

PROPOSED WASTE TREATMENT SYSTEM



PDM ENGINEERS

115 Grandview Terrace
Batavia, NY 14020
Tel: 585 345-1159
Email: pdmengineers@verizon.net

Date: OCTOBER 2011

Scale: AS SHOWN

Designed by: PDM

Drawn by: DTD

Checked by: PDM

Drawing No.:

C1 ZG11

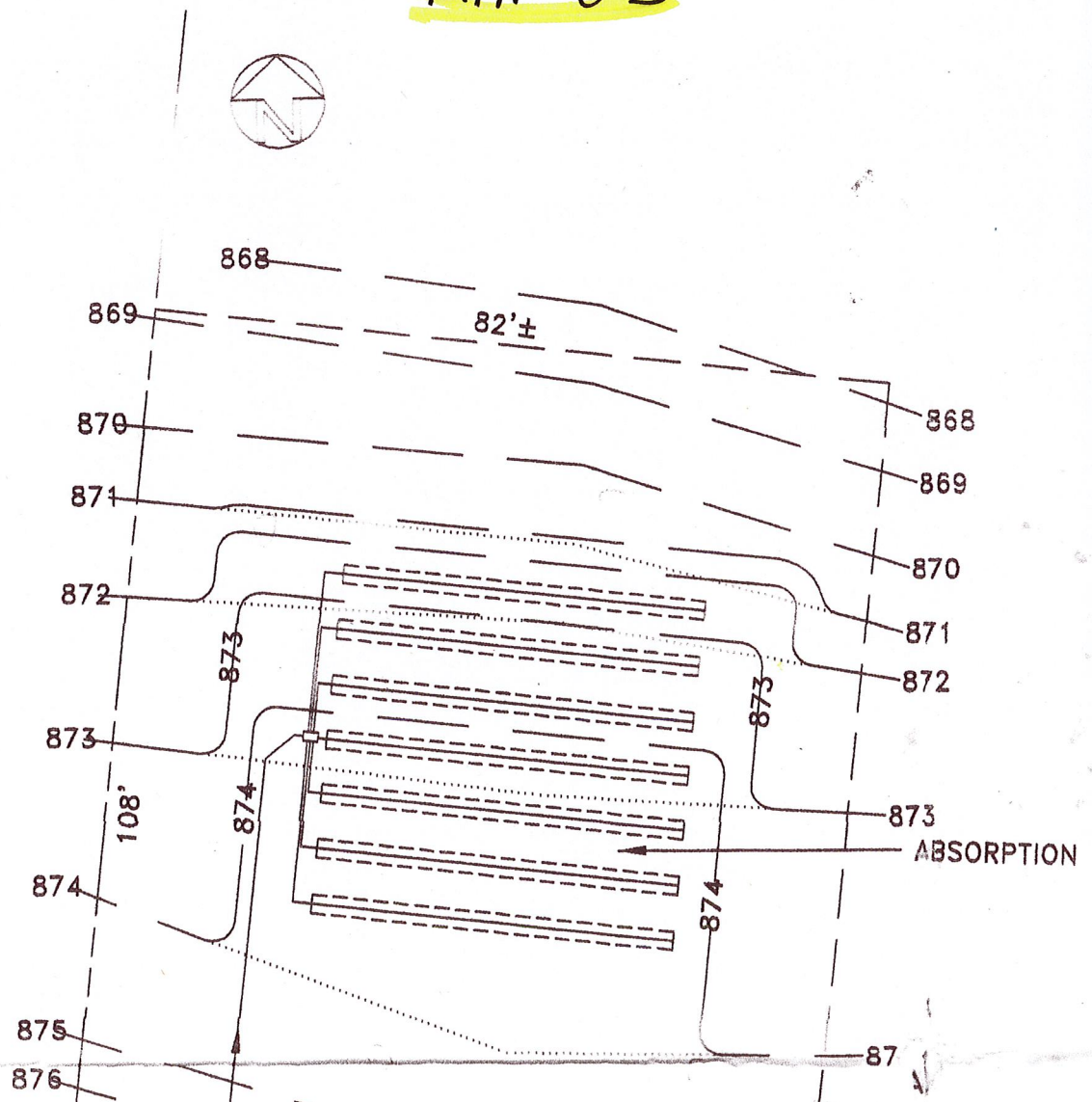
6 NOTE

TOPOGRAPHICAL FEATURES

NOTE: ACCORDING TO THE GENESEE COUNTY INTRANET MAPPING SYSTEM, THERE IS A 100-YEAR FLOOD BOUNDARY ADJACENT TO THIS SITE AT AN ELEVATION OF APPROXIMATELY 862.50.

NOTE: THE DATA SHOWN ON THIS DRAWING PERTAINING TO THE CONTOURS WERE PREPARED FROM THE FIELD NOTES. THESE DATA ARE NOT TO BE CONSIDERED NOR THEY INTENDED TO BE A SUBSTITUTE FOR SURVEYS THAT THE CONTRACTOR SHOULD HAVE MADE PREPARING FOR THE CONSTRUCTION OF THIS PROJECT. SHOULD THE CONTRACTOR FIND CONDITIONS SUBSTANTIALLY DIFFERENT FROM THOSE SHOWN ON THIS DRAWING, HE WILL CONTACT THE ENGINEER WHO WILL REVIEW THE CONTRACTOR'S DATA AND DETERMINE WHETHER ANY CHANGES ARE NECESSARY ON THE DRAWING AND IN THE ENGINEERING REPORT.

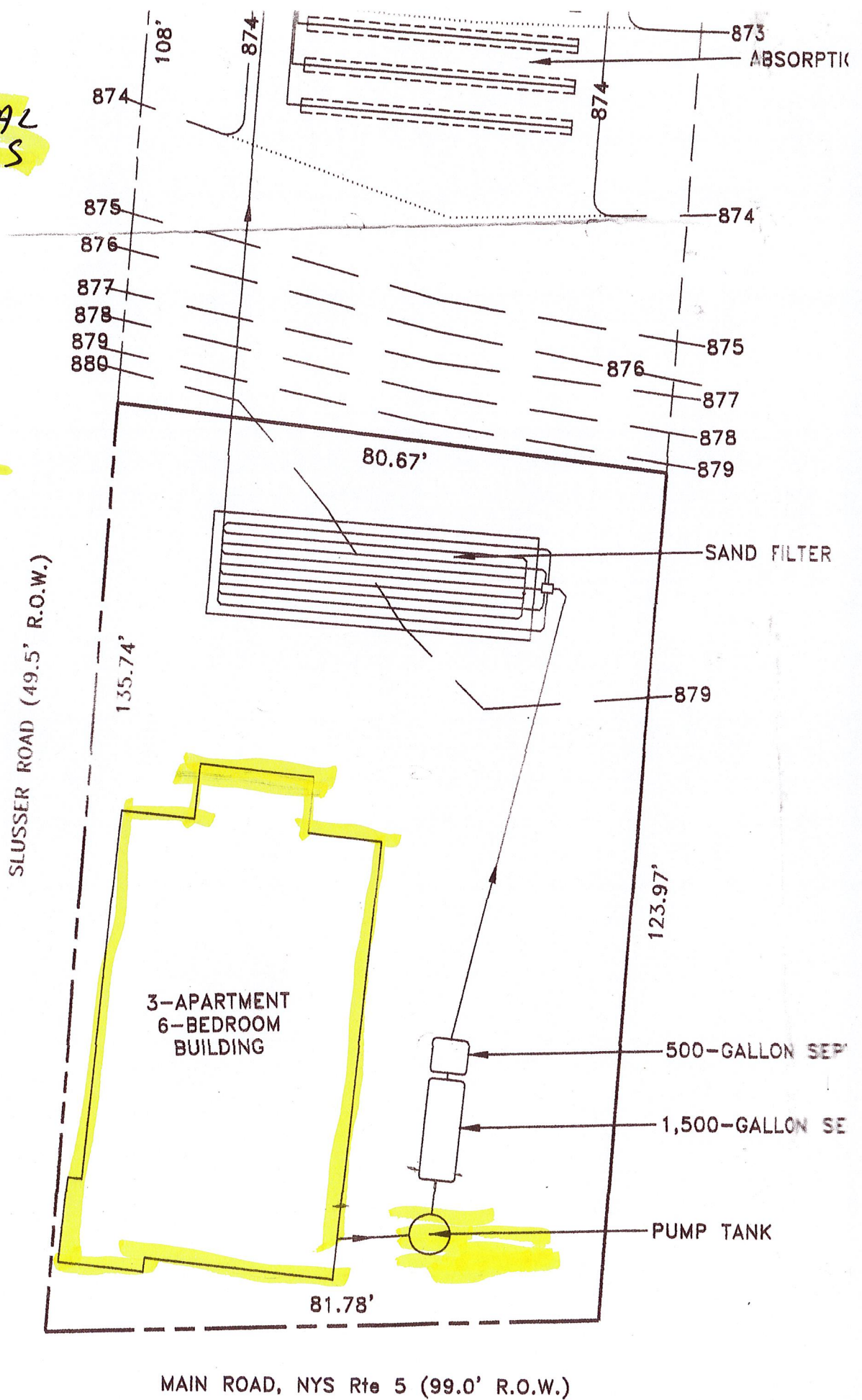
MAP 6B



6

TOPOGRAPHICAL
FEATURES

MAP 6 C



DRIVEWAY / ROADWAY

~~NOTE~~ # 8
MAP

REPUTED OWNER
**EAST PEMBROKE
FIRE DEPARTMENT**

REPUTED OWNER
**PAUL R.
OBERLANDEF**

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

EMERYLY
OF
OKE
-315
EMETERY
NG
ND

TOWN OF
EAST LINE
WEST LINE L
TOWN

EX. IRON PIPE W/ CAP
13.35' NORTH
6.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

SET IRON PIPE
W/ CAP
87°-29'-54"

EAST LINE BURYING-GROUND
276.01' MEAS.
(S-07°-30'-W DEED)
2.05 CH. = 135.3' DEED = 135.74' MEAS.

COVERED
ENTRANCE
WEST 0.7'
WEST 1.0'
WEST 4.75'

BUILDING
NO. 8901

2 GAS
METERS

GAS
METER

SEPTIC
TANK
COVER

WATER
VALVE

GAS
VALVE

SET IRON PIPE
W/ CAP

EX. IRON PIPE
3.31' SOUTH

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

WEST MAIN STREET (99.0' WIDE) CURB
(N.Y. ROUTE NO. 5) - (BUFFALO ROAD) NORTH SHOULDER RT 5

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

PARKING LAYOUT

#9 NOTE
MAP 9

REPUTED OWNER
EAST PEMBROKE
FIRE DEPARTMENT

EMERLY
OF
OKE
-315
EMETERY
NG
ND

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

TOWN OF
EAST LINE
WEST LINE L
TOWN

EX. IRON PIPE W/ CAP
13.35' NORTH
6.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

SET IRON PIPE
W/ CAP

87°-29'-54"

T

2
3

2 GAS
METERS

REPUTED OWNER
PAUL R.
OBERLANDER

EAST BURYING GROUND
MEAS.
(S-07°-30'-W DEED)
2.05 CH. = 135.3' DEED = 135.74' MEAS.

COVERED
ENTRANCE

BUILDING
NO. 6991

4
5
6
7
8
9

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

WEST
WEST
WEST

ONE
METER

SEPTIC
TANK
COVER

SET IRON PIPE
W/ CAP

EX. IRON PIPE
3.31' SOUTH

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

(99.0' WIDE)

CURB

WEST MAIN STREET
(N.Y. ROUTE NO. 5)

(BUFFALO ROAD)
NORTH SHOULDER RT 5

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

10

SNOW STORAGE

REPUTED OWNER
**EAST PEMBROKE
FIRE DEPARTMENT**

MAP 10

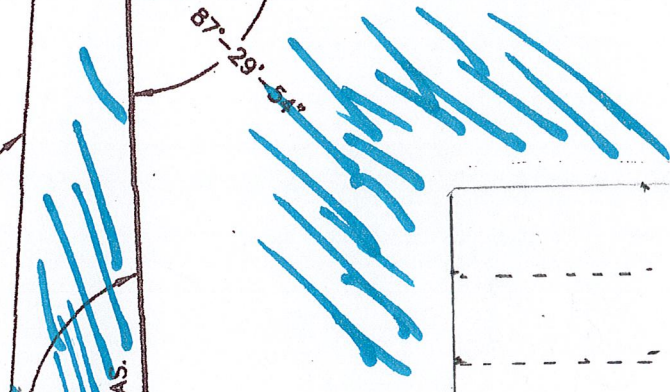
EX. IRON PIPE W/ CAP
13.35' NORTH
6.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

TOWN OF
EAST LINE
WEST LINE L
TOWN

SET IRON PIPE
W/ CAP

87°-29'-54"



EAST LINE BURYING GROUND
276.01' MEAS.
(S-07°-30'-W DEED)
2.05 CH. = 135.3' DEED = 135.74' MEAS.

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

EMERYLY
OF
OKE
-315
EMETERY"
NG
ND

2 GAS METERS

REPUTED OWNER
**PAUL R.
OBERLANDEF**

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

BUILDING
NO. 8591

COVERED
ENTRANCE
WEST
1.0'
WEST
4.75'

GAS METER

SEPTIC TANK
COVER

SET IRON PIPE
W/ CAP

EX. IRON PIPE
3.31' SOUTH

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

(99.0' WIDE)

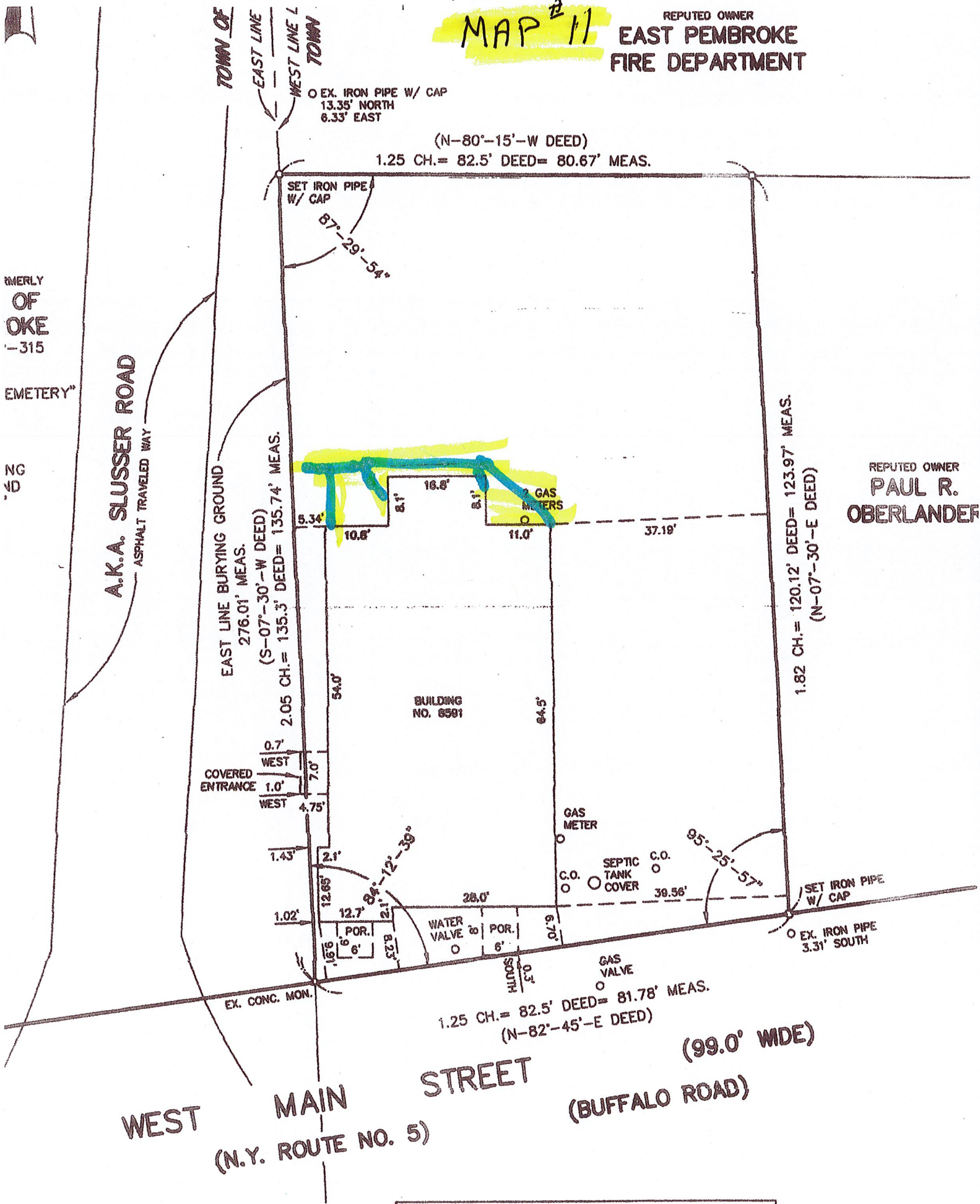
WEST MAIN STREET
(N.Y. ROUTE NO. 5)

(BUFFALO ROAD)
NORTH SHOULDER RT 5
CURB

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

#11 DRAINAGE MAP #11

REPUTED OWNER
**EAST PEMBROKE
FIRE DEPARTMENT**



REPUTED OWNER
**PAUL R.
OBERLANDER**

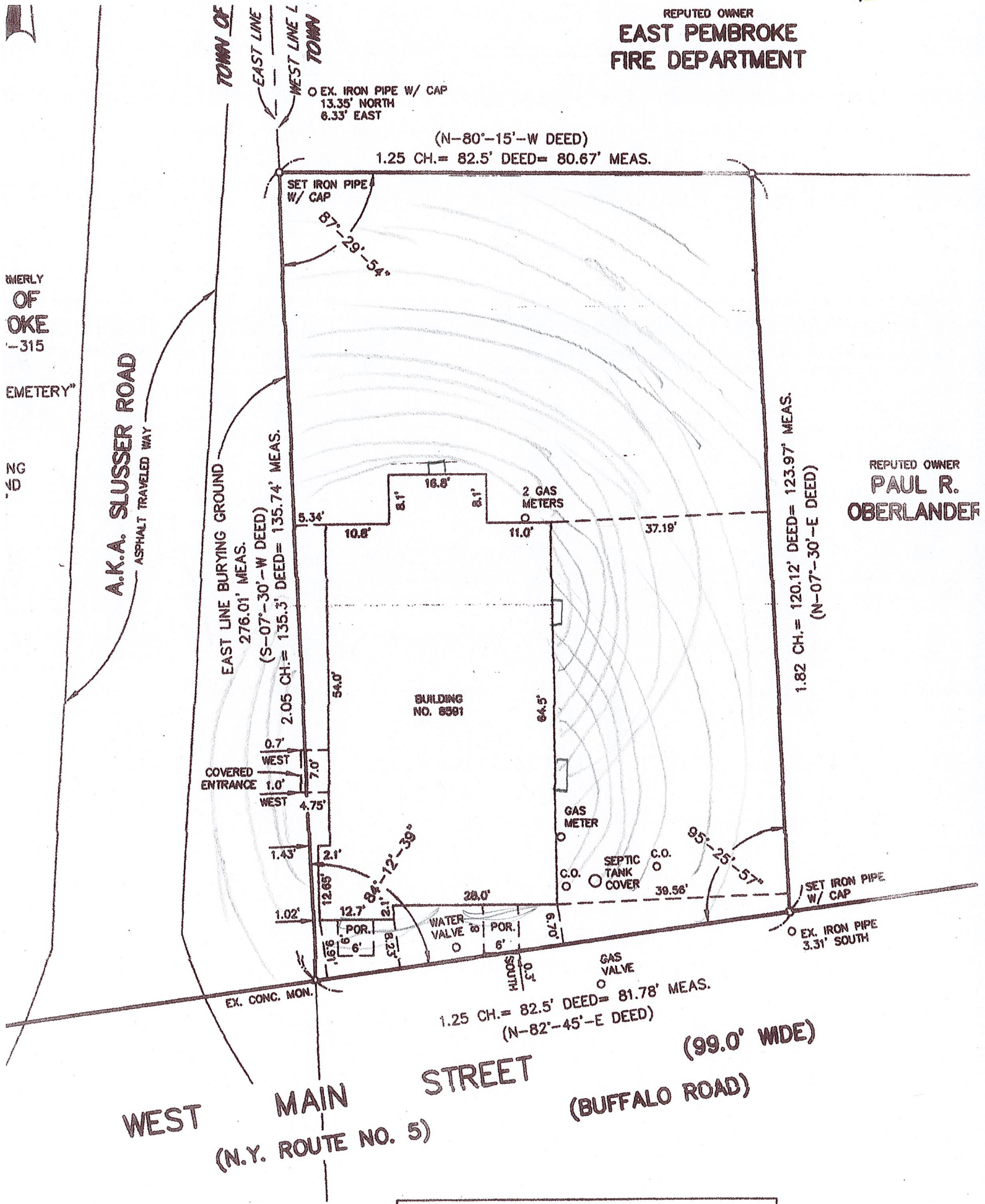
WEST MAIN STREET
(N.Y. ROUTE NO. 5)
(99.0' WIDE)
(BUFFALO ROAD)

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

#13 LIGHTING CONTOURS MAP #13

REPUTED OWNER
**EAST PEMBROKE
 FIRE DEPARTMENT**

REPUTED OWNER
**PAUL R.
 OBERLANDEF**



A.K.A. SLUSSER ROAD
 ASPHALT TRAVELED WAY

WEST MAIN STREET
 (N.Y. ROUTE NO. 5)

(99.0' WIDE)
(BUFFALO ROAD)

EAST LINE BURYING GROUND
 276.01' MEAS.
 (S-07°-30'-W DEED)
 2.05 CH. = 135.3' DEED = 135.74' MEAS.

1.82 CH. = 120.12' DEED = 123.97' MEAS.
 (N-07°-30'-E DEED)

(N-80°-15'-W DEED)
 1.25 CH. = 82.5' DEED = 80.67' MEAS.

1.25 CH. = 82.5' DEED = 81.78' MEAS.
 (N-82°-45'-E DEED)

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

17

PEDESTRIAN SAFETY

SIDEWALK MAP 17

REPUTED OWNER
**EAST PEMBROKE
FIRE DEPARTMENT**

REPUTED OWNER
**PAUL R.
OBERLANDER**

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

TOWN OF
EAST LINE
WEST LINE L
TOWN

EX. IRON PIPE W/ CAP
13.35' NORTH
6.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

SET IRON PIPE
W/ CAP

87°-29'-54"

EAST LINE BURYING GROUND
276.01' MEAS.
(S-07°-30'-W DEED)
2.05 CH. = 135.3' DEED = 135.74' MEAS.

16.8'
8.1'
8.1'
11.0'

2 GAS METERS

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

BUILDING
NO. 8591

64.5'

COVERED
ENTRANCE
WEST
WEST

0.7'
7.0'
1.0'
4.75'

GAS METER

SEPTIC
TANK
COVER

95°-25'-57"

SET IRON PIPE
W/ CAP

EX. IRON PIPE
3.31' SOUTH

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

WEST MAIN STREET (99.0' WIDE)
(N.Y. ROUTE NO. 5)
(BUFFALO ROAD)

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF

#18 TRAFFIC FLOW

MAP 18

REPUTED OWNER
EAST PEMBROKE
FIRE DEPARTMENT

EMERYLY
OF
OKE
-315
EMETERY
NG
ND

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

TOWN OF
EAST LINE
WEST LINE L
TOWN

EX. IRON PIPE W/ CAP
13.35' NORTH
0.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

SET IRON PIPE
W/ CAP

67°-29'-54"

T

EAST LINE BURYING-GROUND
276.01' MEAS.
(S-07°-30'-W DEED)
2.05 CH. = 135.3' DEED = 135.74' MEAS.

COVERED
ENTRANCE
WEST
1.0'
WEST
4.75'

BUILDING
NO. 8891

2 GAS
METERS

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

REPUTED OWNER
PAUL R.
OBERLANDE

1.43'
2.1'
12.06'

84°-12'-30"

1.02'

12.7'
POR.
8'

20.0'

6.2'

38.56'

95°-25'-57"

SET IRON PIPE
W/ CAP

EX. IRON PIPE
3.31' SOUTH

EX. CONC. MON.

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

GAS
VALVE

WEST MAIN STREET (99.0' WIDE) CURB
(N.Y. ROUTE NO. 5) (BUFFALO ROAD) NORTH SHOULDER RT 5

19

PROFILES OF ROADWAY AND UTILITIES

MAP 19

REPUTED OWNER
EAST PEMBROKE
FIRE DEPARTMENT

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

WEMERLY OF OKE -315
EMETERY
NG

TOWN OF
EAST LINE
WEST LINE L
TOWN

EX. IRON PIPE W/ CAP
13.35' NORTH
8.33' EAST

(N-80°-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

SET IRON PIPE W/ CAP
87°-29'-54"

EAST LINE BURYING GROUND
276.01' MEAS.
(S-07°-30'-W DEED)
2.05 CH. = 135.3' DEED = 135.74' MEAS.

COVERED ENTRANCE
WEST 0.7'
WEST 1.0'
WEST 4.75'

BUILDING NO. 8901

2 GAS METERS

ELECTRIC ATTACH POINT

1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07°-30'-E DEED)

REPUTED OWNER
PAUL R. OBERLANDEE

GAS METER

SEPTIC TANK COVER
C.O.

ELECTRIC CABLE POLG

SET IRON PIPE W/ CAP

EX. IRON PIPE 3.31' SOUTH

WATER VALVE

GAS VALVE

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82°-45'-E DEED)

(99.0' WIDE)

WEST MAIN STREET
(N.Y. ROUTE NO. 5)
CURB

(BUFFALO ROAD)
NORTH SHOULDER RT 5
CURB

#21 TRASH STORAGE

MAP 21

REPUTED OWNER EAST PEMBROKE FIRE DEPARTMENT

REPUTED OWNER PAUL R. OBERLANDER

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

TOWN OF EAST LINE WEST LINE 2 TOWN

EAST LINE BURYING GROUND
276.01' MEAS.
(S-07-30'-W DEED)
2.06 CH. = 135.5' DEED = 135.74' MEAS.

(N-80-15'-W DEED)
1.25 CH. = 82.5' DEED = 80.67' MEAS.

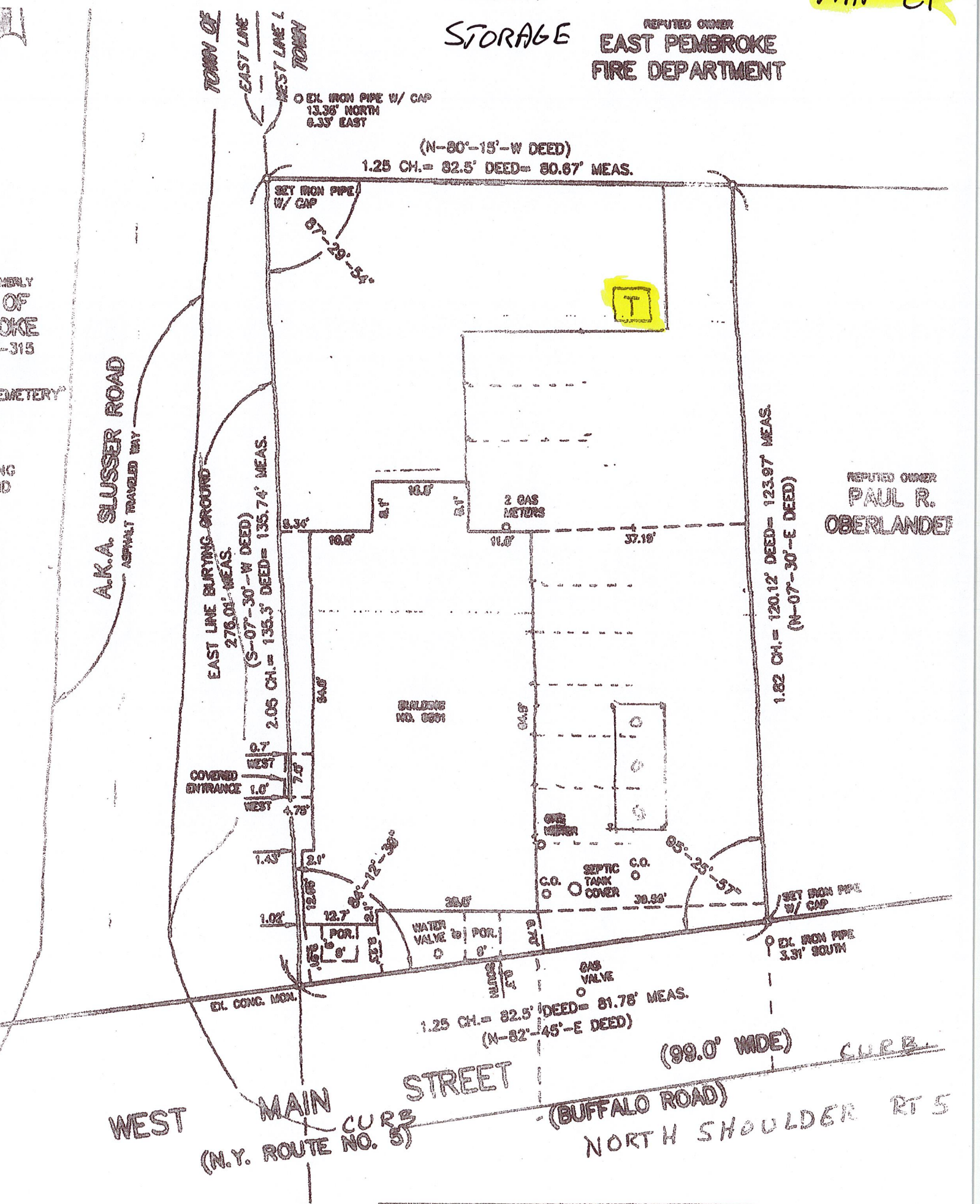
1.82 CH. = 120.12' DEED = 123.97' MEAS.
(N-07-30'-E DEED)

1.25 CH. = 82.5' DEED = 81.78' MEAS.
(N-82-45'-E DEED)

(99.0' WIDE)

WEST MAIN STREET (N.Y. ROUTE NO. 5)
CURB (BUFFALO ROAD)
NORTH SHOULDER RT 5

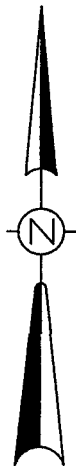
EMERY OF OKE -315
EMETERY
NC



SLUSSER ROAD
TOWN OF PEMBROKE
L-203, P-389

RESURVEY	REVISION

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.



REPUTED OWNER
**EAST PEMBROKE
FIRE DEPARTMENT**

TOWN OF PEMBROKE
EAST LINE LOT-2, SEC.-2
WEST LINE LOT-10, SEC.-13
TOWN OF BATAMA

EX. IRON PIPE W/ CAP
13.35' NORTH
6.33' EAST

(N-80°-15'-W DEED)
1.25 CH.= 82.5' DEED= 80.67' MEAS.

SET IRON PIPE W/ CAP
87°-29'-54"

EX. IRON PIPE
92°-51'-30"

NOW OR FORMERLY
**TOWN OF
PEMBROKE**
L-143, P-315

REPUTED OWNER
WESLEY A. WINTERS
L-863, P-139

0.241±Ac.

"PIONEER CEMETERY"

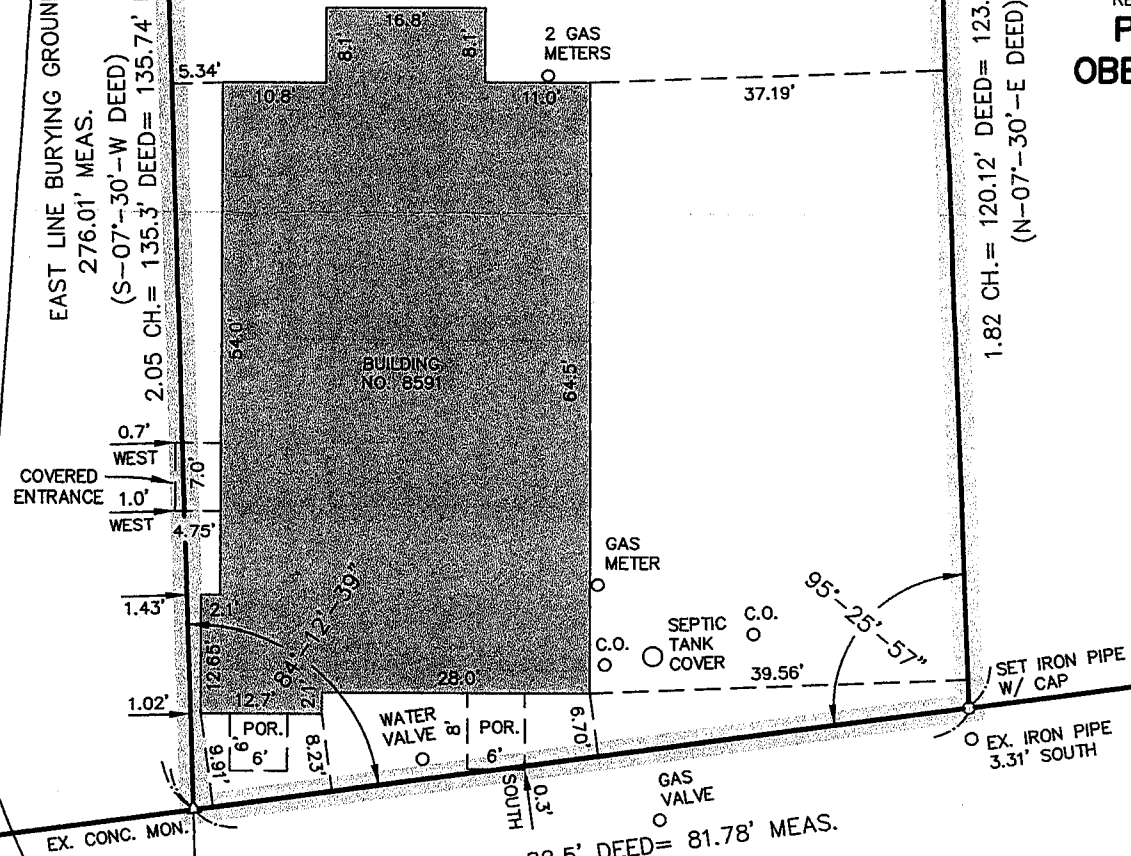
"BURYING
GROUND
LOT"

A.K.A. SLUSSER ROAD
ASPHALT TRAVELED WAY

EAST LINE BURYING GROUND
276.01' MEAS.
(S-07°-30'-W DEED)
2.05 CH.= 135.3' DEED= 135.74' MEAS.

1.82 CH.= 120.12' DEED= 123.97' MEAS.
(N-07°-30'-E DEED)

REPUTED OWNER
**PAUL R.
OBERLANDER**



WEST MAIN STREET
(N.Y. ROUTE NO. 5) (99.0' WIDE)
(BUFFALO ROAD)

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

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McINTOSH & McINTOSH, P.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS
429 PINE STREET, LOCKPORT, NEW YORK 14094
PHONE 433-2535 PHONE 625-8360

McIntosh & McIntosh

SURVEY OF PART OF LOT-10, SEC.-13, TWP.-12, R.-2, HOLLAND PURCHASE	
LOCATION TOWN OF BATAMA, GENESEE COUNTY, NEW YORK	
JOB No. B-3473-A	SCALE: 1" = 20'
DATE: SEPTEMBER 12, 2011	DRAWN MAS COMP. GNZ DESC. CADFILE B3473A.DWG

Felipe Oltramari

From: Allysa Pascoe
Sent: Wednesday, January 10, 2024 11:04 AM
To: Felipe Oltramari
Cc: Jessica Zaremski
Subject: RE: County Submission
Attachments: OWTS_182400_6.-1-48_1.pdf

Good Morning Felipe,

After looking at the onsite wastewater treatment plans that we have on file, it appears that there were engineered plans designed for this property. It also appears that the property is zoned commercial. The Health Department would require that a professional engineer evaluate the system to determine whether or not it has the capacity to add another apartment or not. Attached are the plans that we have on file for the onsite wastewater treatment system from 2011. I also have a physical copy of the large engineered design plans, if needed. These plans are too large for our printers to scan all at once. I do not see a final inspection report or final letter, so I cannot guarantee that this system was installed as per these plans. In the engineering report, I noticed that the system was originally designed for a 3-apartment 6-bedroom house with a garbage grinder. I don't know what is currently there, but noticed they are looking to add a 3rd apartment. Let me know if you have any questions or need additional information.

Thank you,

Allysa Pascoe
Environmental Health Specialist
Genesee County Health Department
3837 West Main Street Road
Batavia, NY 14020
(585) 344-2580 Ext. 5508
Allysa.Pascoe@co.genesee.ny.us
www.GOHealthNY.org



From: Jessica Zaremski <Jessica.Zaremski@co.genesee.ny.us>
Sent: Wednesday, January 10, 2024 10:13 AM
To: Allysa Pascoe <Allysa.Pascoe@co.genesee.ny.us>
Subject: FW: County Submission

Jessica L. Zaremski
Senior Environmental Health Specialist
Genesee County Health Department
Environmental Division
3837 West Main Street Road
Batavia, NY 14020



**COUNTY OF GENESEE
HEALTH DEPARTMENT**

3837 West Main Street Road
Batavia, NY 14020

Phone: (585) 344-2580
Fax: (585) 344-4713

**David Whitcroft
Interim Public Health Director**

GENESEE COUNTY HEALTH DEPARTMENT
SEWAGE DISPOSAL CONSTRUCTION PERMIT

Permission is hereby granted to: Winters Apartments, 8591 Slusser Rd, Batavia (T)

to construct a private sewage disposal system in accordance with approved plans OR with the attached recommendations provided by the Genesee County Health Department.

THE INSTALLATION, UPON COMPLETION AND **PRIOR TO COVERING**, MUST BE INSPECTED BY A REPRESENTATIVE OF THIS DEPARTMENT.

AT LEAST 48 HOURS NOTIFICATION REQUESTING THE FINAL INSPECTION IS REQUIRED.

FOR THE PUBLIC HEALTH DIRECTOR

Septic Tank Capacity: 1 ea 1500 gallons
1 ea 500 gallons

Issued by: Timothy J. Hens, P.E.

No. lines: Filter: 5 Ea 45 Ft

Date: 11/7/2011

Bed: 7 Ea 40 Ft

Other: N/A

Expiration Date: 11/7/2013

THIS PERMIT MUST BE POSTED AT THE BUILDING SITE



GENESEE COUNTY HIGHWAY DEPARTMENT

153 Cedar Street
Batavia, New York 14020
(585) 344-8508
(585) 343-9303 Fax

Timothy J. Hens, P.E.
Superintendent of Highways

David Wozniak
Deputy Superintendent

November 7, 2011


Paul McCarthy, P.E.
PDM Engineers
115 Grandview Terrace
Batavia, NY 14020

RE: Sewage Disposal Permit, Winters' Apartments, 8591 Slusser Rd, Batavia (T)

Dear Mr. McCarthy:

I have reviewed and approved the proposed sand filtered sewage disposal system for the Winters' Apartment house on Slusser Rd in the Town of Batavia. The absorption bed for this system is located on an adjacent property. I have obtained a copy of the easement filed with the County Clerk that permits this use and added it to your file. I have enclosed a copy of the original easement for your records.

Please be advised that the system will need to be inspected during construction. You may contact David Whitcroft at the County Health Department with any questions. He may be reached at (585) 344-2580 ext 5499.



TIMOTHY J. HENS, P.E.
Superintendent of Highways

cc: David Whitcroft, GCHD
Wes Winters (w/original permit: 181 Pearl St, Batavia, NY 14020)

atch: Easement

Paul Osborn
Park Supervisor-Forester
(585) 344-1122
Interpretive Center

Jason Long
Airport Supervisor
(585) 344-8532
(585) 344-8588 Fax

Chris Klein
Fleet Maintenance Supervisor
(585) 344-8511

Genesee County Health Department
DIVISION OF ENVIRONMENTAL HEALTH
3837 West Main Street Road
Batavia, NY 14020
585-344-2580 (option 1)

Percolation Test Request Form

Name Wesley A. Winters

Mailing Address 181 Pearl Street

Batavia, New York 14020-2926

Phone Number (585) 409-1654 (After 5PM) or 585-269-7772 (days)

Request a percolation test for a/an (existing, proposed) home at:

Address/Road 8591 Slusser Road, East Pembroke, NY 14056

Town of Batavia

Description of Property Location Corner of Rt. 5 and Slusser Rd., East Pembroke

Signature *Wesley A Winters*

NOTE: This is good for two (2) soil tests per building lot.

Fee: \$200.00

**Make checks or money orders payable to the Genesee
County Health Department – mail to:**

**Genesee County Health Department
3837 West Main Street Road
Batavia, NY 14020-9406**

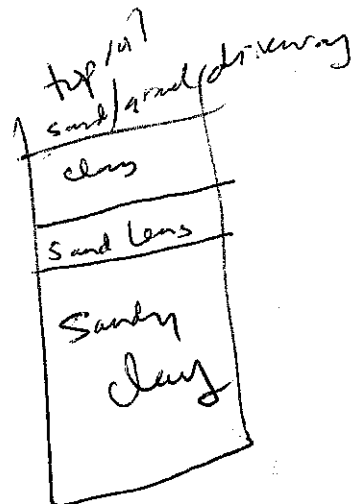
OFFICE USE ONLY	
DATE RECEIVED	<u>8-19-11</u>
CHECK/MO#	<u>196</u>
RECEIPT#	<u>11-0576</u>

NE

Town of Bakers
zoned commercial

driveway N
10:46
9:46
4"

driveway NW (edge of lot)



SW $\frac{9:37}{9:35}$
2 mins

8 60's
480' 500
x25

NE $\frac{1}{2}$ " 9:50

NW $\frac{9:49}{9:36}$
13

Middle $\frac{10:05}{9:37}$
28 mins $\frac{10:31}{10:05}$ 10:33

30'
100' lens
F4' across
driveway



COUNTY OF GENESEE
HEALTH DEPARTMENT

Randolph P. Garney
Interim Public Health Director

3837 West Main Street Road
Batavia, NY 14020

Phone: (585) 344-2580
Fax: (585) 344-4713

Plan Review Fee Determination Schedule

CAUTION: Improperly completed forms or improperly calculated fees will be returned and may delay processing of plans.

Instruction to applicant for completion of this form:

To determine what fee applies to your project:

- 1. Locate category type on the list below.
2. Enter the amount indicated under "Fee Calculation" on the right side of the form.
3. Enter total at bottom of form.
4. Make check payable to the "Genesee County Health Department" in the total amount.
5. Sign and date the fee determination schedule.
6. Mail this form with the check to the address noted above, accompanied by all appropriate applications, drawings, reports, etc.

Name of Facility/Project Description: WINTERS APARTMENTS

Facility Address: 8591 SLUSSER ROAD, TOWN OF BATAVIA

Mailing Address of Applicant: 181 PEARL ST BATAVIA, NY 14020

Table with 3 columns: Type of Project, Fee (per project), Fee Calculation. Rows include Individual Sewage Disposal System, Commercial/Industrial, Hotel/Motel, etc., with a total fee calculation of \$100.

Certification Statement: I hereby certify that the statements made above are accurate to the best of my knowledge.

WESLEY WINTERS OWNER 10/12/2011
Please Print Name Title Date
Signature

PDM Engineers

115 Grandview Terrace
 Batavia, NY 14020
 Tel: 585 345-1159
 Email: pdmengineers@verizon.net

Letter of Transmittal

To: Genesee County Health Department 3837 W Main St Rd Batavia, NY 14020	Date: October 26, 2011 Attn: Timothy J. Hens, PE Re: Winters' Apartments WTS 8591 Slusser Road Batavia (T), Genesee (C)
---	--

WE ARE SENDING YOU Attached

REPORT	PRINTS	DRAWINGS	COPY OF LETTER	FORMS	CHECKS	SPECIFICATIONS	SUBMITTAL
X	X			X	X		

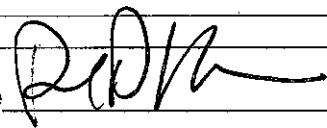
COPIES	DATE	NO.	DESCRIPTION
4	Oct 11	Set	Proposed Replacement WTS
4			Report
1			Fee Schedule
1			Permit Application
1			Check #202

THESE ARE TRANSMITTED as checked below:

- For approval
 Approved as submitted
 Resubmit ____ copies for approval
 For signature
 For your use
 Approved as noted
 Submit ____ copies for distribution
 As requested
 Returned for corrections
 Return ____ corrected prints
 For review and comment _____

REMARKS:

RECEIVED
 OCT 26 2011
 GENESSEE COUNTY HEALTH DEPT

Signature 

Genesee County Department of Health
3837 West Main Street Road
Batavia, NY 14020

APPLICATION FOR SEWAGE DISPOSAL CONSTRUCTION PERMIT

Under the provisions of Chapter II of the Genesee County Sanitary Code, application is hereby made for a Construction Permit to install a private sewage disposal system to serve the hereinafter described property, concerning which the following information is submitted.

Pursuant to Chapter V. FEES, of the Genesee County Sanitary Code, a check or money order payable to the Genesee County Health Dept., in the amount of **\$150.00** must be submitted to the Genesee County Health Department, 3837 West Main Street Road Batavia, NY 14020.

Name of Applicant Wesley Winters Date _____

Present Mailing Address 181 Pearl Street City/Town Batavia Zip 14020

Property Address 8591 Slusser Road Town of Batavia Phone 585 409-1654

Description of Property Location Northeast corner of Slusser Road and NYS Rte 5

Person/Firm Constructing System Unknown Address/Phone _____

Lot Dimensions 81.78' X 123.97' Total Acreage 0.241
Frontage Depth

No. of Bedrooms 3-apartments 6-bedrooms Below Grade Plumbing: Yes No Garbage Grinder: Yes No

Signature Wesley Winters
.....APPLICANT - DO NOT WRITE BELOW THIS LINE.....

FIELD DATA

Inspection Report:

1. Sewer Line to Tank
Slope _____
Material _____
Tight Joints _____
2. Septic Tank
Approved Model _____
Size _____
3. Distribution Box and Connections
Impervious _____
Tight Joints _____
Equal Distribution _____
4. Trenches of Filter
Number _____
Length _____
Width _____
5. Distributors
Material _____
Slope _____
Joints _____
6. Under drain _____

7. Gravel or Stone
Size _____
Depth _____
8. Filter Sand
Supplier _____
E.S. _____
U.C. _____
9. Pump Tank
Alarm _____
10. Laundry Waste Connection

11. Footing, Cellar, Roof,
softner drainage excluded _____

Remarks:

Reinspection Date: _____

By: _____

ENGINEERING REPORT
Proposed Waste Treatment System

for

Winters' Apartments
8591 Slusser Road
Batavia (T); Genesee (C)

October 2011



Prepared by:

PDM Engineers
115 Grandview Terrace
Batavia, NY 14020

Prepared for:

Wesley Winters
181 Pearl Street
Batavia, NY 14020

ENGINEERING REPORT
for
Proposed Waste Treatment System
Winters' Apartments
8591 Slusser Road
Batavia (T); Genesee (C)

General

The soils at the site of Winters' Apartments are not pervious enough to permit the installation of a conventional tile field; therefore a sand filter system is proposed.

This proposed system is for a 3-apartment 6-bedroom house with a garbage grinder. This system entails the use of a pump tank, one 1,500-gallon septic tank, one 500-gallon septic tank, sand filter, and a downstream absorption bed.

Abandonment of Existing Pump Tank and Septic Tank

The existing pump tank located in the Southeast corner of the building shall be pumped, covered, and abandoned. The existing pump will be used in the new external pump tank.

System Design

Sand Filter

This sand filter will be designed and constructed in accordance with the data contained in the NYS DOH "Individual Residential Waste Treatment Systems Design Handbook".

The design calculations are as follows:

$$(6\text{-bedroom}) \times (110 \text{ gpd}) = 660 \text{ gpd}$$

$$(660 \text{ gpd}) / (1.0 \text{ gpd/sq ft}) = 660 \text{ sq ft minimum basal area}$$

Use five 4" lines, 45'-0" in length

$$\text{Therefore, the basal area will be } (48\text{'-}0\text{'}) \times (15\text{'-}0\text{'}) = 720 \text{ sq ft}$$

Absorption Bed

This downstream absorption bed will be designed and constructed in accordance with the data contained in the NYS DOH "Individual Residential Waste Treatment Systems Design Handbook".

The design calculations are as follows:

Using an application rate of 1.2 gpd/sq ft:

$(660 \text{ gpd}) / (1.2 \text{ gpd/sq ft}) = 550 \text{ sq ft}$ minimum trench area

$(550 \text{ sq ft}) / 2 \text{ ft trench} = 275 \text{ ft}$ of 2' wide trench

Use seven 4" lines 40'-0" in length equaling 280 ft of trench.

Therefore, the basal area will be $(41'-0") * (45'-0") = 1845 \text{ sq ft}$

Construction of the Sand Filter

The Contractor shall locate the sand filter where shown on the drawing. Any excess vegetation including brush, trees, roots, and stumps shall be completely removed

Collector Pipe System

Following excavation and grading of the sand filter basal area, the bottom of the sand filter basal area shall be sloped toward the trenches beneath the collector pipes. These trenches shall be sloped at 1/16-inch to 1/2-inch per foot. The 4-inch collector pipes are installed in 3/4 to 1 1/2-inch washed gravel or crushed stone in the trenches at a slope of 1/16-inch to 1/8-inch per foot. At least two-inches of aggregate shall underlay the collector pipes and cover the entire collector pipe system.

Filter Sand

Before any sand is placed, a 3-inch layer of 1/8 to 1/4-inch washed gravel or crushed stone shall be spread and leveled across the entire surface of the collector pipe system aggregate. A minimum of 24-inches of filter sand shall be placed upon the 3-inch layer of 1/8 to 1/4-inch washed gravel or crushed stone. The sand shall be settled by flooding before aggregate is placed upon the filter sand bed. The filter sand shall have an effective grain size (ES) of between 0.25 to 1.0 mm and a uniformity coefficient (UC) of four or less.

Distributor Pipe System

A 2-inch layer of aggregate, 3/4 to 1 1/2-inch washed gravel or crushed stone, shall be spread and leveled across the entire surface of the filter sand bed. The 4-inch distributor pipes are installed level on the aggregate and interconnected at the ends. Additional aggregate shall be placed across the entire surface to provide a minimum depth of 4-inches between the distribution pipes and at least 2-inches above the pipes for a total of 8-inches. The entire system shall be covered with a permeable geotextile to prevent the infiltration of fine soil into the sand media.

The entire system is covered with at least 6 to 12-inches of topsoil and seeded to grass to enhance runoff

Construction of the Downstream Absorption Bed

The absorption bed is a raised bed type of wastewater treatment system that may be installed in those areas where the soils are too impervious or "tight" to permit the percolation of the wastewater downward and/or sideways through the soil profile.

As this is a special system, the Contractor shall pay strict heed to the information contained herein and/or as shown on the attached drawing(s). The Contractor shall pay special attention to the finished elevations on the drawings and shall be totally responsible for the correct construction. Any deviation from this design will require approval from this office and the Genesee County Health Department.

The Contractor shall locate the absorption bed where shown on the drawing(s). Any brush or heavy vegetation shall be completely removed for a distance of at least 20-feet from any portion of the tapers of the bed. **However, the topsoil shall be left in place and not disturbed.** The soils that will constitute the absorption bed shall be placed on top of this topsoil.

As soon as all vegetation have been removed, the entire area shall be disced or chisel plowed to a depth of at least 7 to 8-inches with a double bottom plow/furrow blade and the furrow turned upslope. After the site has been plowed, all traffic shall be excluded from the area.

Soils

A portion of the absorption bed shall be surrounded by a fill material. Fill material for the downstream absorption bed shall consist of a coarse sandy gravel or sandy loam material with a percolation rate of from 5 to 20 minutes per inch.

Percolation tests shall be conducted in the fill material at the borrow pit. This fill material, to be acceptable, will have to have a percolation rate of between 5 and 20 minutes per inch. The Contractor shall have sufficient water present at the borrow pit to enable the Engineer to conduct an adequate number of percolation tests.

The Engineer will advise the Contractor as to which of the soils are acceptable to be used in the construction of the absorption bed.

In constructing the absorption bed, the Contractor shall use only those soils that passed the percolation tests. The Contractor shall not use any soils on which percolation tests have not been made, or any soil not passing the percolation tests.

If there are not enough acceptable soils to finish the absorption bed, then the Contractor shall request the Engineer or his representative to perform additional percolation tests on other soils in an effort to find additional acceptable soils.

Fill material shall be placed on the absorption bed area with a front end loader or pushed on from the side using a track type machine with at least six-inches (6") of fill beneath the tracks. The fill material shall cover the entire absorption bed area.

As soon as the fill is in place in the absorption bed area and before any distribution pipe is installed, the Contractor shall notify the Engineer. The Engineer will conduct percolation tests in various places in the fill material.

The Contractor shall strictly obey the instructions included in this paragraph. If the distribution pipes are installed and covered before the fill material has been tested by the Engineer or his representative, the Contractor will have to uncover the pipes and remove whatever fill necessary for a proper inspection to be made. There will not be any deviation made for this requirement.

The Contractor shall advise the Engineer 48-hours in advance of the time when he anticipates the fill material will be ready for this inspection.

In those areas where the percolation rates are greater than 20-minutes per inch, the fill will be removed and replaced with other soils that have passed the percolation tests at the borrow pit. The placement of the fill in the absorption bed area is critical. Over compaction will prevent acceptable percolation in otherwise acceptable soils. The Contractor shall pay particular attention to the placement of the fill as described above.

Septic Tanks

The 1,500-gallon and 500-gallon Fralo plastic septic tanks, which are shown in the Appendix, discharge to the sand filter. A Zabel or equal effluent filter shall be installed on the outlet pipe of the 500-gallon septic tank.

In operation of this sand filter system, the Owner will be advised to make frequent checks of the septic tanks to prevent solids build-up to the point where they overflow to the sand filter. The septic tanks shall be set on a bed of sand or pea gravel at least 3-inches thick. The Owner will be advised to have the septic tanks pumped out at least every 2-years by a NYS DEC licensed septic tank cleaner.

Sand Filter Dosing Pump and Pump Tank

The existing pump will be enclosed in a Kistner Concrete Products Inc. 5-foot diameter x 12.65-foot pump tank or equal. The pump tank shall be set on a bed of sand or pea gravel at least 3-inches thick.

The pump operates on a 120 V, single phase, 60 Hz electric service. Further the pump and tank shall be checked at 6-month intervals for operational or build-up problems. The pump controls consists of two mercury filled floats. The lowest float turns on the pump at a preset liquid level. The second float turns off the pump at a preset liquid level. The highest float is the alarm float, which turns on the other pump and causes a red light to flash and a bell to ring in the building whenever the liquid in the tank reaches a preset height of 0'-6" above the pump on level or 2'-4" above the bottom of the tank. The dosing tank shall be sized to provide a minimum of one day's design flow storage above the alarm float level plus one dosing volume plus the distance to the alarm float plus 12-inches to cover the pump.

The pump tank size shall be: $660 + 108 + 74 + 147 = 989$ -gallons minimum below the inlet.

The dosing pump controls shall be set so that the pump is completely submerged in waste water at all times. If a different pump is proposed, two copies of the pump curve will have to be submitted to this office for approval before the system is put into service.

Sand Filter Dosing Rate

The dosing pump control floats shall be set to provide for dosing $\frac{3}{4}$ of the pipe volume in each sand filter bed. Thus the minimum dosing volume of the tank shall be:

$$((\pi \cdot 0.33^2) / 4) \cdot 5 \cdot 45 \cdot 7.48 \cdot 0.75 = 108 \text{ gal.}$$

A check valve is not being used in the force main line.

Electrical Wiring

All electrical wiring will be extended underground to and from the building. The alarm shall be installed at a place in the facility where they can be readily heard.

All wiring shall be UL approved and all installations shall be done in accordance with the latest edition of the National Electrical Code.

The alarm system shall be wired on a separate dedicated electrical circuit.

Inspections

There will be at least four inspections of this sand filter/absorption bed installation.

NOTE: The Contractor shall advise the Engineer when the work has progressed to a point where each of these inspections can be made. The Engineer shall be advised at least 24-hours in advance of each inspection. The work shall not proceed to the next phase of construction until so advised by the Engineer.

1. Inspection of the fill at the site from which the Contractor intends to obtain the material for the absorption bed. Inspection of the preparation of the site where the absorption bed is to be installed.
2. Inspection of the sand filter collector pipes. Inspection of the compacted absorption bed fill material after it is in place and before any distribution pipes are in place.
3. Inspection of the installation of the pump tank, septic tanks, sand filter, and absorption bed distribution pipes.
4. Final inspection after all work has been completed, and the system is ready for use.

Installation

The installation of the waste treatment system shall be done in accordance with data shown on the drawing and contained herein. A representative of the Engineer's Office who is knowledgeable with this type of construction will make inspections of the work while in progress, and a final inspection of the entire system installation before backfilling is done. A report of these inspections will be provided to the Genesee County Health Department.

Preconstruction Meetings

The Engineer will meet with the Owner at the time the approved plans are delivered to discuss the installation and inspections.

Appendix

- A.1 1,500-Gallon & 500-Gallon Septic Tank Dimensions
- A.2 Sand Filter Distribution Box Detail
- A.3 Absorption Bed Distribution Box Detail
- A.4 Zabel Effluent Filter
- A.5 Easement Document

Drawing List

- C1-3611 Proposed Waste Treatment System
- C2-3611 Proposed Waste Treatment System

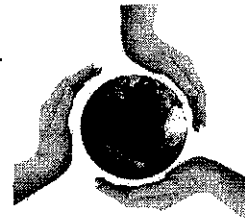


**SUPERIOR PRODUCTS
ENVIRONMENTALLY-FRIENDLY PROCEDURES
MATERIALS AND INNOVATIONS
YOUR ENVIRONMENT IS OUR BUSINESS**

- "Water Shortage will Leave World in Dire Straits" (www.USAToday.com)
- "Drought afflicts much of the nation" (www.Greatlakesdirectory.org)
- According to the NCDC (National Climate Data Center),
"2007 was the 6th warmest summer on record, with 2000 new daily high temperatures records across the southern and central US. Drought affected almost half of the US". (www.ncdc.noaa.gov)
- "Cities reward lifestyle that conserves water" (USAtoday.com)

Water shortage, mandatory water restrictions and conservation... these are serious issues that are getting discussed on a daily basis. Our contribution as a company is to develop and offer products that help deal with issues like it.

Our mission is to continuously search for better ways to produce our products and invent new products that are both efficient and environmentally friendly. We continuously invest in machinery and R&D to increase efficiency and decrease the usage of non-replenishable resources.



MODEL (MultiTank)	MODEL (Fralo)	DESIGN CAPACITY US Gallons (Liters)	TOTAL CAPACITY US Gallons (Liters)	ACTUAL CAPACITY US Gallons (Liters) 40"/42" Liquid level	HEIGHT Inches (mm)	WIDTH Inches (mm)	LENGTH Inches (mm)	WEIGHT Pounds (kilogram)
RMT-300 (single layer)	ST-300	300 (1136)	325 (1230)	273 (1033)/284 (1075)	54 (1372)	45 (1143)	50 (1270)	120 (54.43)
RMT-500	ST-500	500 (1893)	535 (2025)	452 (1710)/474 (1794)	51 (1295)	62 (1575)	60 (1524)	225 (102.06)
RMT-750	ST-750	750 (2840)	1000 (3785)	853 (3229)/898 (3399)	51 (1295)	62 (1575)	103 (2616)	360 (163.29)
RMT-900	ST-900	900 (3407)	1161 (4394)	990 (3747)/1028 (3891)	51 (1295)	62 (1575)	118 (2997)	450 (204.12)
RMT-1000E	ST-1000E	1000 (3785)	1161 (4394)	990 (3747)/1028 (3891)	51 (1295)	62 (1575)	118 (2997)	450 (204.12)
RMT-1060	ST-1060	1060 (4012)	1337 (5061)	1177 (4455)/1227 (4645)	51 (1295)	62 (1575)	133 (3378)	520 (235.87)
RMT-1250	ST-1250	1250 (4730)	1469 (5560)	1259 (4766)/1319 (4992)	51 (1295)	62 (1575)	148 (3759)	560 (254.01)
RMT-1500	ST-1500	1500 (5678)	1771 (6703)	1540 (5830)/1601 (6060)	51 (1295)	62 (1575)	177 (4496)	640 (290.30)

Distributed by:



Roth MultiTank®

Fralo Septic Tank

Roth Global Plastics, Inc.

P.O. Box 245
Syracuse, NY 13211
P: 866-943-7256
F: 315-475-0200
www.roth-usa.com



KISTNER CONCRETE PRODUCTS INC.
8713 READ ROAD
Ft. PEMBEROKE, N.Y. 14056
(716) 894-2267

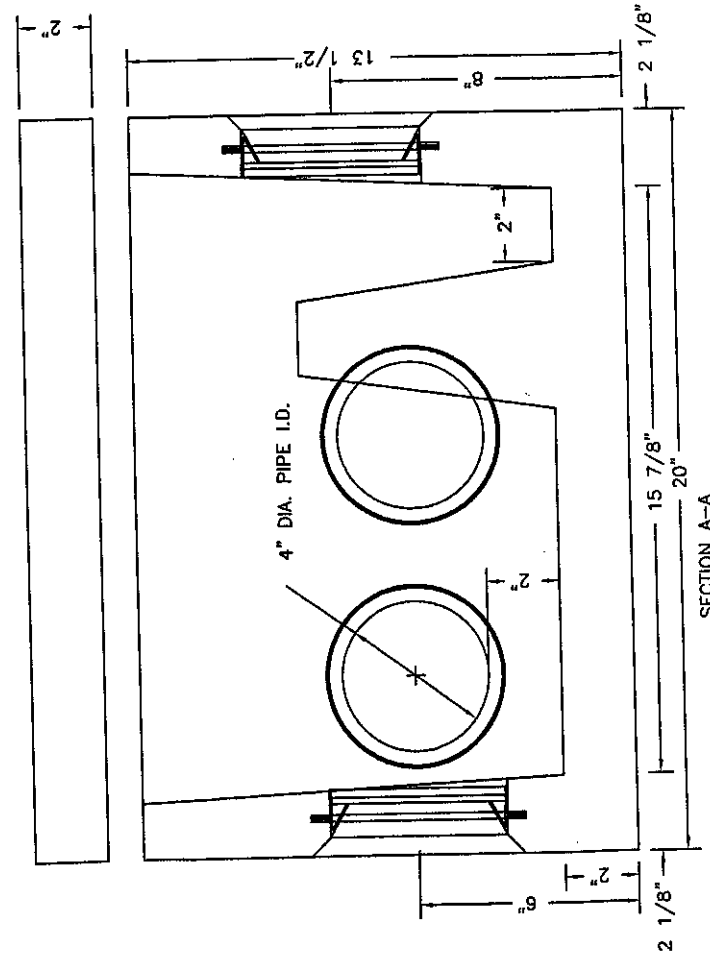
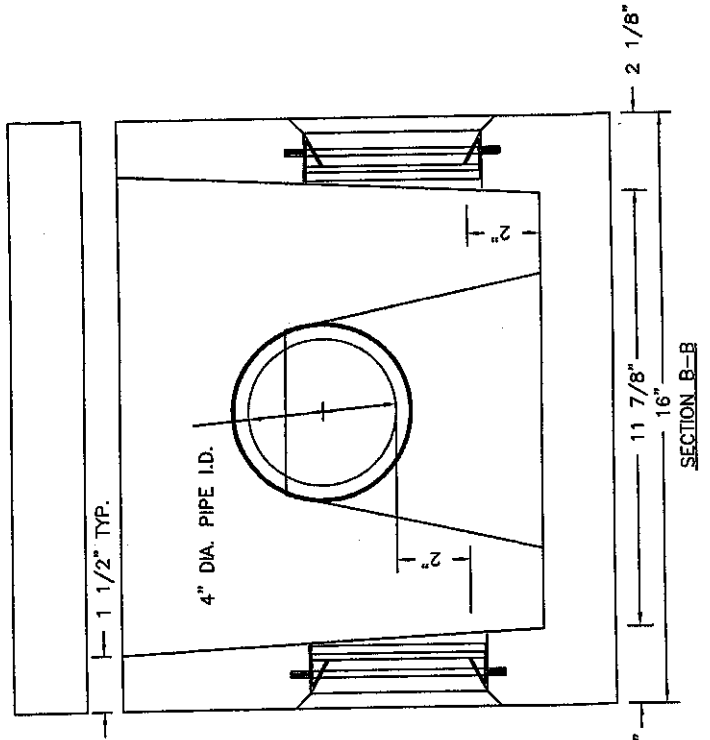
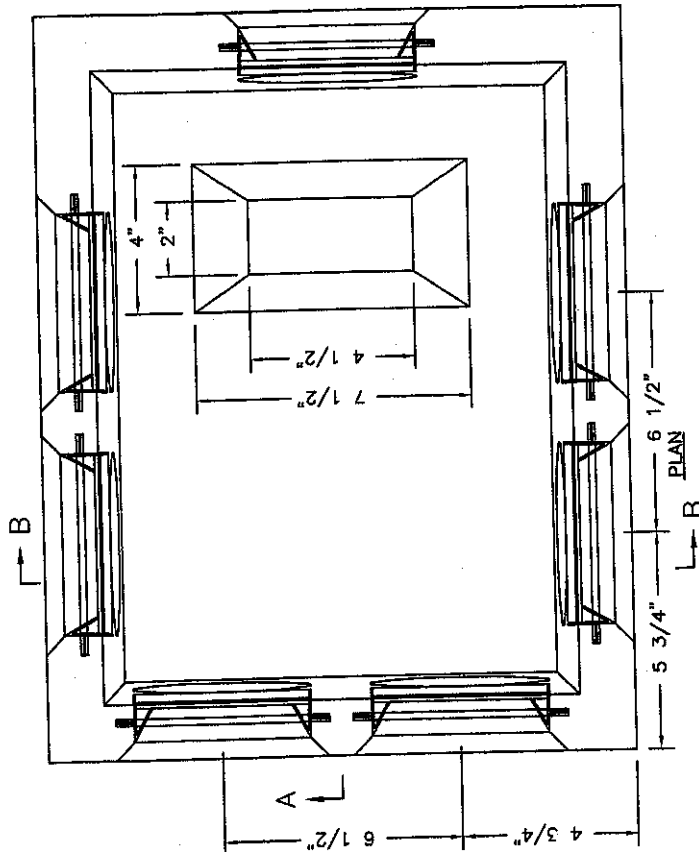
PROJECT: 6 OUTLET DISTRIBUTION BOX
OWNER:
ENGINEER:
CONTRACTOR:
MANUFACTURER: KISTNER CONCRETE PRODUCTS, INC.
PRODUCT DESIGNATION: 6 OUTLET DISTRIBUTION BOX WITH POLYLOCKS

LOCATION:
SCALE: 3/16" = 1"
DRAWN BY: CAE
DATE: 11-22-93
DWG. NO.: DB-DB6

REVISIONS

SPECIFICATIONS:
CONCRETE: 4,000 P.S.I. @ 28 DAYS.
ENTRAINED AIR: 5% - 9%.
STEEL: A.S.T.M. A496-A615
GRADE 60-60 KSI.
DESIGN LOADING: A-0.3/300PSF/WALKWAYS.
BASE WEIGHT: 178.1 LBS.
TOP WEIGHT: 54.9 LBS.
TOTAL WEIGHT: 233.0 LBS.

INLET/OUTLETS: LOW PRESSURE POLYETHYLENE WATERTIGHT PIPE TO BOX CONNECTION.





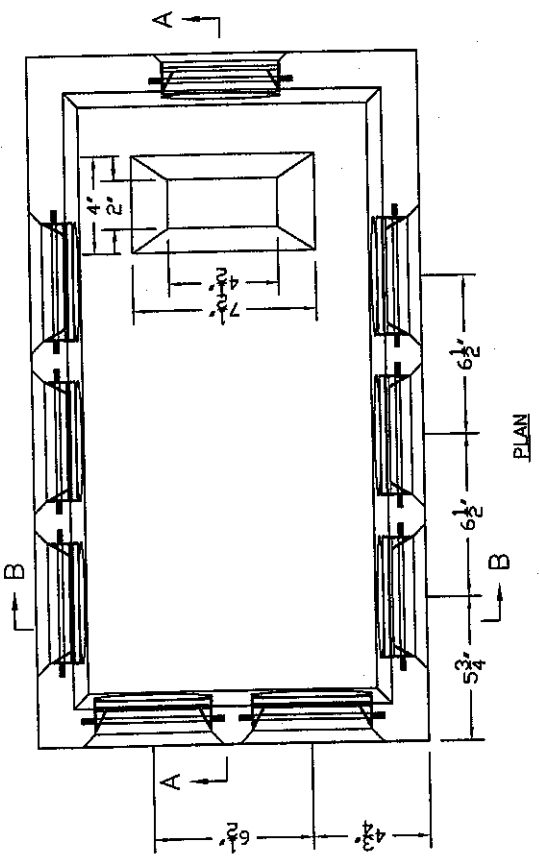
KISTNER CONCRETE PRODUCTS INC.
8713 READ ROAD
E. PEMBROKE, N.Y.
14056
(716) 894-2267

PROJECT:	8 OUTLET DISTRIBUTION BOX	LOCATION:	
OWNER:		SCALE:	1/8"=1"
ENGINEER:		DRAWN BY:	CAE
CONTRACTOR:		DATE:	11-22-93
MANUFACTURER:	KISTNER CONCRETE PRODUCTS, INC.	DWG. NO.:	DB-DB8
PRODUCT DESIGNATION:	8 OUTLET DISTRIBUTION BOX WITH POLYLOCKS		

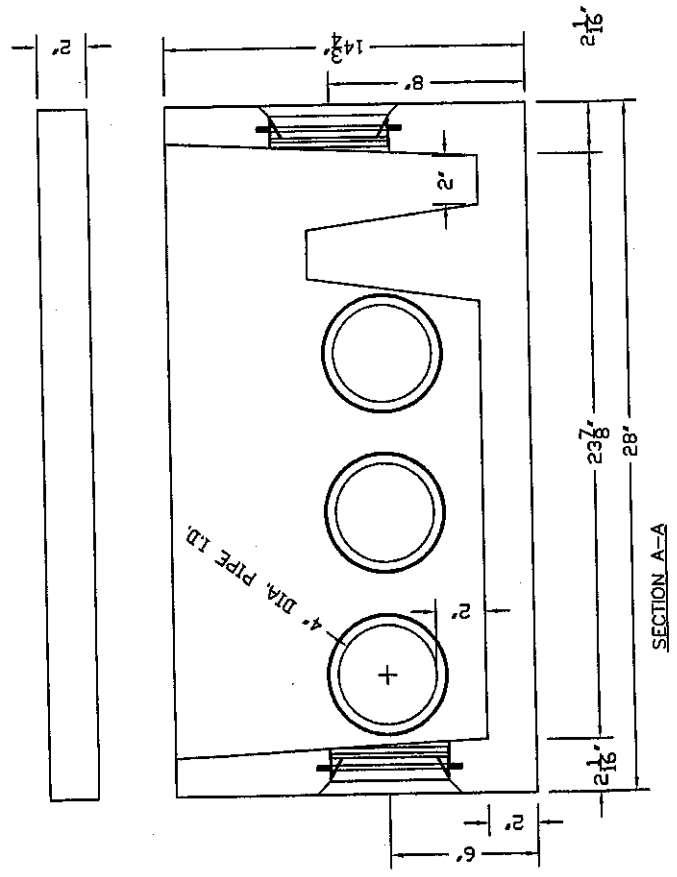
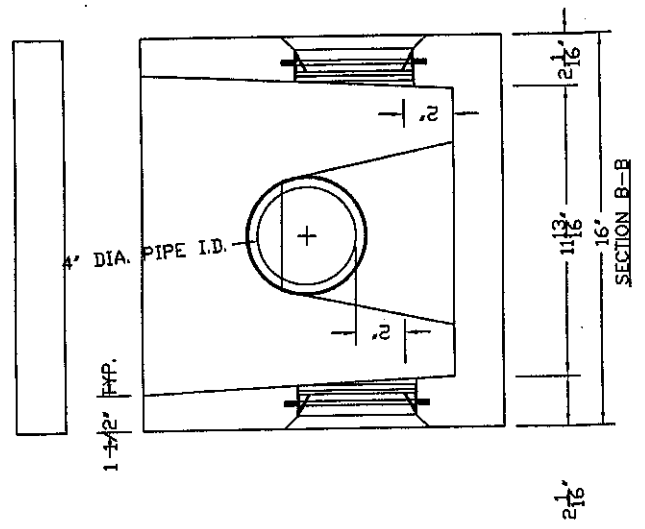
REVISIONS

SPECIFICATIONS:
CONCRETE: 4,000 P.S.I. @ 28 DAYS.
ENTRAINED AIR: 5% - 9%.
STEEL: A.S.T.M. A496-A615
GRADE 60-60 KSI.
DESIGN LOADING: A-0.3/300PSF/WALKWAYS.
BASE WEIGHT: 178.1 LBS.
TOP WEIGHT: 54.9 LBS.
TOTAL WEIGHT: 233.0 LBS.

INLET/OUTLETS: LOW PRESSURE POLYETHYLENE
WATERTIGHT PIPE TO BOX CONNECTION.



PLAN



SECTION A-A



EFFLUENT FILTERS - RESIDENTIAL

Protect Your Home With An Effluent Filter!

HOW DO EFFLUENT FILTERS WORK?

The most common reason for failure of septic systems is excessive solids leaving the septic tank which then causes clogging of lateral lines and drain fields. With an Effluent Filter installed in your tank, solids are kept in the tank so they can be further broken down and kept out of your lateral line.

PROTECTS PROPERTY VALUE

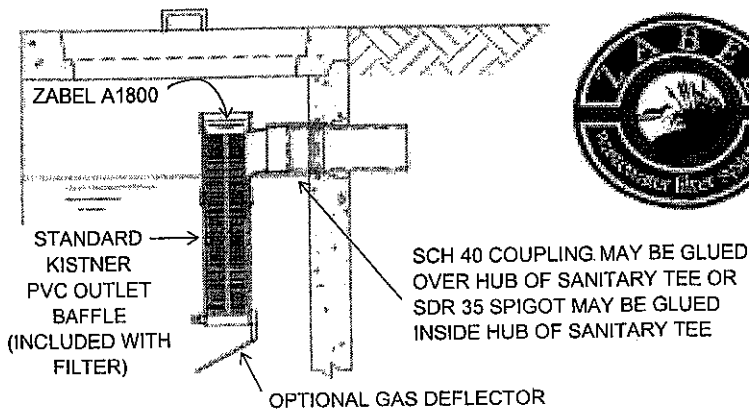
Your home is the single largest investment you make.
If your septic system fails, your property value decreases.

SAVES YOU MONEY

Thousands of unprotected septic systems fail every year. A small investment in an Effluent Filter helps to protect your septic system from costly repair.

PROTECTS FAMILY & PETS

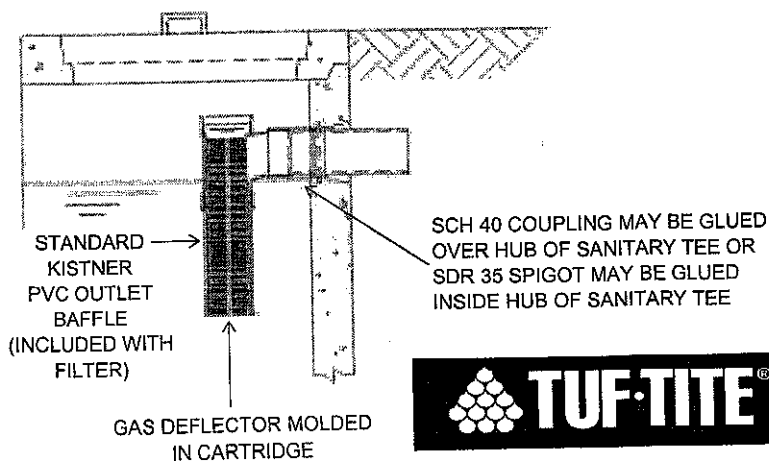
A failing septic system can potentially expose your children and pets to untreated waste - a real health hazard.



CODE
RES-ZABEL-II

ZABEL A1800

- ☼ **Effluent Filter**
- ☼ **Application:** Single Family Homes
- ☼ **Flow Rate:** 800 gpd
- ☼ **Installation:** The A1800 Effluent Filter Cartridge will fit the standard Kistner PVC outlet baffle included with filter.
- ☼ **Materials:** Injection molded PVC
- ☼ **Service:** Grasp filter handle and pull up to remove from Sanitary Tee. Lightly hose off, taking care to wash the effluent back into the tank and not on the ground.
- ☼ **Service Frequency:** Clean the filter cartridge when the tank is normally inspected and pumped.



CODE
RES-TUF-EF4

TUF-TITE® EF-4

- **Effluent Filter EF-4**
- **Flow rate:** 800 gpd
- **Installation:** The EF-4 Effluent Filter cartridge will fit the standard Kistner PVC outlet baffle included with filter
- **Materials:** Injection molded LLDPE
In a septic environment, no other material can match polyethylene in delivering a lifetime of trouble free service.
- **Service:** Grasp filter handle and pull up to remove from Sanitary Tee. Lightly hose off, taking care to wash the effluent back into the tank and not on the ground.
- **Service Frequency:** The Tuf-Tite® EF-4 Effluent Filter will, under normal conditions, operate efficiently for several years or more before requiring removal and cleaning. It is suggested that the unit be cleaned every time the tank is pumped or at least every three years.

L64P571

May 20, 1974

TP 11/2/11

The undersigned as Board of Directors of the East
 Pembroke Volunteer Firemen^{DEPT.} Inc. extend to Wesley W. Winters
 the privilege of using a small area in the south-west corner
 of Firemen's Lands to construct and maintain a leach field
 for purposes of sewage disposal.

This area is described as beginning at a point on the
 Town of Batavia West Line 108 feet north of the north-west
 corner of the Presbyterian White Church property and running
 at right angles to the Town Line 82.5 feet to a point then
 southerly and parrallel with the town line to the north-
 west corner of Paul R. Oberlander property thence west along
 the north line of the Presbyterian White Church property
 to the Town of Batavia West Line then north along this line
 to the point of beginning containing land more or less.

Grading, construction of a Genesee County Health Dept.
 approved leach field, seeding and a drive to serve the area
 shall be the only improvements permitted. There shall be no
 ceptic tanks installed and no above the ground construction
 to the area.

This agreement shall provide a right of first refusal
 in the event of sale of this land for which he agrees to
 keep the appearance presentable and provide public liability
 insurance to protect the East Pembroke Volunteer Firemen Inc.
 from his actions and those of others. All this shall transpire
 at no cost to the East Pembroke Volunteer Firemen^{DEPT.} Inc..

Wesley W. Winters

Fred Sherman
 Chairman of Board EPVFD
L. Ford
Henry & Schorborn
Vicki Stalica
Richard Lang
Alan A. Pills

State of New York)

County of Genesee)^{SS}

On this 30th day of September, 1974

before me personally came Henry E Schoenborn
to me known, who, being by me duly sworn did depose and say that he
resides at 2359 Main Rd. East Pembroke New York
and he is Corresponding Secretary of the East Pembroke Volunteer
Department Inc. the corporation described in and which executed the
foregoing instrument, that he knows the seal of said corporation; that
the seal affixed to said instrument is such corporate seal, that it was
so affixed by order of the Board of Directors of said corporation, and
that he signed his name thereto by like order.

Signature Henry E Schoenborn
Title Corres. Secretary

Subscribed and sworn to before me
this 30th day of September, 1974

Shirley M. Winters

Notary Public, State of New York

SHIRLEY M. WINTERS
Notary Public, State of N. Y., Genesee Co.
My Commission Expires Mar. 30, 1976

SEE ENGINEERED FILE

T-01-BAT-01-24



04/02/2023

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