



GENESEE COUNTY PLANNING BOARD REFERRALS NOTICE OF FINAL ACTION

GCDP Referral ID

C-05-BAT-07-23

Review Date

7/13/2023

Municipality
Board Name
Applicant's Name
Referral Type
Variance(s)
Description:

BATAVIA, C.

CITY PLANNING AND DEVELOPMENT COMM.

Evan Gefell - Costich Engineering

Special Use Permit

Area Variance(s)

Special Use Permit and Area Variances to construct a new motor vehicle service station.

Number of Parking Spaces

Minimum required: 14

Proposed: 11

Service Station Distance to Entrance of Public Assembly Place

Minimum required: 500 ft.

Proposed: Approx. 80 ft. (Sport of Kings Restaurant)

Location
Zoning District

425A W. Main St. (NYS Rt. 5), Batavia

General Commercial (C-2) District

PLANNING BOARD RECOMMENDS:

APPROVAL WITH MODIFICATION(S)

EXPLANATION:

The required modification is that the storage and disposal of all new and used waste oils, lubricants, fuels, coolants and other hazardous materials shall be conducted in a manner consistent with all applicable State and Federal laws. With this required modification, the proposed service station should pose no significant county-wide or inter-community impact. It is recommended that the applicant submits the attached application for 9-1-1 Address Verification to the Genesee County Sheriff's Office to ensure that the address assigned for the new building meets Enhanced 9-1-1 standards.

Director

July 13, 2023

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:

GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901

DEPARTMENT USE ONLY:
GCDP Referral # C-05-BAT-07-23



*** GENESEE COUNTY *
PLANNING BOARD REFERRAL**

RECEIVED
Genesee County
Dept. of Planning
7/3/2023

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) PDC and ZBA
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020
Phone 585) 345 - 6345 Ext. _____

2. APPLICANT INFORMATION

Name Evan Gefell- Costich Engineering
Address 217 Lake Ave.
City, State, Zip Rochester, NY 14608
Phone (585) 458 - 3020 Ext. _____ Email Egefell@costich.com

MUNICIPALITY: City Town Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Area Variance | <input type="checkbox"/> Zoning Map Change | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Zoning Text Amendments | <input type="checkbox"/> Preliminary |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other: _____ | |

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address 425 A. West Main St.
B. Nearest intersecting road Lewiston Rd.
C. Tax Map Parcel Number 84.005-2-1./2
D. Total area of the property _____ Area of property to be disturbed _____
E. Present zoning district(s) C-2

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?
 NO YES If yes, give date and action taken _____

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
BMC 190-37E and 190-37 K

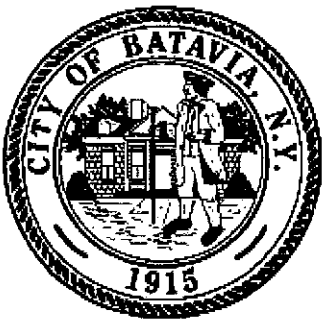
C. Please describe the nature of this request Approval to remove existing and construct new building for a use that requires a special use permit.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Local application | <input type="checkbox"/> Zoning text/map amendments | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan | <input checked="" type="checkbox"/> Location map or tax maps | <input checked="" type="checkbox"/> Photos |
| <input type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input checked="" type="checkbox"/> Other: <u>Cover letter</u> |
| <input checked="" type="checkbox"/> SEQR forms | <input type="checkbox"/> Agricultural data statement | |

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone 585) 345 - 6327 Ext. _____
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com



City of Batavia
Department of Public Works
Bureau of Inspections

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/30/23

Re: 425 A. West Main St.
Tax Parcel No. 84.005-2-1./2

Zoning Use District: C-2

The applicant, Evan Gefell (agent for Quattro Batavia LLC), has submitted site plan and special use permit applications for removal of an existing 1,620 sq.' one story commercial building and construction of a 1,324 sq.' one story automobile service station / public garage for the servicing (oil change) of automobiles.

There are restaurants (places of public assembly) located within the required 500' distance required for issuance of a special use permit. An area variance is requested for parking and the distance separation requirements.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

City Planning and Development Committee-

- 1) Pursuant to section 190-44 C (1)(a) of the zoning ordinance, the Planning and Development Committee shall review site plans for compliance with this Chapter.
- 2) BMC 190-37 The PDC may authorize issuance of Special Use Permits.
- 3) BMC 190-49 C Applications for variances that include parking, shall be referred to the PDC for recommendation to the ZBA

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) BMC 190-37 E (8) Parking for service stations is required at the rate of 1 space for every 100 square feet of floor area. 11 spaces are proposed, 14 are required.
- 2) BMC 190-37 E (10) Service stations are not to be located within 500 feet of any public entrance to a church or place of public assembly. There are multiple places of public assembly (restaurants) within 500' of the proposed service station / public garage.

The Planning and Development Committee will be the lead agency to conduct SEQR.



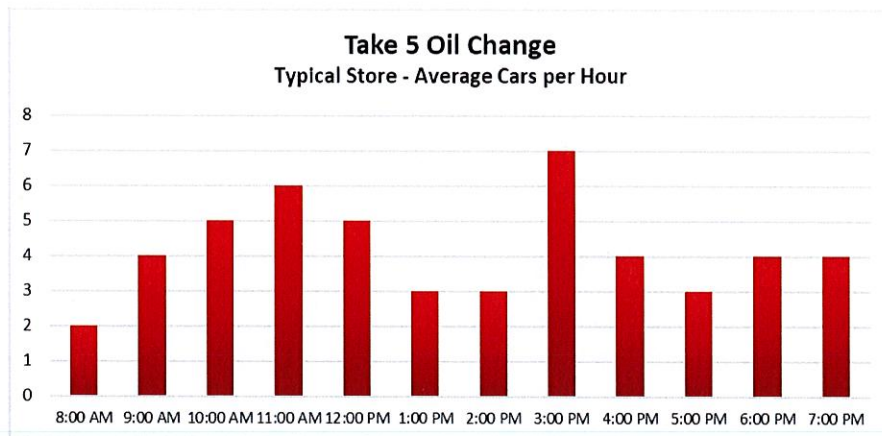
December 19, 2022

RE: Proposed Site Development for Take 5 Oil Change

Take 5 Oil Change has a unique business model that is focused exclusively on oil changes and the customer experience. Customers stay in their car during the entire service and average service times are approximately 10 minutes. Take 5 is able to serve its customers with this speed because we only perform oil changes and no other maintenance activities other than ancillary services such as windshield wiper and filter replacements. There are more than 700 Take 5 Oil Change locations across the country.

The average Take 5 Oil Change location services 50 cars a day, which is less than most any kind of retail establishment. Typical hours of operation are 7am – 8pm Monday thru Friday; 7am – 7pm Saturdays; and 9am – 5pm Sundays.

A typical Take 5 Oil Change location generates traffic in non-peak traffic hours. Based on common customer patterns, these facilities do not impact rush hour traffic. Below is a graph of a typical daily customer distribution.



Please let me know if you need any additional information at this time.

Henry Robert
Director of Franchise Construction
Driven Brands, Inc.



CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: 2023-20
Hearing Date/Time: _____

APPLICANT: Evan Gefell- Costich Engineering Egefell@costich.com
Name E-Mail Address
217 Lake Ave 585-458-3020
Street Address Phone Fax
Rochester NY 14608
City State Zip

STATUS: ___ Owner Agent for Owner ___ Contractor

OWNER: Quattro Batavia, LLC Peter@QuattroDevelopment.com
Name E-Mail Address
1100 Jorie Blvd 570-269-9993
Street Address Phone Fax
Oak Brook IL 60523
City State Zip

LOCATION OF PROPERTY: 425A Main Street, Batavia NY 14020

DETAILED DESCRIPTION OF REQUEST: _____

Requesting an area variance to reduce the 14 parking stalls required by code to 11
Requesting an area variance to the local code stating "Automotive Service Stations are not permitted within 500' of a place of public assembly"

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Evan Gefell
Applicant's Signature

6/29/2023
Date

PAID
JUL - 3 2023
CITY OF BATAVIA
CLERK-TREASURER

PPA
Owner's Signature

6/28/2023
Date

To be Filled out by Zoning Officer

TAX PARCEL: 84.005-2-1/2 **ZONING DISTRICT:** C-2 **FLOOD PLAIN:** C

TYPE OF APPEAL: Area Variance **FEE:** ___ \$50 (One or Two Family Use)
___ Use Variance \$100 (All other Uses)
___ Interpretation
___ Decision of Planning Committee

Provision(s) of the Zoning Ordinance Appealed: BMC 190-37 E (8) Parking.
BMC 190-37 E (10) Distance From Public Assembly

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
In our opinion neither variance will produce an undesirable change in the neighborhood. The added green space in lieu of parking is a general benefit to the neighborhood. Throughout the City of Batavia, there are a number of examples of Automotive Service Stations near places of public gathering that have been permitted in the past and do not appear to have created an undesirable change in the neighborhood.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance. We are seeking the parking stall variance as our tenant's business do not require ample parking to operate effectively. No vehicles are stored on site, and only the employees will be utilizing the planned parking. The site's proximity to areas of gathering is not within our control
3. **Substantiality.** The requested area variance is not substantial. It is our opinion that neither variance is substantial. The reduced parking for added green space is a general benefit and there is precedent in Batavia for Auto Services Centers to operate within 500' of public places of gathering
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community. It is our opinion that neither variance will have an adverse impact on the physical or environmental conditions of the neighborhood or community. The reduced parking for added green space is a general benefit and there is precedent in Batavia for Auto Services Centers to operate within 500' of public places of gathering
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title. Our tenant's business do not require ample parking to operate effectively. No vehicles are stored on site, and only the employees will be utilizing the planned parking. The site's proximity to areas of gathering are inherent to the site and is not within our control

Y.P.L.

Applicant's Signature

6/28/2023

Date

PERMIT NO. 23-4



SPECIAL USE PERMIT

CITY OF BATAVIA, NEW YORK

LOCATION: 425 W. Main Street
OWNER: Quattro Batavia LLC
Address: 1160 Jorie Blvd Ste 140, Oak Brook, IL

Application Date: 6/29/23
Tax Parcel No.: 84,005-2-12
Phone No. 630-891-6472

- COUNTY PLANNING REVIEW
- ZONING DISTRICT
- FLOOD ZONE
- CORNER LOT
- SITE PLAN REVIEW
- BID
- ZONING VARIANCE REQUIRED
- HISTORIC DISTRICT
- HISTORIC LANDMARK
- CITY ENGINEER REVIEW
- CITY COUNCIL REVIEW
- OTHER

PAID
JUL - 3 2023
CITY OF BATAVIA
CLERK-TREASURER

PROJECT DESCRIPTION:

We are proposing to build a single story
Take 5 of change facility consisting of 2-Bays with a total of 1,324 sq.
This building would be built with masonry to Take 5's prototypical design.

EXISTING USE: Retail/Vacant

PROPOSED USE: Automotive Service

N.Y.S. BLDG. CODE OCC. CLASS: _____

N.Y.S. BLDG. CODE OCC. CLASS: _____

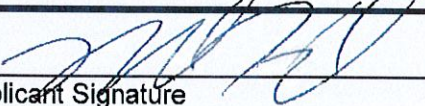
LOT SIZE: 17,166 sf

LOT AREA: 17,166 sf

CITY PLANNING & DEVELOPMENT REVIEW:

APPROVAL AS PRESENTED DISAPPROVAL APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: _____ DATE: _____

	<u>6/29/23</u>	_____
Applicant Signature	Date	Issuing Officer
Permit Fee: <u>\$150</u>	_____	Issue Date: _____



Parcel ID No. 84.005-2-1.12

City of Batavia
Bureau of Inspections
One Batavia City Centre
Batavia, NY 14020
585-345-6345

Site Plan Review Application

Property Address 425A Main Street, Batavia, NY 14020 **Application date** 6/29/2023

Owner:	Quattro Batavia, LLC	Peter@QuattroDevelopment.com		
	Name	E-mail address		
	1100 Jorie Blvd	Oak Brook, IL	60523	570-269-9993
	Mailing Address	City	Zip Code	Phone No.

Describe request: Requesting site plan review to construct a new 1,324 sf oil change facility located on a .39 ac parcel located in the C-2 zoning district.

Attachments must include the following:

- Completed building permit application
- Appropriate SEQRA documents
- 7- 11" x 17" copies of the site plan with a scale not to exceed 1 in. equals 50 ft. The site plan shall include the items listed in BMC190-44 D (2)(a-j)
- Color elevation renderings
- Site Plan Review Fee of \$250.

The Planning and Development Committee (PDC) will review applications for compliance with Batavia Municipal Code 190-44.

The review process may involve a "Sketch Plan Review". This is an optional, preliminary meeting, that provides an opportunity for the applicant to receive direction and guidance from the PDC prior to final submission. This process is especially encouraged for larger projects.

Applicant (if not the owner): _____

Name	E-mail address		
Mailing address	City	Zip Code	Phone No.

PAID

JUL - 3 2023

CITY OF BATAVIA
CLERK-TREASURER

Signature: *[Handwritten Signature]*

Date: 6/28/2023

CITY OF BATAVIA, NEW YORK

APPLICATION FOR A BUILDING PERMIT

Application Date: _____

APPLICANT NAME _____ PHONE _____

APPLICANT MAILING ADDRESS _____

APPLICANT EMAIL _____

Project Location and Information

Address of Project: 425A Main Street, Batavia NY 14020

Owner: Quattro Batavia, LLC Phone: 570-269-9993

Owners Mailing Address: 1100 Jorie Blvd, Suite 140, Oak Brook, IL 60523

Project Type/Describe Work **Estimated cost of work:** \$500,000

We are proposing to build a single story Take 5 oil change facility comprising of 2-bays with a total of 1,324 SF. This building would be single story, wood frame construction

Contractor Information – Insurance certificates (liability & worker comp) required to be on file in our office before issuance of any permit. _____ Liability _____ Workers Comp

GENERAL

TBD

Name & Address: _____

Phone: _____

PLUMBING

TBD

(City of Batavia Licensed Plumber Required)

Name & Address: _____

Phone: _____

HEATING

TBD

Name & Address: _____

Phone: _____

ELECTRICAL

TBD

(Third Party Electrical Inspection Required)

Name & Address: _____

Phone: _____

FOR OFFICE USE ONLY

Zoning District: _____ Flood Zone: _____ Corner Lot: _____ Historic District/Landmark: _____

Zoning Review: _____ Variance Required: _____ Site Plan Review: _____ Other: _____

National Grid Sign Off (Pools): _____ Lot Size: _____

Short Environmental Assessment Form

Part 1 - Project Information

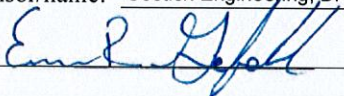
Instructions for Completing

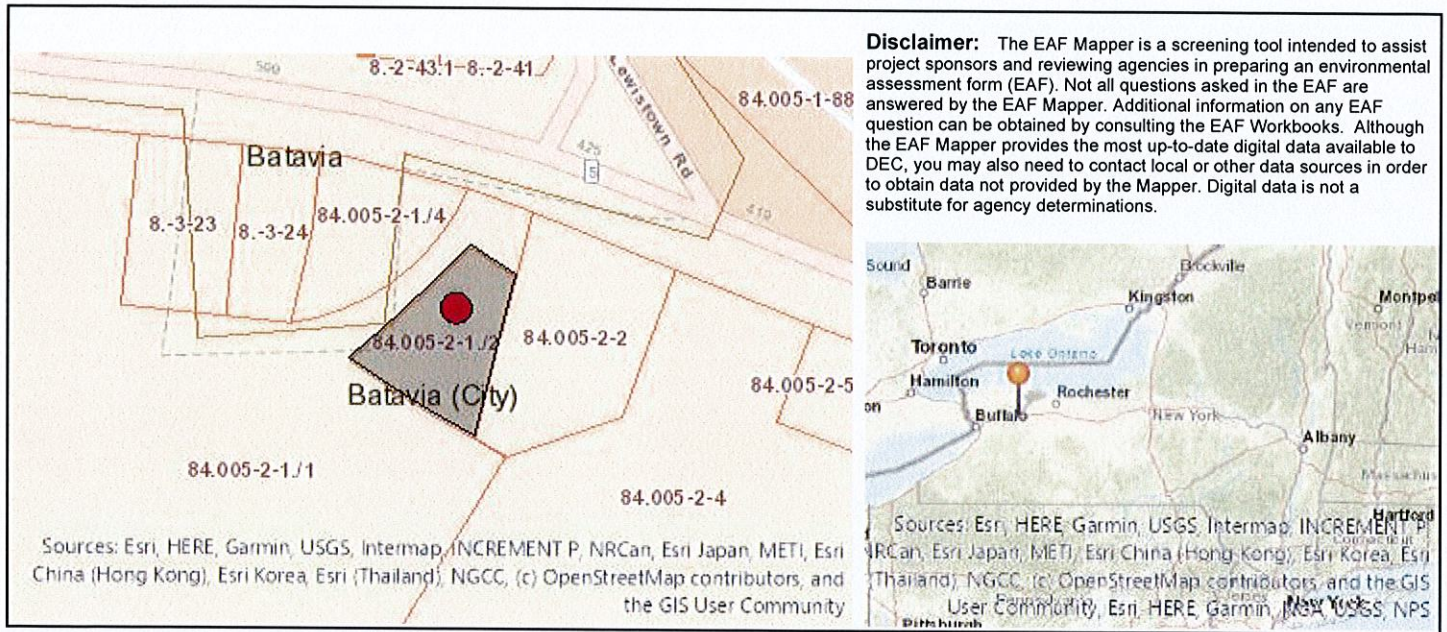
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

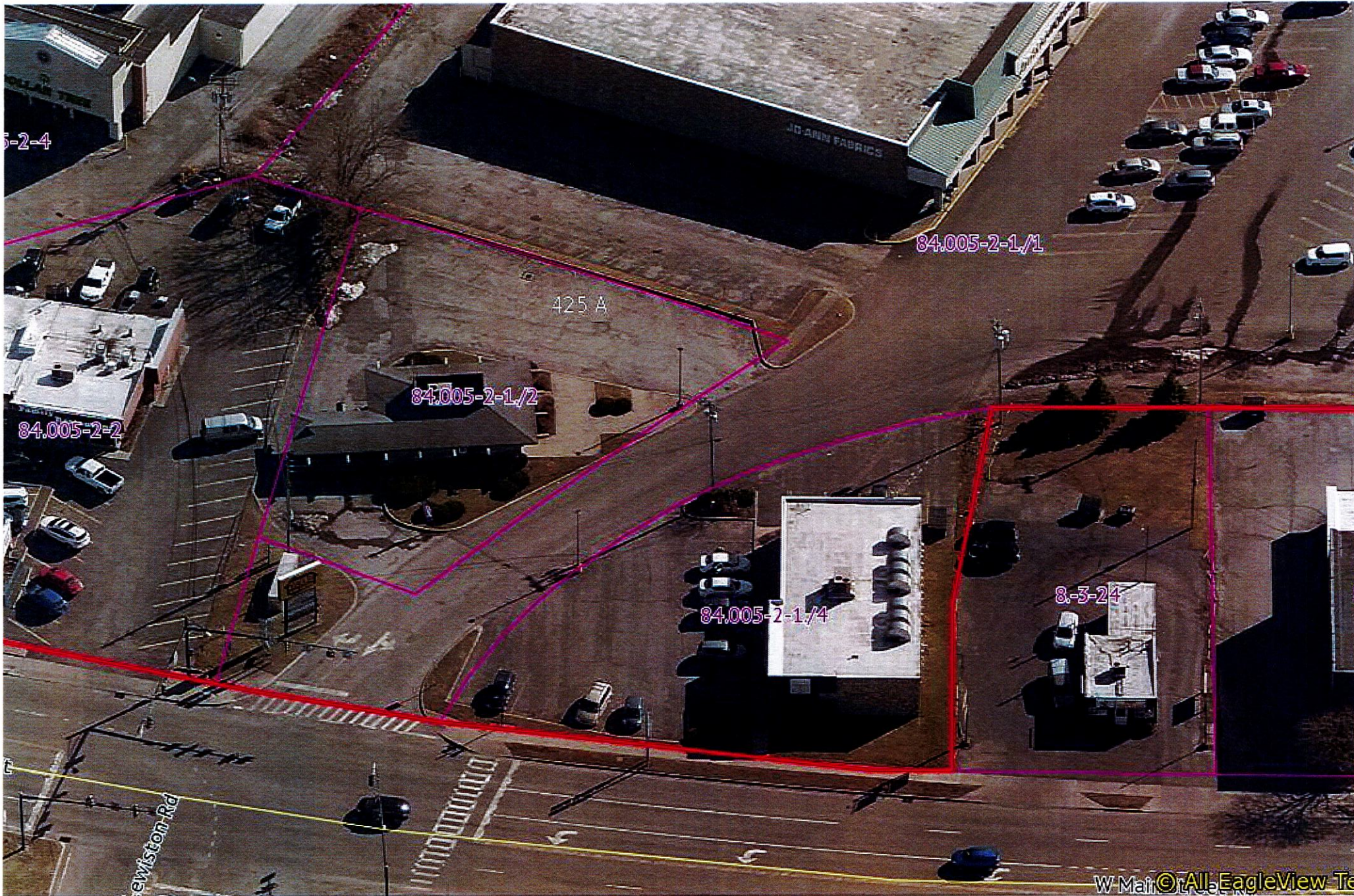
Part 1 – Project and Sponsor Information			
Name of Action or Project: Take 5 Oil Change			
Project Location (describe, and attach a location map): 425 A West Main Street, City of Batavia, Genesee County			
Brief Description of Proposed Action: Development of a new 1,324 sqft building + site improvements to provide motor vehicle service.			
Name of Applicant or Sponsor: AGENT FOR APPLICANT- Evan R. Gefell- Costich Engineering, DPC		Telephone: 585-458-3020 E-Mail: egefell@costich.com	
Address: 217 Lake Avenue			
City/PO: Rochester		State: NY	Zip Code: 14608
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Batavia City Council-Special Use Permit City of Batavia ZBA, City Planning Review			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.39+/- acres b. Total acreage to be physically disturbed? _____ 0.39+/- acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.39+/- acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____ _____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____ _____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____ _____		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Costich Engineering, DPC-AGENT FOR APPLICANT</u> Date: <u>6/29/2023</u>		
Signature: <u></u> Evan R. Gefell Title: <u>Principal-Costich Engineering, DPC</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No



5-2-4

JD-ANN FABRICS

84.005-2-1/1

425 A

84.005-2-1/2

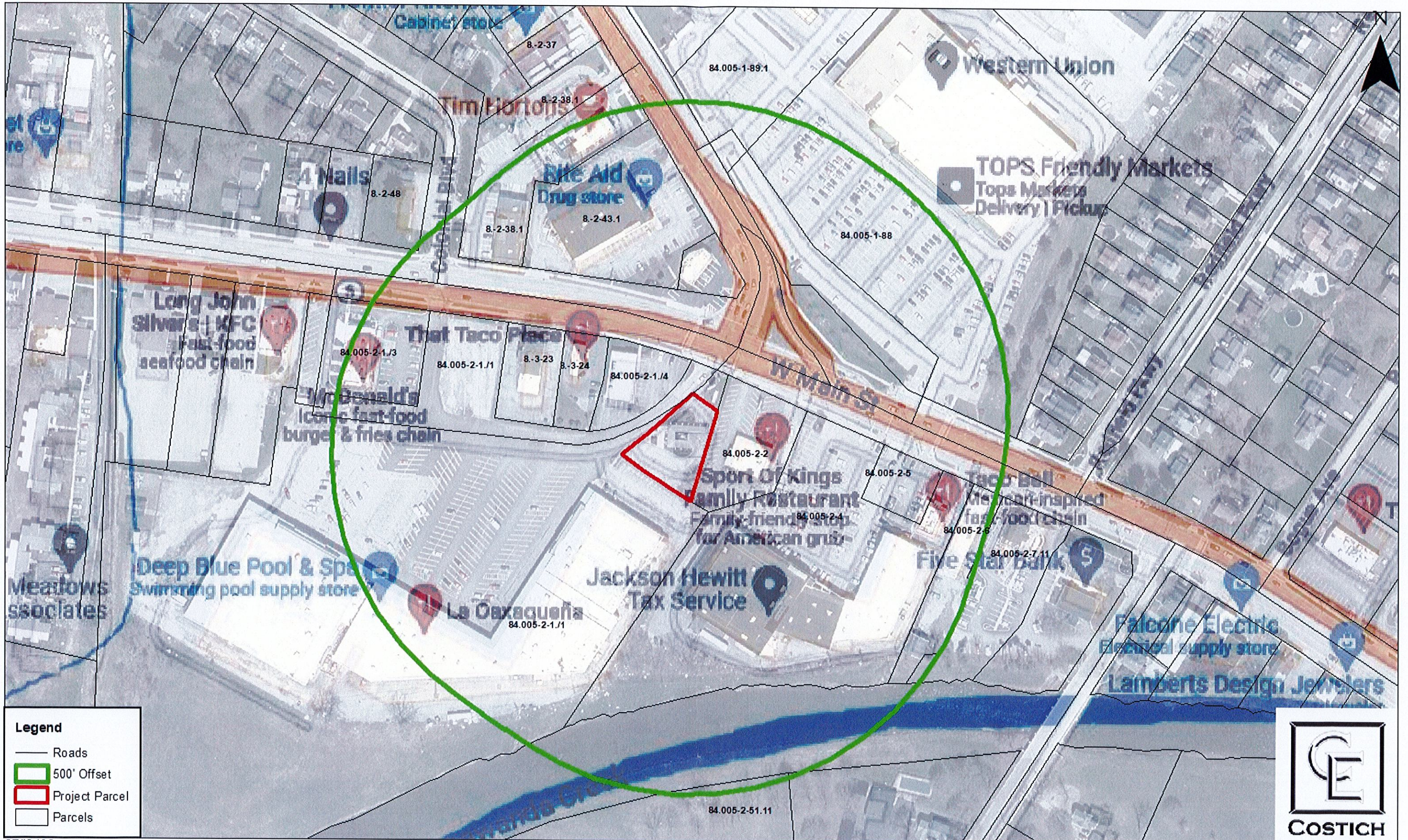
84.005-2-2

84.005-2-1/4

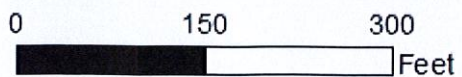
8-3-24

Sewiston Rd

W Mar © All EagleView Te

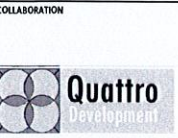


CE#9 106
6/29/2023



TAKE 5 BATAVIA
425A WEST MAIN STREET, CITY OF BATAVIA
500' OFFSET RESTAURANT EXHIBIT

DISCLAIMER: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



PROJECT INFORMATION

PROPOSED BUILDING FOR
QUATTRO DEVELOP MET - TAKE 5
BATAVIA • NY

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 29, 2023

REVISIONS

JOB NUMBER

230062700

SHEET NUMBER

A-200

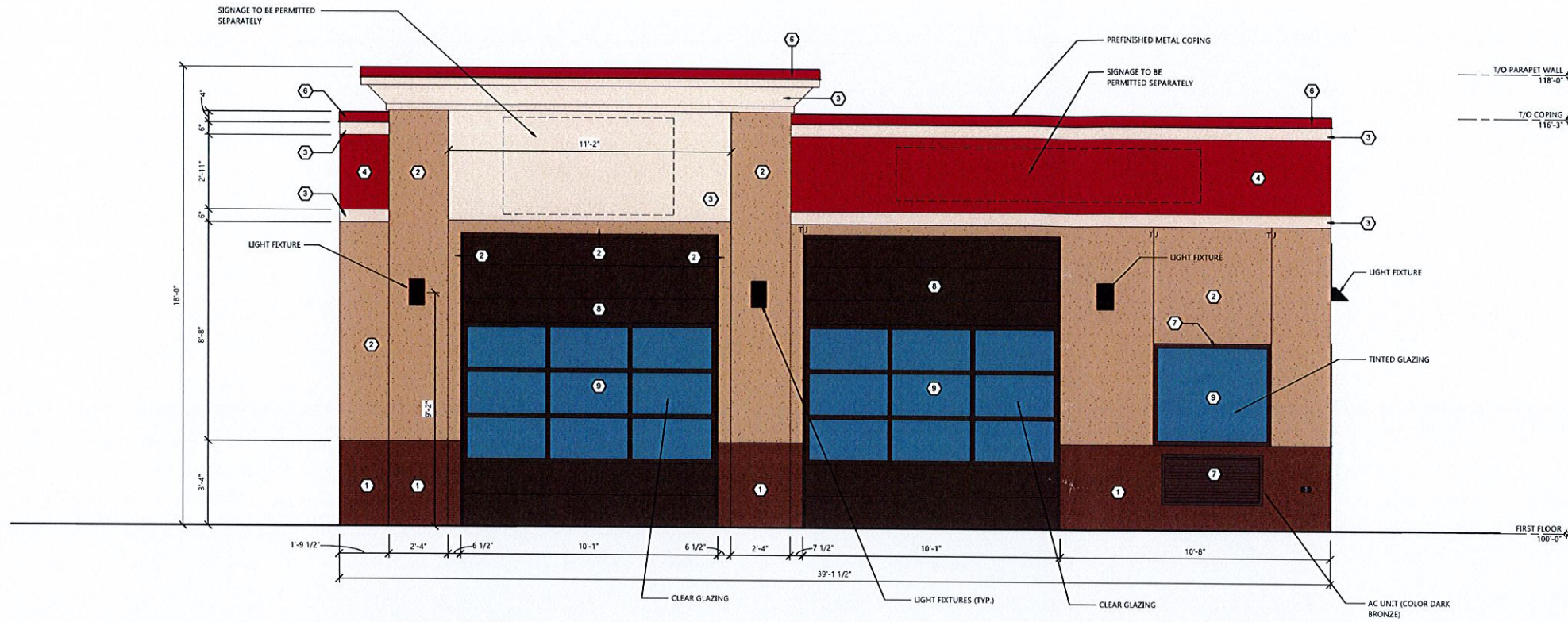
EXTERIOR FINISH KEY

NOT TO SCALE

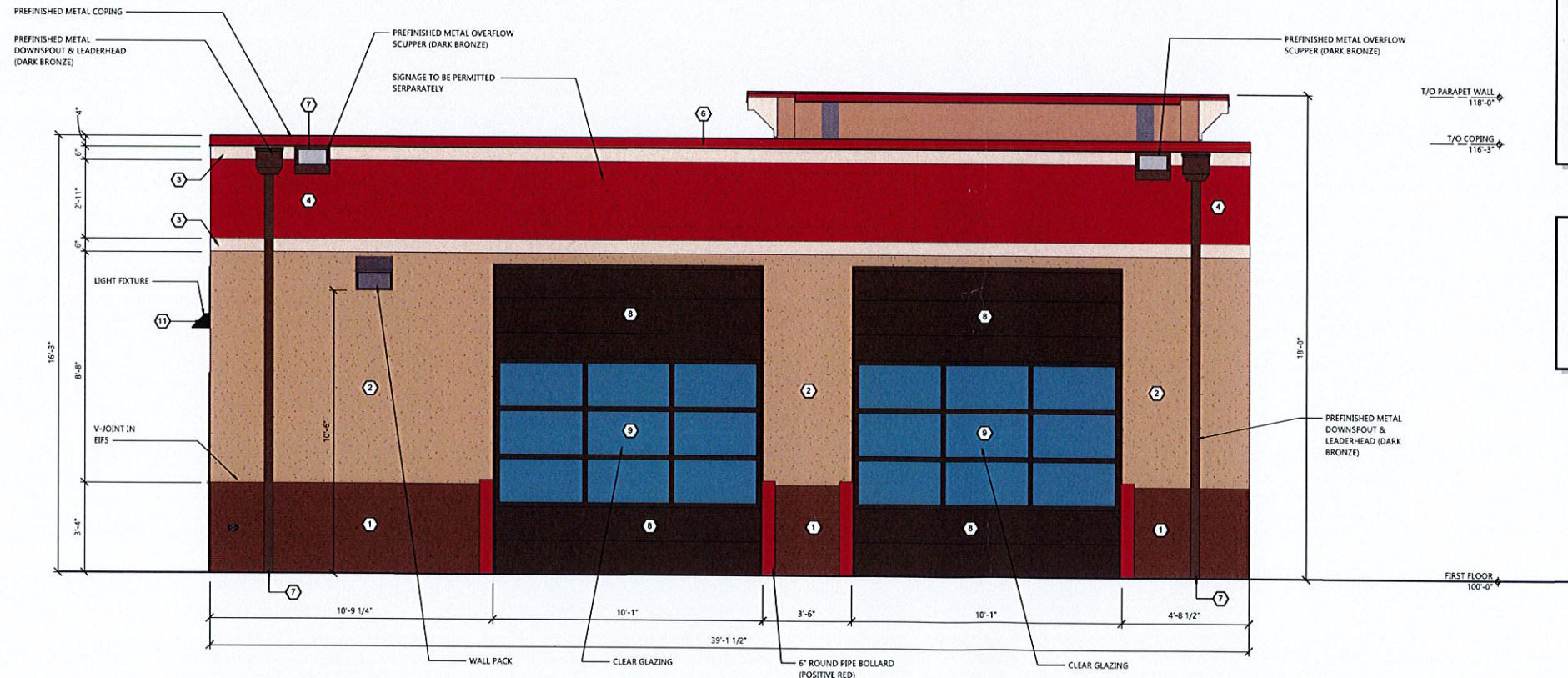
- 10** HOLLOW METAL DOOR AND FRAME
COLOR: TO MATCH SW 6076
TURKISH COFFEE
- 9** GLAZED ALUMINUM
STOREFRONT FRAME
- 8** OVERHEAD DOORS
MFR: CLOPAY
COLOR: CHOCOLATE BROWN
- 7** DOWNSPOUT, SCUPPER, WINDOW FRAME & A/C UNIT
COLOR: DARK BRONZE
- 6** METAL COPING AND BOLLARDS
TEXTURE: KYNAR 500 PREFINISHED
COLOR: TO MATCH SW #6871 POSITIVE RED
- 5** NOT USED
- 4** EIFS OR STUCCO SECONDARY COLOR
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #6871 POSITIVE RED
- 3** EIFS OR STUCCO ACCENT BAND, AND FACE EIFS OR
STUCCO CORNICE
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #7678 COTTAGE CREAM
- 2** EIFS OR STUCCO MAIN COLOR
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #7693 STONEBRIAR
- 1** EIFS OR STUCCO WAINSCOT
MFR: SHERWIN WILLIAMS
COLOR: TO MATCH SW #6097 STURDY BROWN

EXTERIOR FINISH NOTES:

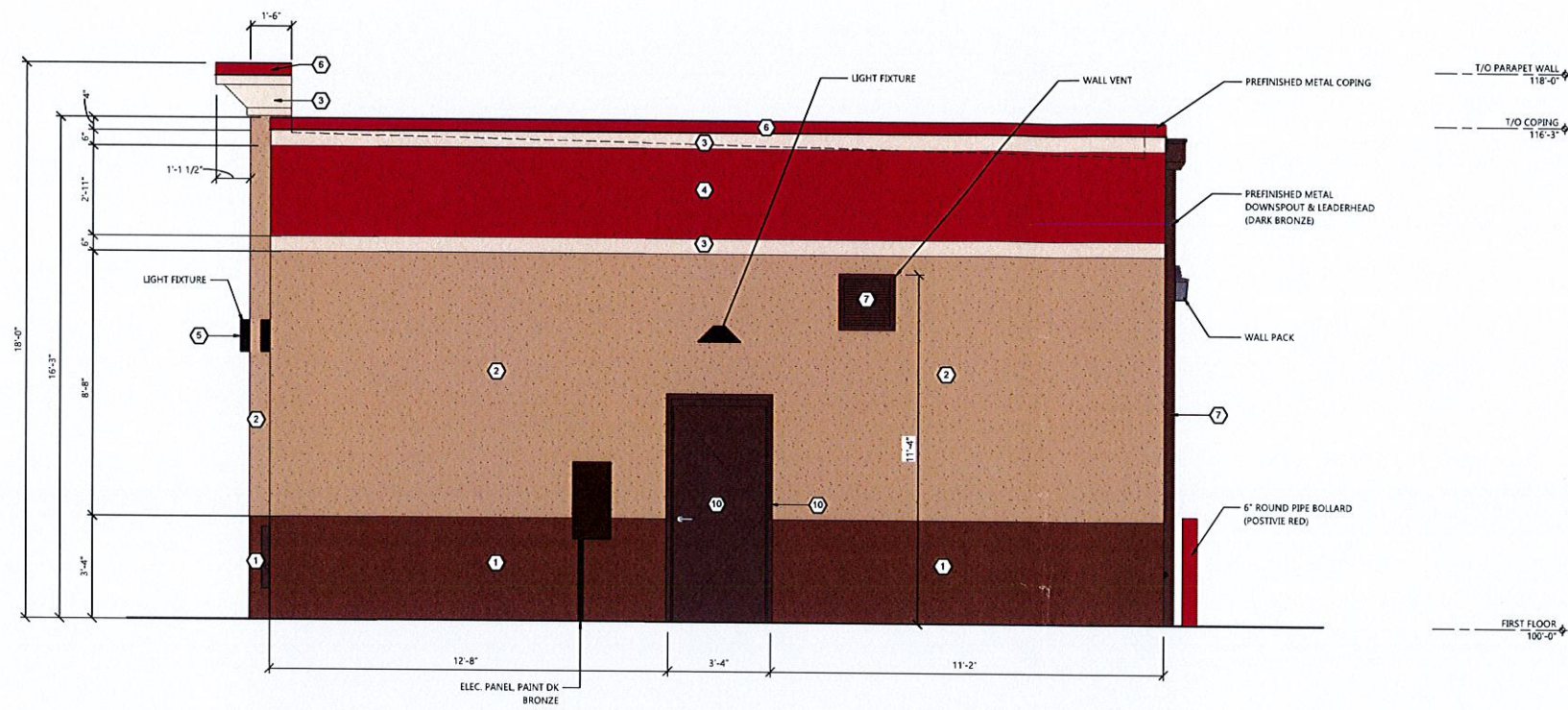
1. EIFS TO BE STO THERM CI CLASSIC, DRYVIT INSULATION PLUS MD OR APPROVED EQUAL
2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF
3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF
4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF
5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS
6. METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
7. METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.



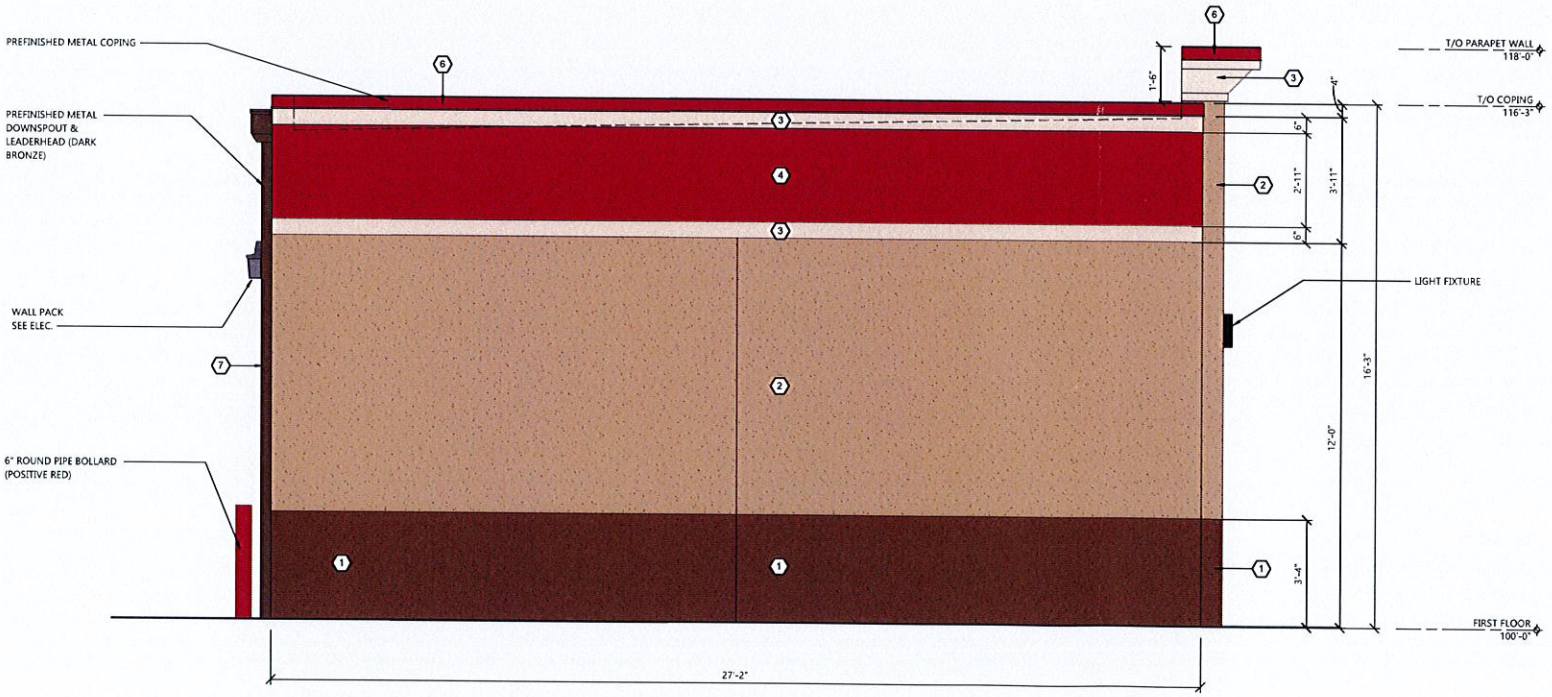
SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"



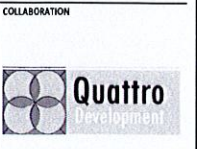
WEST ELEVATION
SCALE: 3/8" = 1'-0"

EXTERIOR FINISH KEY
NOT TO SCALE

10	HOLLOW METAL DOOR AND FRAME COLOR: TO MATCH SW 6076 TURKISH COFFEE
9	GLAZED ALUMINUM STOREFRONT FRAME
8	OVERHEAD DOORS MFR: CLOPAY COLOR: CHOCOLATE BROWN
7	DOWNSPOUT, SCUPPER, WINDOW FRAME & A/C UNIT COLOR: DARK BRONZE
6	METAL COPING AND BOLLARDS TEXTURE: KYNAR 500 PREFINISHED COLOR: TO MATCH SW #6871 POSITIVE RED
5	NOT USED
4	EIFS OR STUCCO SECONDARY COLOR MFR: SHERWIN WILLIAMS COLOR: TO MATCH SW #6871 POSITIVE RED
3	EIFS OR STUCCO ACCENT BAND, AND FACE EIFS OR STUCCO CORNICE MFR: SHERWIN WILLIAMS COLOR: TO MATCH SW #7678 COTTAGE CREAM
2	EIFS OR STUCCO MAIN COLOR MFR: SHERWIN WILLIAMS COLOR: TO MATCH SW #7693 STONEBRIAR
1	EIFS OR STUCCO WAINSCOT MFR: SHERWIN WILLIAMS COLOR: TO MATCH SW #6097 STURDY BROWN

EXTERIOR FINISH NOTES:

- EIFS TO BE STO THERM CI CLASSIC, DRYVIT INSULATION PLUS MD OR APPROVED EQUAL
- EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF
- EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF
- EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF
- METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS
- METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
- METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.



PROJECT INFORMATION

PROPOSED BUILDING FOR
QUATTRO DEVELOP MET - TAKE 5
BATAVIA • NY

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JUNE 29, 2023

REVISIONS

JOB NUMBER

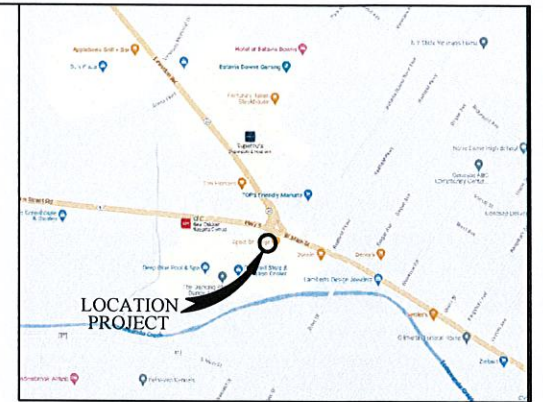
230062700

SHEET NUMBER

A-201

TAKE 5 OIL CHANGE SITE DEVELOPMENT PLANS

CITY OF BATAVIA
COUNTY OF GENESEE
STATE OF NEW YORK



LOCATION SKETCH
NOT TO SCALE

MATERIALS MANAGEMENT PLAN

MATERIALS MANAGEMENT PLAN (CONT.)

GENERAL NOTES

PROJECT NAME AND LOCATION

TAKE 5 OIL CHANGE
425 WEST MAIN STREET
BATAVIA, NEW YORK 14020

OPERATOR'S NAME AND ADDRESS

PS NY, LLC, A NEW YORK LIMITED
LIABILITY COMPANY
3030 N. ROCKY POINT DRIVE, SUITE 202
TAMPA, FLORIDA 33607

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES (PERMANENT)

PERMANENT STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. PERMANENT SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.

STABILIZATION PRACTICES (TEMPORARY)

TEMPORARY STABILIZATION PRACTICES FOR THIS SITE INCLUDE:

- A. TEMPORARY SEEDING AND PLANTING OF ALL UNPAVED AREAS USING THE HYDROMULCHING GRASS SEEDING TECHNIQUE.
B. MULCHING EXPOSED AREAS.
C. SOIL ROUGHENING.
D. FREQUENT WATERING TO MINIMIZE WIND EROSION DURING CONSTRUCTION.

STRUCTURAL PRACTICES (PERMANENT)

PERMANENT STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. PAVEMENT

STRUCTURAL PRACTICES (TEMPORARY)

STRUCTURAL PRACTICES FOR THIS SITE INCLUDE:

- A. INLET PROTECTION
B. PERIMETER PROTECTION USING SILTATION FENCING
C. STABILIZED CONSTRUCTION EXIT POINTS

OTHER CONTROLS

OFF-SITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS ADJACENT TO THE SITE ENTRANCE WILL BE INSPECTED DAILY AND SWEEP AS NECESSARY TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/PAULIN. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

DUST CONTROL

MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

- A. COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHOULD BE ABOUT SIX (6) INCHES IN HEIGHT.
C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

MATERIALS COVERED

THE FOLLOWING MATERIALS OR SUBSTANCES ARE EXPECTED TO BE PRESENT ON SITE DURING CONSTRUCTION:

CONCRETE/ADDITIONS/WASTES	CLEANING SOLVENTS
DETERGENTS	PETROLEUM BASED PRODUCTS
PAINTS/SOLVENTS	PESTICIDES
ACIDS	FERTILIZERS
SOLID AND CONSTRUCTION WASTES	SANITARY WASTES
SOIL STABILIZATION ADDITIVES	

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED.

A. GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT.

1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS WILL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
6. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
7. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

B. HAZARDOUS PRODUCTS

THESE PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE SWPPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
2. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS'S) WILL BE PROCURED AND USED FOR EACH MATERIAL.
3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL/STATE/FEDERAL RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

C. HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

D. PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON THE JOB SITE.

1. PETROLEUM PRODUCTS:
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY PETROLEUM STORAGE TANKS USED ON SITE WILL HAVE AN IMPERVIOUS DIKE OR BERM CONTAINMENT STRUCTURE CONSTRUCTED AROUND IT TO CONTAIN ANY SPILLS WHICH MAY OCCUR. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
2. FERTILIZERS:
FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
3. PAINTS, PAINT SOLVENTS, AND CLEANING SOLVENTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT AND SOLVENTS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.
4. CONCRETE WASTES:
CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, BUT ONLY IN EITHER (1) SPECIFICALLY DESIGNATED DIKED AREAS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH OUT AND STORM WATER WHICH WILL BE DISCHARGED FROM THE SITE OR (2) IN LOCATIONS WHERE WASTE CONCRETE CAN BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE HARDENED RESIDUE FROM THE CONCRETE WASH OUT DIKED AREAS WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. THE JOB SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. THE PROJECT WILL REQUIRE THE USE OF MULTIPLE CONCRETE WASH OUT AREAS. ALL CONCRETE WASH OUT AREAS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE AREA CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLECTIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED TO PREVENT CONCRETE WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF CONCRETE WASH OUT AREA(S) MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

E.

SOLID AND CONSTRUCTION WASTES:
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN AN APPROPRIATELY COVERED CONTAINER AND/OR SECURELY LIDDED METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY WHICH MUST BE A SOLID WASTE MANAGEMENT COMPANY LICENSED TO DO BUSINESS IN NEW YORK STATE AND THE (LOCAL ENTITY). THE DUMPSTER WILL COMPLY WITH ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY NEW YORK STATE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. ALL WASTE DUMPSTERS AND ROLL-OFF CONTAINERS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE CONTAINERS CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLECTIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF WASTE DUMPSTERS AND ROLL-OFF CONTAINERS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

F. SANITARY WASTES:

ANY SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGES IS NEGLECTIBLE. IF REQUIRED, ADDITIONAL BMPs MUST BE IMPLEMENTED, SUCH AS SANDBAGS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE "GRADING AND EROSION CONTROL PLAN" BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

G. CONTAMINATED SOILS:

ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF MATERIALS WITH HAZARDOUS PROPERTIES) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES WILL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIALS MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.

SPILL PREVENTION AND RESPONSE PROCEDURES

THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.

- A. IN ORDER TO MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS MATERIALS TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:

1. ALL MATERIALS WITH HAZARDOUS PROPERTIES (SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, ACIDS, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH THEIR LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.
 2. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT ON THE JOB SITE.
 3. A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIALS, ACID NEUTRALIZING POWDER, BROOMS, DUST PANS, MOPS, RAGS, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) WILL BE PROVIDED AT THE STORAGE SITE.
 4. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. IN THE EVENT OF A SPILL, THE FOLLOWING PROCEDURES SHOULD BE FOLLOWED:
1. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 2. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCES.
 3. THE PROJECT MANAGER AND THE ENGINEER OF RECORD WILL BE NOTIFIED IMMEDIATELY. SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE FEDERAL, STATE, AND/OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL. CONTACT INFO TRACK AT 1-888-429-6281 (1-888-HAZMAT 1) TO DETERMINE WHETHER THE SPILL IS REPORTABLE. INFO TRACK HAS BEEN CONTRACTED BY TO PROVIDE THIS SERVICE TO FACILITIES, INCLUDING NEW CONSTRUCTION. YOU MUST STATE THAT YOU ARE WORKING ON A NEW CONSTRUCTION SITE. IF THE SPILL IS DETERMINED TO BE REPORTABLE, INFO TRACK WILL NOTIFY THE EPA IMMEDIATELY. SPILLS OF AMOUNTS THAT EXCEED REPORTABLE QUANTITIES OF CERTAIN SUBSTANCES SPECIFICALLY MENTIONED IN FEDERAL REGULATIONS (40 CFR 110, 40 CFR 117, AND 40 CFR 302) MUST BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER, TELEPHONE 1-800-424-8802.
 4. IF THE SPILL EXCEEDS A REPORTABLE QUANTITY, THE SWPPP MUST BE MODIFIED WITHIN SEVEN (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE PLANS MUST IDENTIFY MEASURES TO PREVENT THE REOCCURRENCE OF SUCH RELEASES AND TO RESPOND TO SUCH RELEASES. FORM G-1 MUST BE COMPLETED IN ACCORDANCE WITH THIS REQUIREMENT.
- C. THE JOB SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL RECEIVE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND RESPONSE. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON SITE.

INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
GA001	COVER SHEET (SHEET 1 of 10)
CA100	EXISTING FEATURES / DEMOLITION PLAN (SHEET 2 of 10)
CA110	SITE PLAN (SHEET 3 of 10)
CA120	UTILITY AND GRADING PLAN (SHEET 4 of 10)
LA100	LANDSCAPE PLAN (SHEET 5 of 10)
EA100	LIGHTING PLAN (SHEET 6 of 10)
CA500	DETAIL SHEET (SHEET 7 of 10)
CA501	DETAIL SHEET (SHEET 8 of 10)
CA502	DETAIL SHEET (SHEET 9 of 10)
CA503	DETAIL SHEET (SHEET 10 of 10)

PREPARED FOR:
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

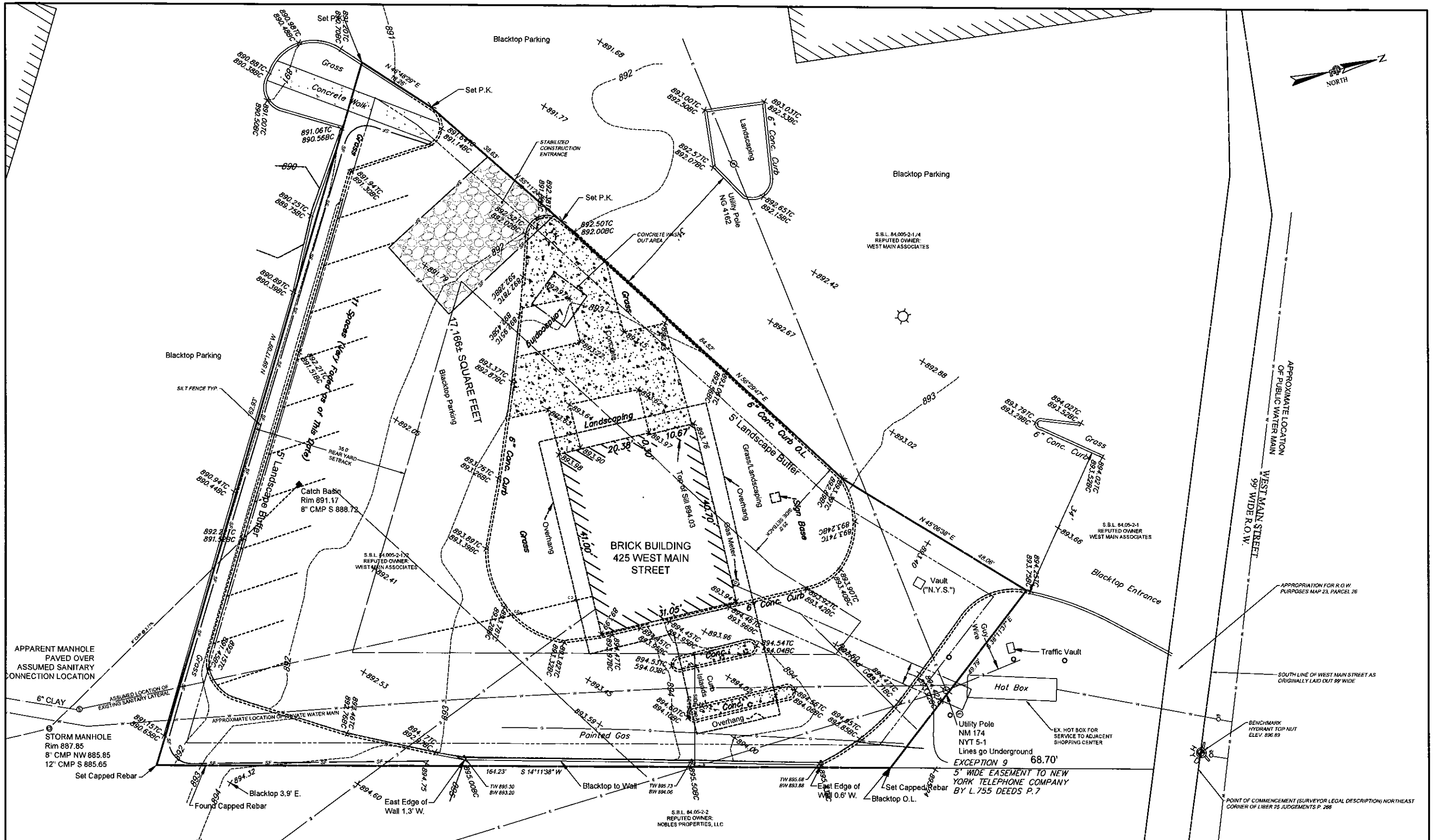
217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-3020

TAKE 5 OIL CHANGE
SITE DEVELOPMENT PLANS
TOWN OF BATAVIA COUNTY OF GENESEE
STATE OF NEW YORK

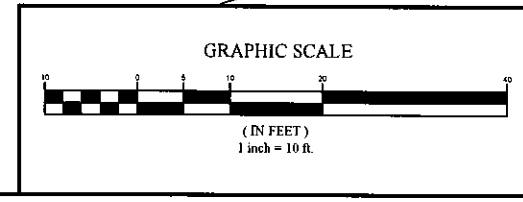
DATE: JUNE 29, 2023

PROJECT NO 9106

SHEET NO. GA001
SHEET 01 of 12



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



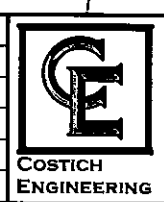
NO.	DATE	REVISION	BY	CHKD.	APVLD.

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COSTICH ENGINEERING, D.P.C.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR, ARCHITECT OR LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY MANNER. ANY USER WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY," FOLLOWED BY HIS/HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATION, TO THE DOCUMENT.



PROJECT MANAGER
E.R.G.
DRAWN BY
W.T.A.
BOUNDARY BY OTHERS
TOPOGRAHY BY OTHERS
DATE
06/30/2023
SCALE
1"=10'

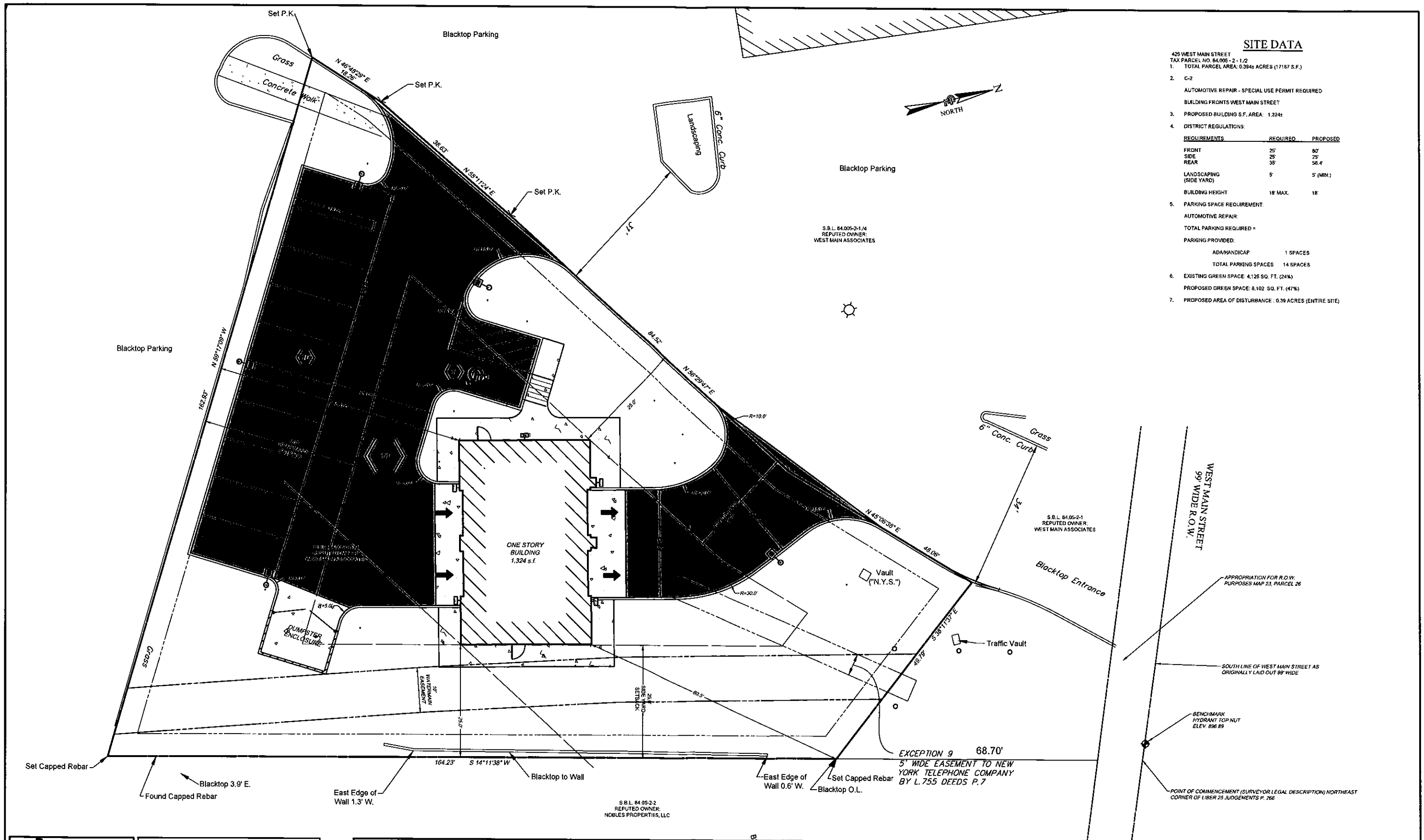


- CIVIL ENGINEERING
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- 217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 459-9020

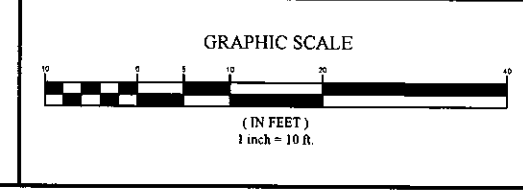
TITLE OF PROJECT TAKE 5 OIL CHANGE 425 W. MAIN STREET, BATAVIA, NY	CLIENT QUATRO DEVELOPMENT LLC 110 NORIE BLVD SUITE 140 OAKBROOK, ILLINOIS 60521	DWG. # 9106 CA100 SHEET 2 OF 10
TITLE OF DRAWING EXISTING CONDITIONS & DEMOLITION PLAN	LOCATION OF PROJECT TAX PARCEL NO. 84.005-2-1-2 TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3, COUNTY OF GENESEE, STATE OF NEW YORK	

SITE DATA

- 425 WEST MAIN STREET
 TAX PARCEL NO. 84.005-2-1.2
 1. TOTAL PARCEL AREA: 0.3941 ACRES (17167 S.F.)
2. C-2
 AUTOMOTIVE REPAIR - SPECIAL USE PERMIT REQUIRED
- BUILDING FRONTS WEST MAIN STREET
3. PROPOSED BUILDING S.F. AREA: 1,324sf
4. DISTRICT REGULATIONS:
- | REQUIREMENTS | REQUIRED | PROPOSED |
|-------------------------|----------|-----------|
| FRONT | 25' | 87' |
| SIDE | 25' | 25' |
| REAR | 35' | 56.4' |
| LANDSCAPING (SIDE YARD) | 5' | 5' (MIN.) |
| BUILDING HEIGHT | 18' MAX. | 18' |
5. PARKING SPACE REQUIREMENT:
 AUTOMOTIVE REPAIR:
 TOTAL PARKING REQUIRED =
 PARKING PROVIDED:
- | | |
|----------------------|-----------|
| ADA/HANDICAP | 1 SPACES |
| TOTAL PARKING SPACES | 14 SPACES |
6. EXISTING GREEN SPACE: 4,125 SQ. FT. (24%)
 PROPOSED GREEN SPACE: 8,102 SQ. FT. (47%)
7. PROPOSED AREA OF DISTURBANCE: 0.39 ACRES (ENTIRE SITE)



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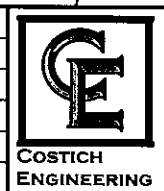
NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER
 E.R.G.
 DRAWN BY
 W.T.A.
 BOUNDARY BY OTHERS
 TOPOGRAHY BY OTHERS
 DATE
 06/30/2023
 SCALE
 1"=10'



- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

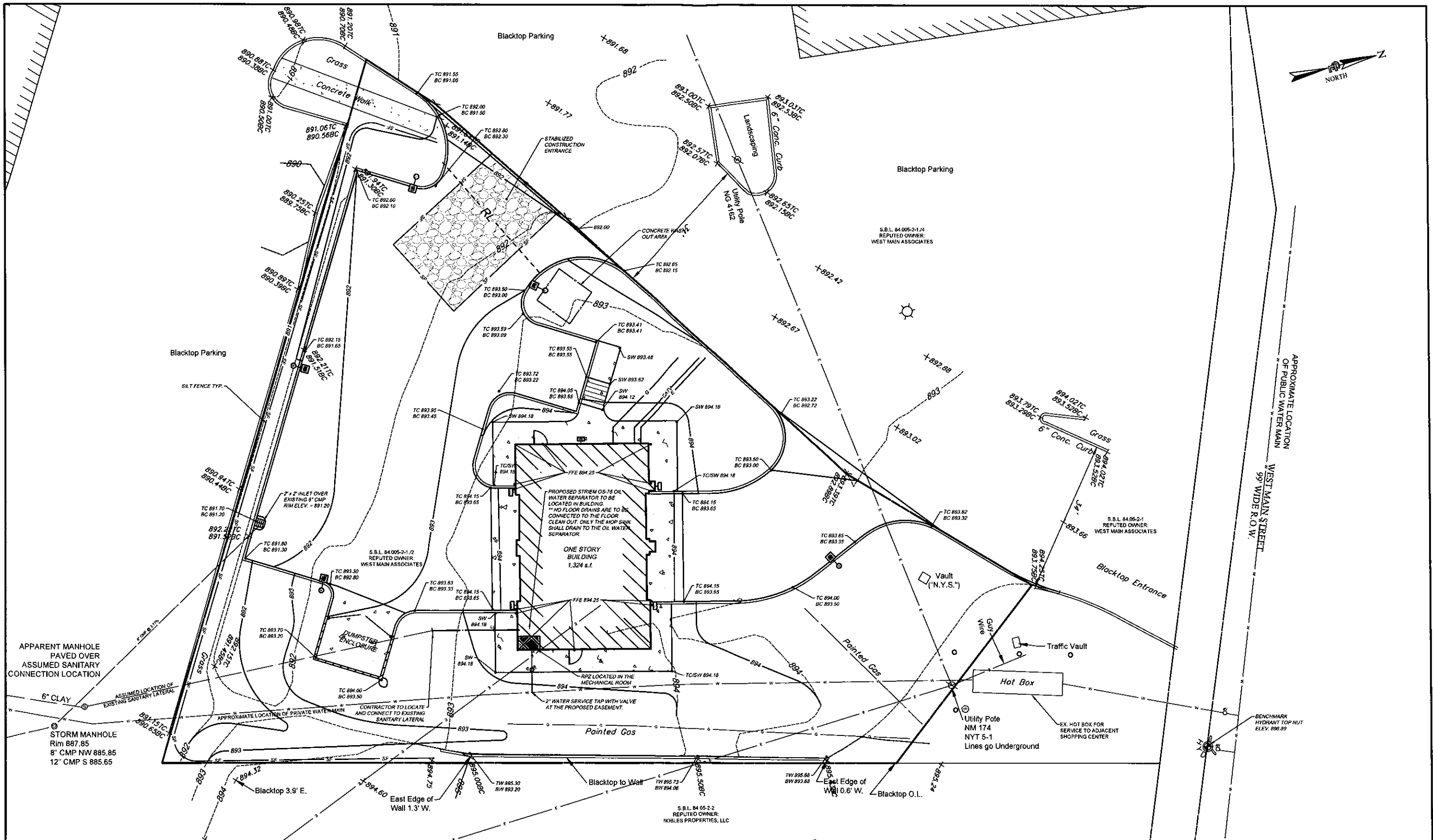
TITLE OF PROJECT
TAKE 5 OIL CHANGE
 425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING
SITE PLAN

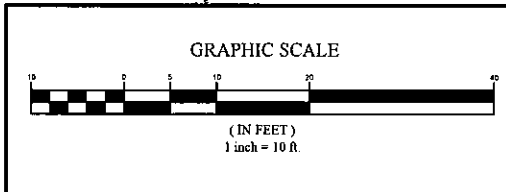
LOCATION OF PROJECT
 TAX PARCEL NO. 84.005-2-1.2
 TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
 COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT
 Q'ATTRO DEVELOPMENT LLC
 110 XORIE BLVD SUITE 140
 OAKBROOK, ILLINOIS 60521

DWG. # 9106
CA110
 SHEET 3 OF 10



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PROJECT MANAGER
E.R.G.
DRAWN BY
W.T.A.
CHECKED BY
BY OTHERS
TOPOGRAPHY BY OTHERS
DATE
06/30/2023
SCALE
1"=10'



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14608
(585) 458-9020

TITLE OF PROJECT: TAKE 5 OIL CHANGE
425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING: UTILITY AND GRADING PLAN

LOCATION OF PROJECT: TAX PARCEL NO. 84 005-2-1-2
TOWN/LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
COUNTY OF GENESSEE, STATE OF NEW YORK

CLIENT: QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG. # 9106
SHEET 1 OF 10
CA120

LEGEND

AREAS TO RECEIVE 6" OF TOPSOIL AND TO BE SEEDED WITH SPECIFIED LAWN MIX

Blacktop Parking



PLANT SCHEDULE

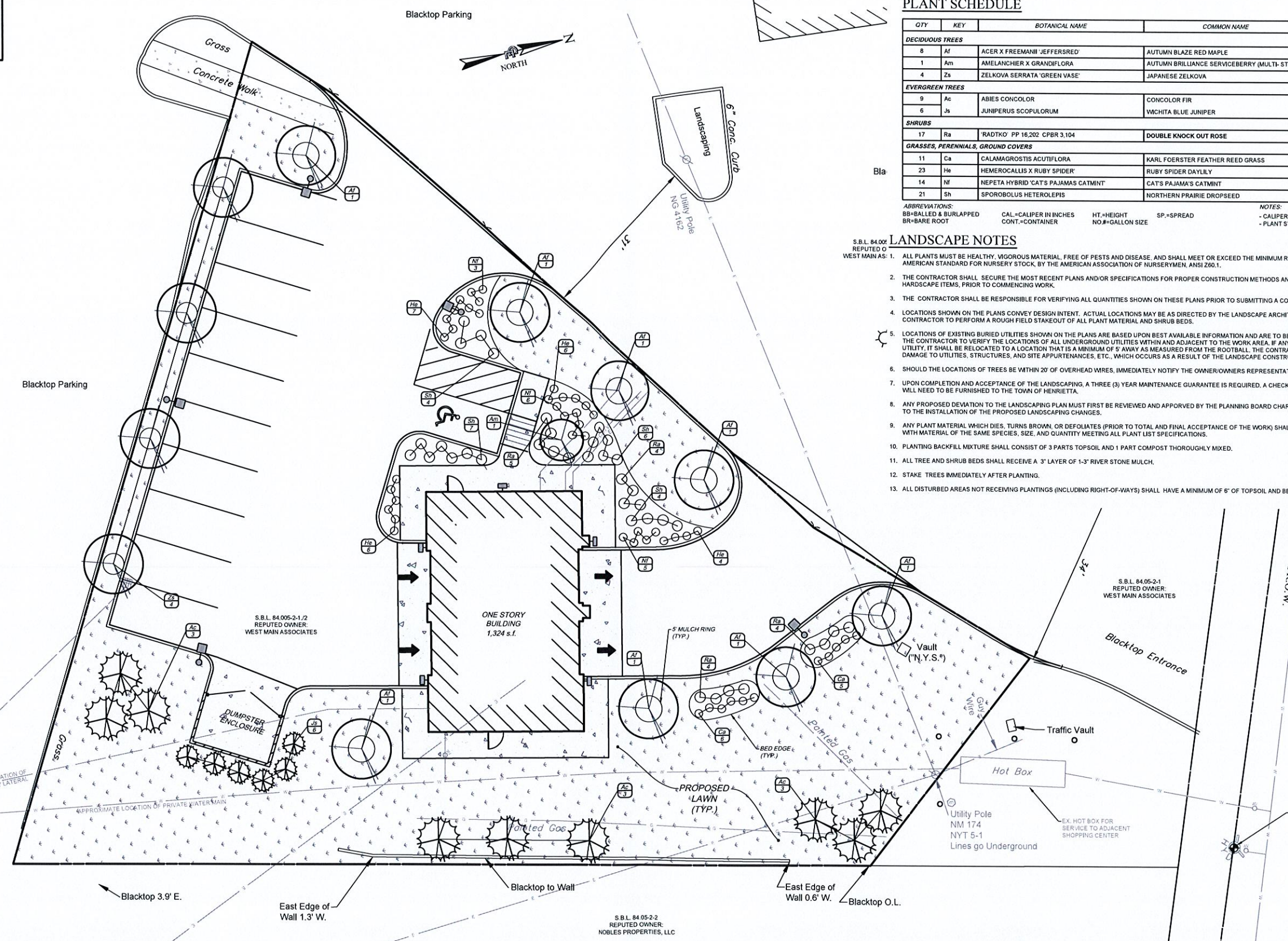
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
DECIDUOUS TREES						
8	At	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE RED MAPLE	2.5-3" CAL	BB	HT. 40-60', SP. 40-60'
1	Am	AMELANCHIER X GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY (MULTI-STEM)	6-7 HT.	BB	HT. 15-25', SP. 15-25'
4	Zs	ZELKOVA SERRATA 'GREEN VASE'	JAPANESE ZELKOVA	2.5-3" CAL	BB	HT. 60-75', SP. 40-50'
EVERGREEN TREES						
9	Ac	ABIES CONCOLOR	CONCOLOR FIR	6-7 HT. MIN.	BB	HT. 35-50', SP. 15-25'
6	Js	JUNIPERUS SCOPULORUM	WICHTA BLUE JUNIPER	6-7 HT. MIN.	BB	HT. 10-15', SP. 4-5'
SHRUBS						
17	Ra	'RADTKO' PP 16,202 CPBR 3,104	DOUBLE KNOCK OUT ROSE	18" MIN. HT.	CONT.	HT. 3-4', SP. 3-4'
GRASSES, PERENNIALS, GROUND COVERS						
11	Ca	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER FEATHER REED GRASS	NO. 2	CONT.	HT. 4-6', SP. 2-3'
23	He	HEMEROCALLIS X RUBY SPIDER	RUBY SPIDER DAYLILY	NO. 2	CONT.	HT. 1-2', SP. 2-3'
14	Nf	NEPETA HYBRID 'CAT'S PAJAMAS'	CAT'S PAJAMA'S CATMINT	NO. 2	CONT.	HT. 12-14', SP. 18-20'
21	Sh	SPOROBOLUS HETEROLEPIS	NORTHERN PRAIRIE DROPS EED	NO. 3	CONT.	HT. 1.5-3', SP. 2-3'

ABBREVIATIONS: BB-BALLED & BURLAPPED, CONT.-CONTAINER, CAL-CALIPER IN INCHES, HT-HEIGHT, SP.-SPREAD, NO.-NO. OF GALLON SIZE, RR-BARE ROOT

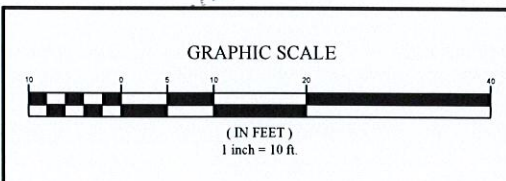
NOTES:
 - CALIPER TO BE MEASURED 6" ABOVE GRADE
 - PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

LANDSCAPE NOTES

- S.B.L. 84.05-2-1 REPUTED OWNER: WEST MAIN ASSOCIATES
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE, AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
 - THE CONTRACTOR SHALL SECURE THE MOST RECENT PLANS AND/OR SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPE ELEMENTS, INCLUDING HARDSCAPE ITEMS, PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO SUBMITTING A COST ESTIMATE.
 - LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT. ACTUAL LOCATIONS MAY BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION, AND MAY REQUIRE THE CONTRACTOR TO PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS.
 - LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
 - SHOULD THE LOCATIONS OF TREES BE WITHIN 20' OF OVERHEAD WIRES, IMMEDIATELY NOTIFY THE OWNER/OWNERS REPRESENTATIVE TO AVOID AND/OR MINIMIZE POTENTIAL CONFLICTS.
 - UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING, A THREE (3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.
 - ANY PROPOSED DEVIATION TO THE LANDSCAPING PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING/PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
 - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL AND FINAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, SIZE, AND QUANTITY MEETING ALL PLANT LIST SPECIFICATIONS.
 - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED.
 - ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" LAYER OF 1-3" RIVER STONE MULCH.
 - STAKE TREES IMMEDIATELY AFTER PLANTING.
 - ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL HAVE A MINIMUM OF 6" OF TOPSOIL AND BE SEEDED WITH SPECIFIED LAWN MIX.



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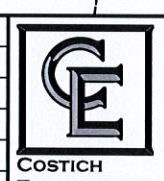


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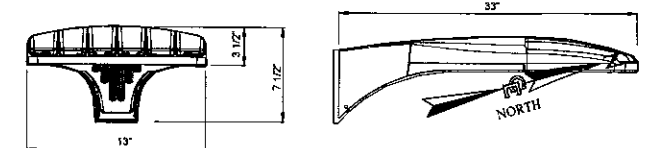
PROJECT MANAGER: E.R.G.
 DRAWN BY: W.T.A.
 BOUNDARY: BY OTHERS
 TOPOGRAHY: BY OTHERS
 DATE: 06/30/2023
 SCALE: 1"=10'



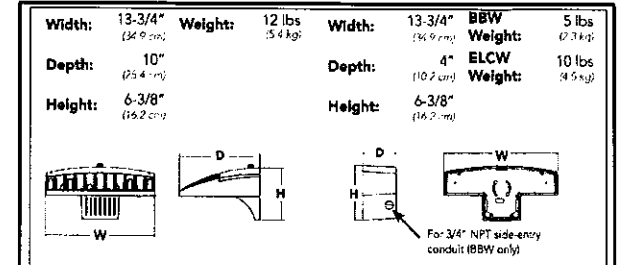
CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 217 LAKE AVENUE
 ROCHESTER, NY 14608
 (585) 458-3020

TITLE OF PROJECT: TAKE 5 OIL CHANGE
 425 W. MAIN STREET, BATAVIA, NY
 TITLE OF DRAWING: LANDSCAPE PLAN
 LOCATION OF PROJECT: TAX PARCEL NO. 84.005-2-1.2
 TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
 COUNTY OF GENESEE, STATE OF NEW YORK
 CLIENT: QUATTRO DEVELOPMENT LLC
 110 MORIE BLVD SUITE 140
 OAKBROOK, ILLINOIS 60521
 DWG # 9106
 LA100
 SHEET 5 OF 10

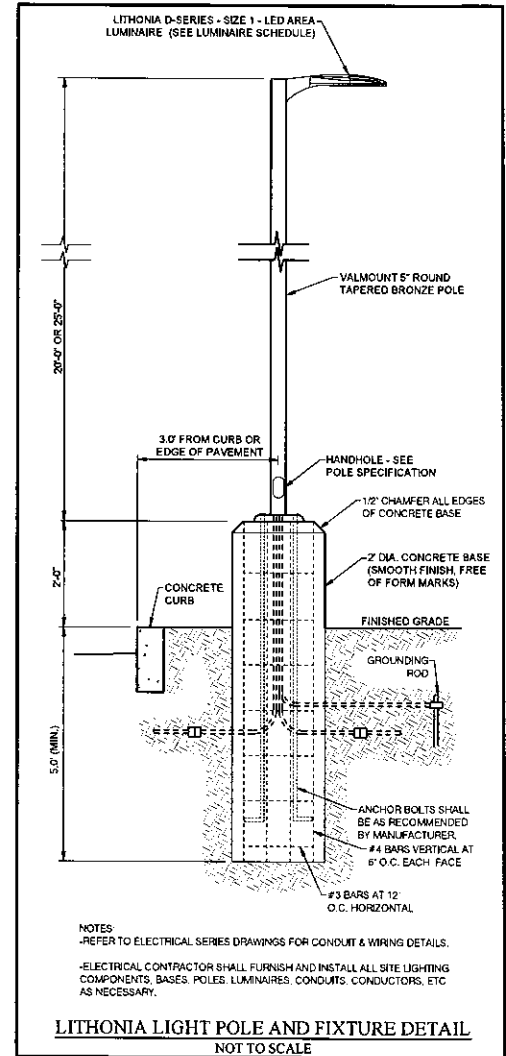
LUMINAIRE SCHEDULE							
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	POLE/BASE/MTG. HGT.	LLF	QTY
PK3	□	LITHONIA LIGHTING TYPE 3 (1) "D13" DSX1 LED P2 30K T3M MVOLT HS	(1)	19879	20 feet / 2 feet / 22 feet	0.85	2
PKF	□	LITHONIA LIGHTING FORWARD TH (1) "D1FH" DSX1 LED P2 30K T3M MVOLT HS	(1)	19364	20 feet / 2 feet / 22 feet	0.85	3
WS	□	LITHONIA LIGHTING WALL TYPE 2 (1) "W13" DSXW1 LED 10C 530 30K T3M MVOLT HS	(1)	4707	N.A. / N.A. / 14 feet	0.85	5



LITHONIA D-SERIES - SIZE 1
(SEE LUMINAIRE SCHEDULE)
LITHONIA LIGHT FIXTURE DETAIL
NOT TO SCALE

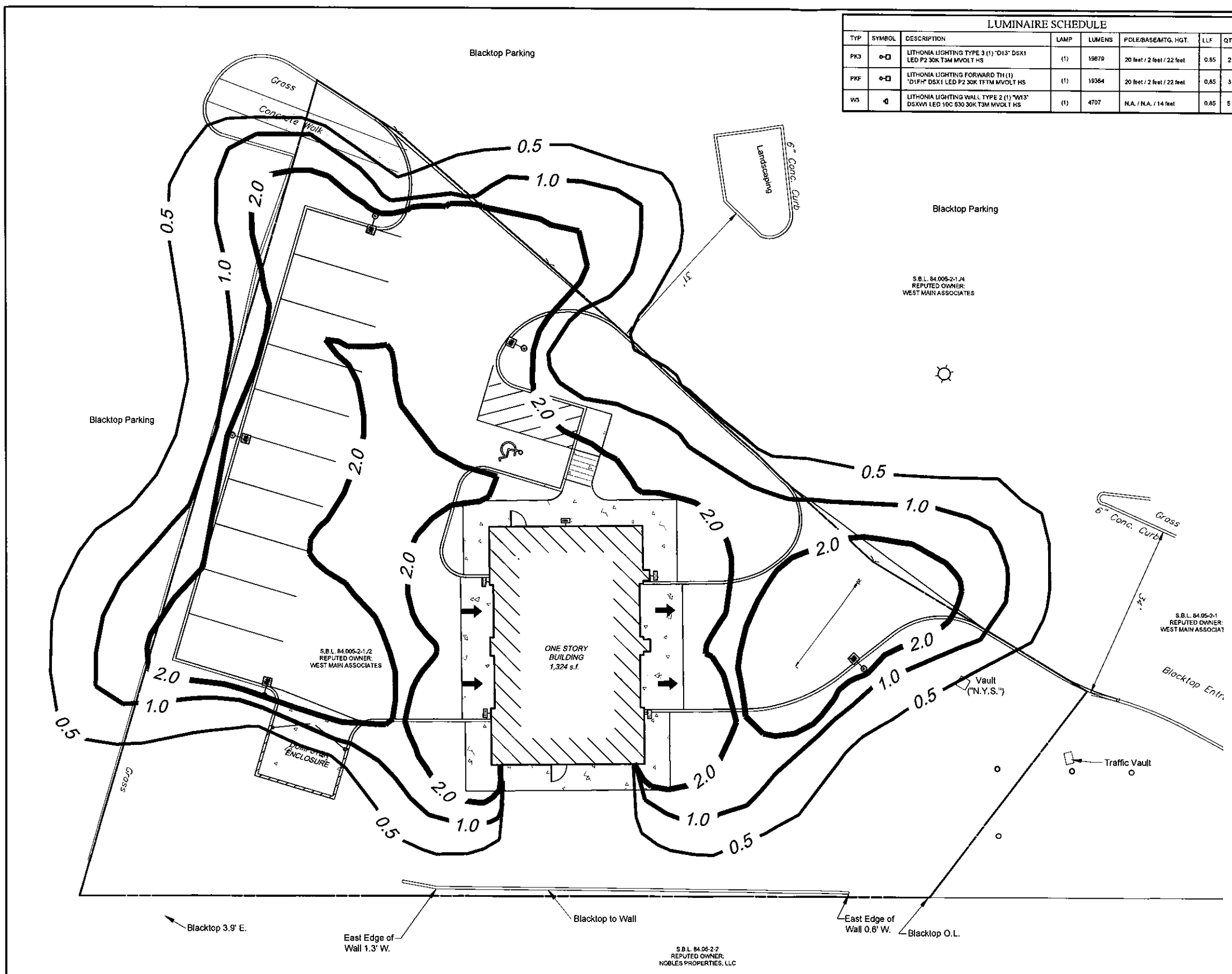


LITHONIA LIGHT WALL MOUNTED FIXTURE DETAIL
NOT TO SCALE

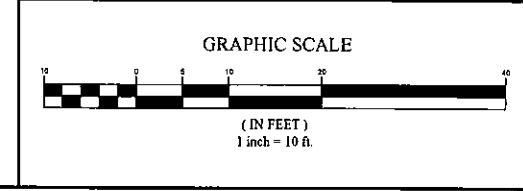


NOTES:
-REFER TO ELECTRICAL SERIES DRAWINGS FOR CONDUIT & WIRING DETAILS.
-ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE LIGHTING COMPONENTS, BASES, POLES, LUMINAIRES, CONDUITS, CONDUCTORS, ETC AS NECESSARY.

LITHONIA LIGHT POLE AND FIXTURE DETAIL
NOT TO SCALE

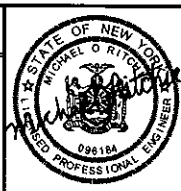


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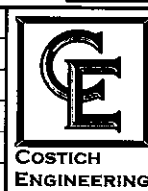


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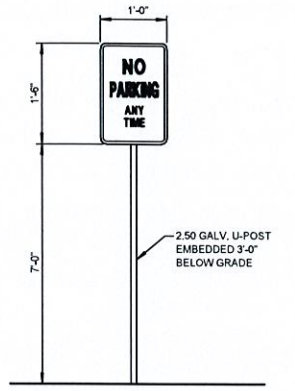


PROJECT MANAGER
E.R.G.
DRAWN BY
W.T.A.
TOPORBASE BY OTHERS
DATE
05/30/2023
SCALE
1"=10'

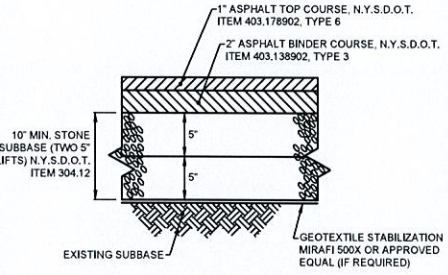


- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

TITLE OF PROJECT
TAKE 5 OIL CHANGE
425 W. MAIN STREET, BATAVIA, NY
TITLE OF DRAWING
LANDSCAPE PLAN
LOCATION OF PROJECT
TAX PARCEL NO. 84-005-2-1-2
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
COUNTY OF GENESEE, STATE OF NEW YORK
CLIENT
QUATTRO DEVELOPMENT LLC
110 KORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60521
DWG # 9106
EA100
SHEET 6 OF 10

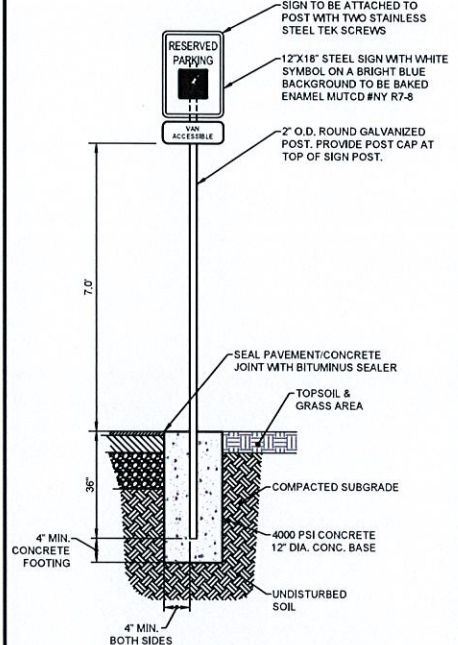


NO PARKING SIGN / POST
NOT TO SCALE



TYPICAL PAVEMENT SECTIONS
NOT TO SCALE

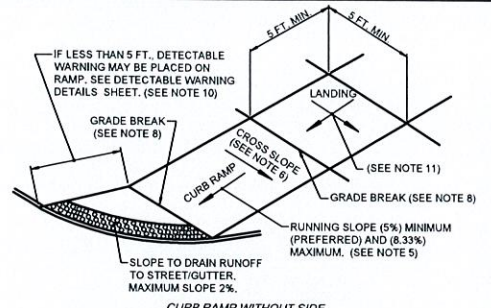
- NOTES:**
- ONE "VAN ACCESSIBLE" SIGN PER SIX HANDICAP SPACES PROVIDED ON SITE, MUST MOUNTED BELOW THE "RESERVED PARKING" SIGN.
 - ADA GUIDELINES STATE THAT THE BOTTOM OF THE "VAN ACCESSIBLE" SIGN MUST MOUNTED 7' ABOVE GRADE. SOME MUNICIPALITIES LIMIT THE MAXIMUM HEIGHTS AND MAY ALSO REQUIRE ADDITIONAL SIGNAGE. REFER TO LOCAL CODE.
 - ALL RESERVED PARKING SIGNS ON SITE SHALL BE MOUNTED AT THE SAME HEIGHT, REGARDLESS IF A "VAN ACCESSIBLE" SIGN IS PRESENT.



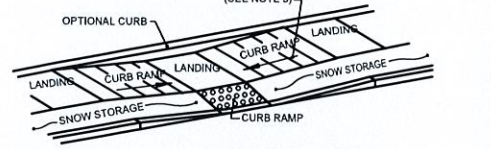
TYPICAL STEEL POLE MOUNTED SIGN DETAIL
NOT TO SCALE

CURB RAMP DIMENSION NOTES

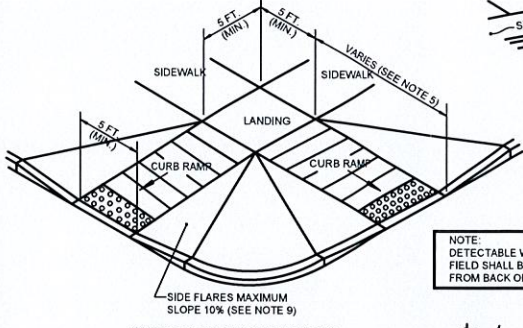
- GENERAL**
- THE DIMENSIONS AND SLOPES PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAS.
 - CURB RAMP, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNING. DETECTABLE WARNING ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. SEE THE DETECTABLE WARNING STANDARD SHEET M18-11 FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. SEE CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- CURB RAMP**
- THE MINIMUM WIDTH FOR SIDEWALK CURB RAMP IS 5 FT.
 - THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1.20 (5% MINIMUM (PREFERRED) AND 1.12 (8.33%) MAXIMUM.
 - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK, EXCEPT THAT IT NEED NOT BE MORE THAN 4.5 m IN LENGTH.
 - THE CROSS SLOPE OF CURB RAMP SHOULD BE AS FLAT AS POSSIBLE. NOT TO EXCEED 1.50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
 - THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAX).
 - WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM MEASURED PARALLEL TO THE CURB LINE SHALL BE PROVIDED.
- LANDINGS**
- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF 5 FT. BY 5 FT. EXCEPT AT THE BOTTOM OF RAMP TYPE 1 & 2 ON SHEET M18-11.
 - THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1.50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.



CURB RAMP WITHOUT SIDE FLARES TYPICAL DIMENSIONING

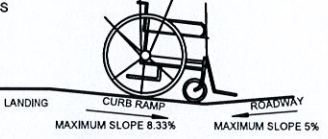


MID-BLOCK CROSSING CURB RAMP TYPICAL DIMENSIONING



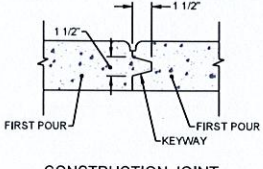
CURB RAMP WITH SIDE FLARES TYPICAL DIMENSIONING

NOTE: DETECTABLE WARNING FIELD SHALL BE 2' WIDE FROM BACK OF CURB.

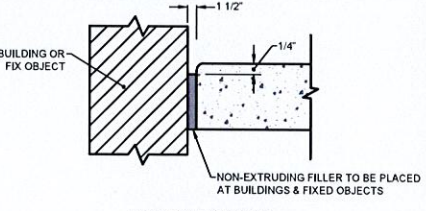


DIAGONAL SIDEWALK CURB RAMP

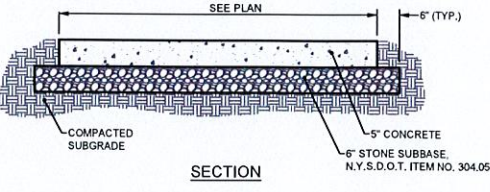
COUNTER SLOPE CONDITIONS
SIDEWALK CURB RAMP DIMENSIONS (DIMENSIONS, DETAILS AND GEOMETRY)
NOT TO SCALE



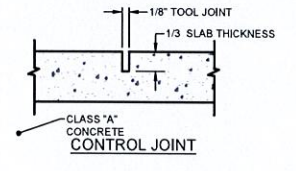
CONSTRUCTION JOINT



EXPANSION JOINT



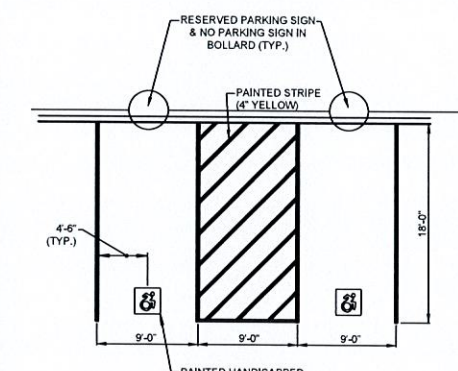
SECTION



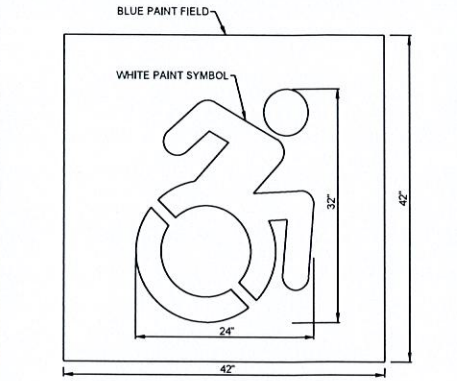
CLASS "A" CONCRETE CONTROL JOINT

- NOTE:**
- CONCRETE SHALL BE 4000 P.S.I. AIR-ENTRAINED MIX.
 - CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
 - EXPANSION JOINTS SHALL BE PROVIDED AT A FIXED STRUCTURES.
 - CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 - SIDEWALK SET ADJACENT TO CURB SHALL HAVE A 2.0% CROSS-SLOPE TO CURB. OTHER AREAS SHALL DRAIN AS INDICATED ON GRADING PLAN.

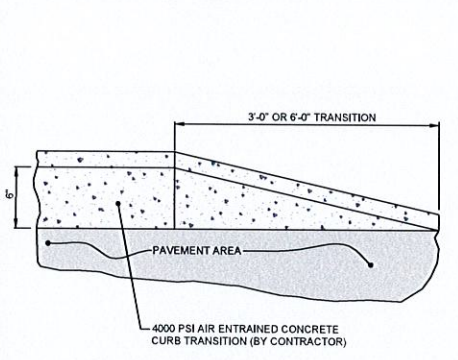
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



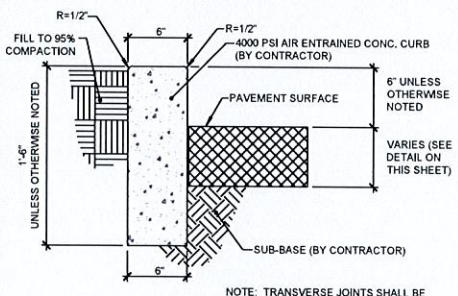
RESERVED PARKING STRIPING DETAIL
NOT TO SCALE



ACCESSIBLE SYMBOL PAVEMENT MARKING DETAIL
NOT TO SCALE



CURB TRANSITION DETAIL
NOT TO SCALE



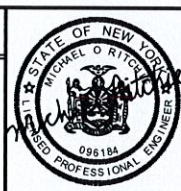
CONCRETE CURB DETAIL
NOT TO SCALE



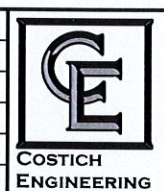
EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPL TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

NO.	DATE	REVISION	BY	CHKD.	APVLS.

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PROJECT MANAGER
E.R.G.
DRAWN BY
W.T.A.
BOUNDARY BY OTHERS
BY OTHERS
DATE
06/30/2023
SCALE
N.T.S.



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

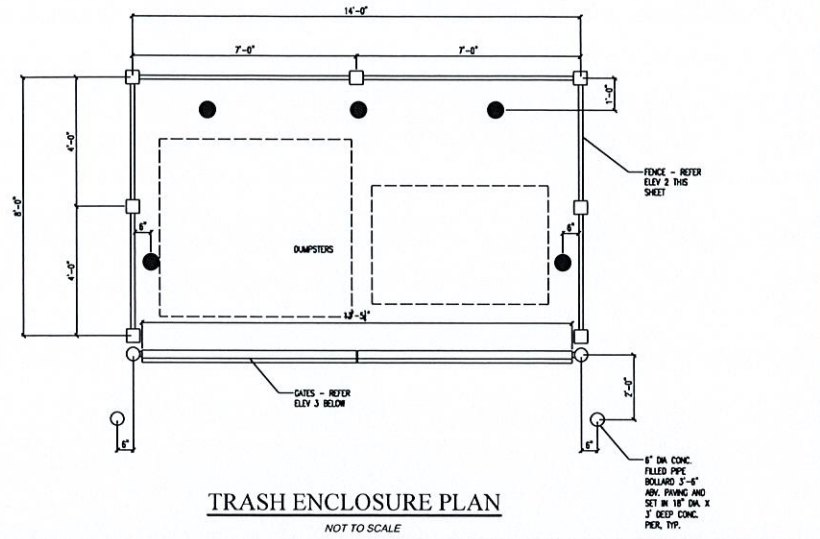
TITLE OF PROJECT
TAKE 5 OIL CHANGE
425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING
SITE DETAILS

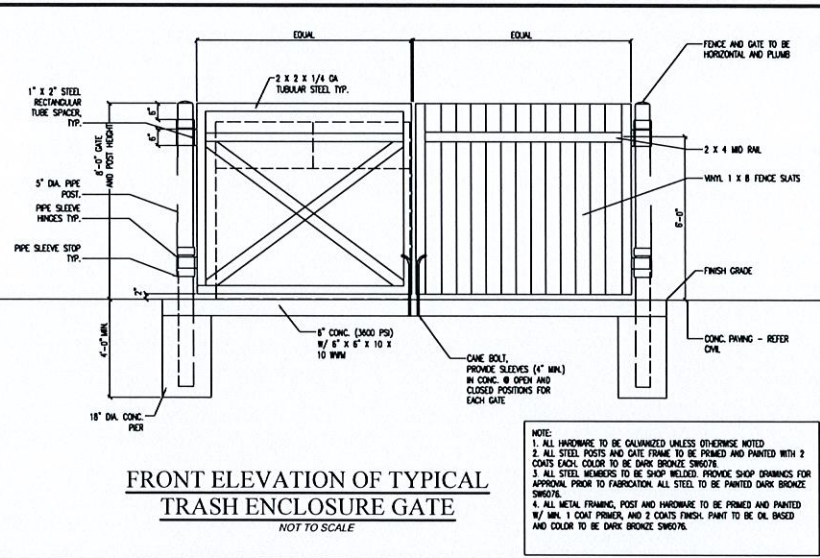
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TAX PARCEL NO. R4 005-2-1-2
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60521

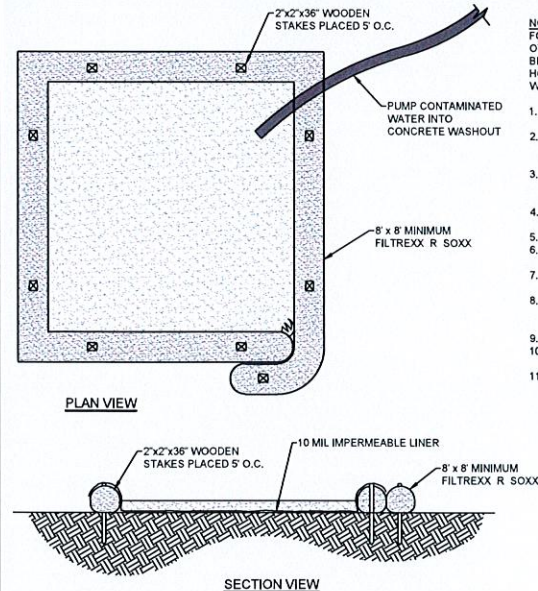
DWG. # 9106
CA500
SHEET 7 OF 10



TRASH ENCLOSURE PLAN
NOT TO SCALE

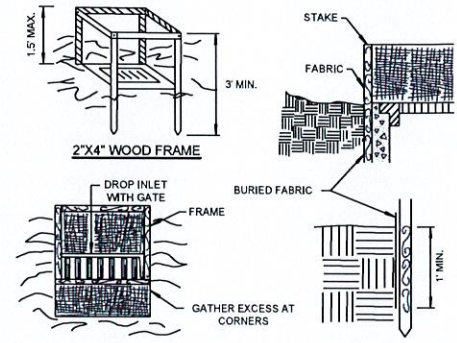


FRONT ELEVATION OF TYPICAL TRASH ENCLOSURE GATE
NOT TO SCALE



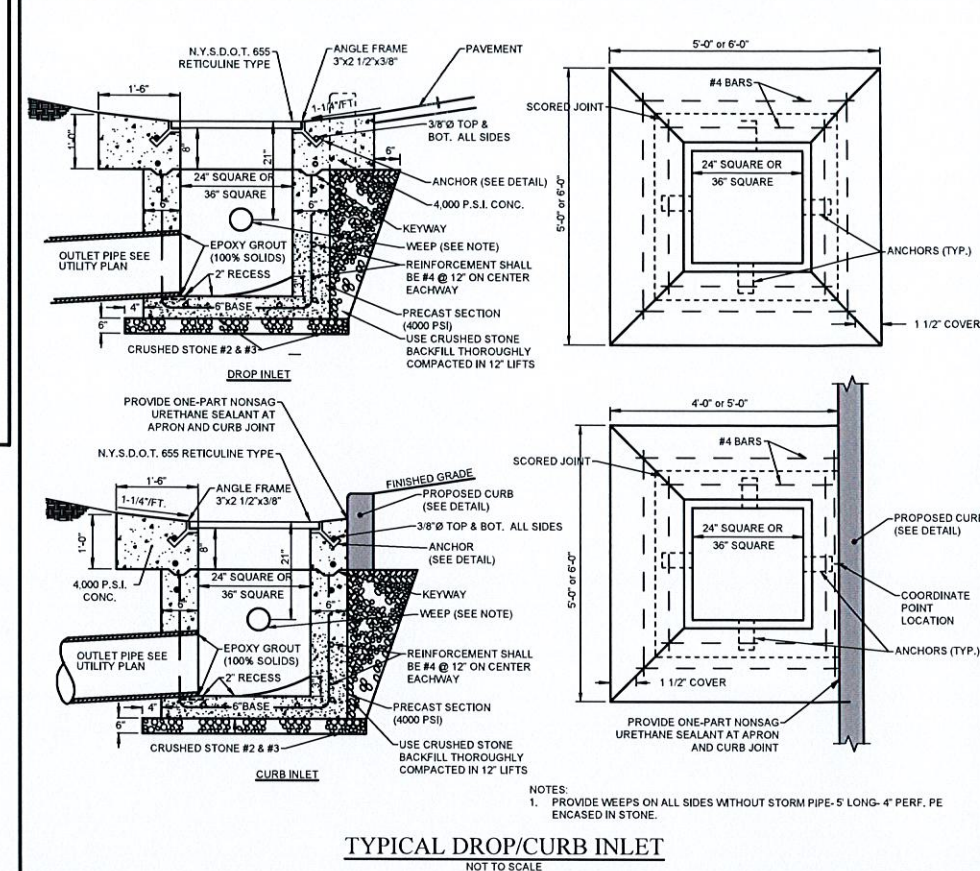
CONCRETE WASHOUT DETAIL
NOT TO SCALE

- NOTES:**
FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE.
1. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS.
 2. CONCRETE WASHOUT SHALL BE LINED WITH 10 MIL THICK PLASTIC WHICH COVERS THE BOTTOM OF THE WASHOUT AND EXTENDS OVER THE TOP OF THE SIDES.
 3. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
 4. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS.
 5. INSTALL ON FLAT GRADE NOT TO EXCEED 2%.
 6. CONCRETE WASHOUT MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
 7. CONCRETE WASHOUT MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 8. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED.
 9. MINIMUM DIMENSIONS TO BE 8' (L) x 8' (W) x 2' (H).
 10. LINER SHALL IS TO BE REPLACED EVERY TIME THE WASHOUT IS EMPTIED.
 11. WASHOUT TO BE LOCATED 100' (MIN.) FROM EXISTING AND PROPOSED DRAINAGE.



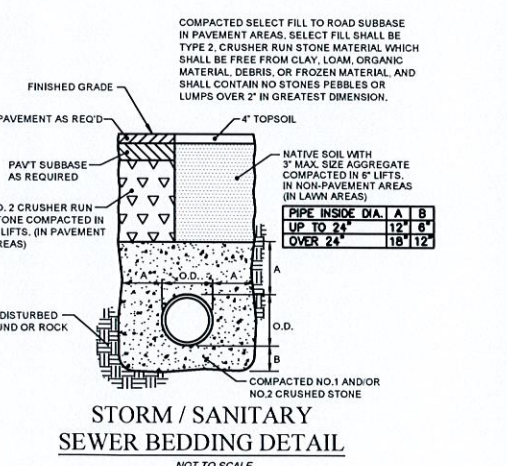
FILTER FABRIC DROP INLET PROTECTION DETAIL
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS**
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE



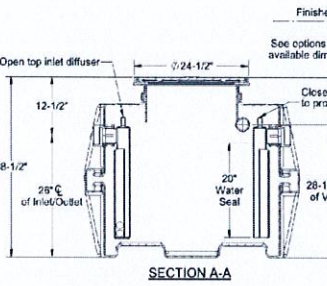
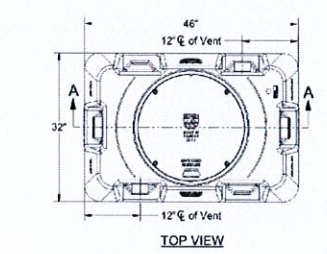
TYPICAL DROP/CURB INLET
NOT TO SCALE

- NOTES:**
1. PROVIDE WEEPS ON ALL SIDES WITHOUT STORM PIPE-5' LONG-4\"/>



STORM / SANITARY SEWER BEDDING DETAIL
NOT TO SCALE

- SPECIFICATIONS**
1. 4" Plain End Inlet/outlet, 3" Plain End vents, C24-H cover standard.
 2. Max flow rate: 75 GPM.
 3. Liquid capacity: 110 Gallons (14.7 cu. ft.).
 4. Oil capacity: 80 Gallons.
 5. Solids capacity: 11 Gallons.
 6. Limit weight w/ standard cover: 120 lbs; w/ cast iron cover: 180 lbs.
 7. Maximum operating temperature 140°F continuous.
- NOTES**
1. For gravity drainage applications only.
 2. Do not use for pressure applications.
 3. Scarper flow control (all pipe with weep).
 4. Narrow footprint allows clearance through doorways and down stairs.
 5. Cover placement allows full access to tank for proper maintenance.
- DIFFUSION FLOW TECHNOLOGY**
- The inlet diffuser splits influent into three paths, creating laminar flow and utilizing the entire liquid volume of the tank for efficient oil separation. The calorimeter openings greatly reduce influent turbulence. The influent enters the main chamber without disturbing the existing oil or sand layers. The bottom of the outlet ducts allows only effluent that is free of oil to exit the tank.
- THIRD PARTY STRUCTURAL ANALYSIS**
- The OS-75 has been structurally analyzed in accordance with the requirements of IRC 2012 and ASCE 7 for direct burial. The maximum burial depth and backfill material are specified in our installation instructions. The structural design has been reviewed and



MODEL NUMBER: OS-75	SPECIFICATION SHEET
DESCRIPTION: 75 GPM POLYETHYLENE OIL/SAND SEPARATOR	STRIEM Striem Kansas City, KS Tel: 913-222-1500 orders@striemco.com www.striemco.com Made in the U.S.A.
DWG BY: ENG	DATE: 4/24/2023
REV: 0	



NO.	DATE	REVISION	BY	CHKD.	APVLS.

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W.T.A.
BOUNDARY
BY OTHERS
BY OTHERS
TOPOGRAPHY
BY OTHERS
DATE
06/30/2023
SCALE
N.T.S.



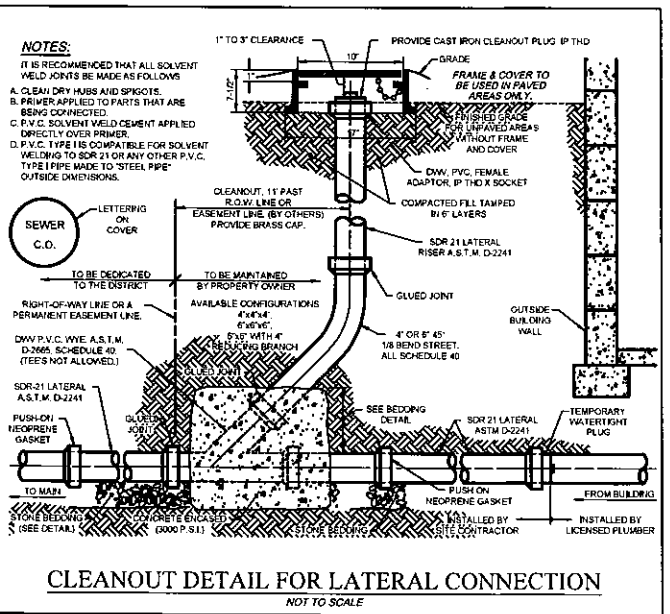
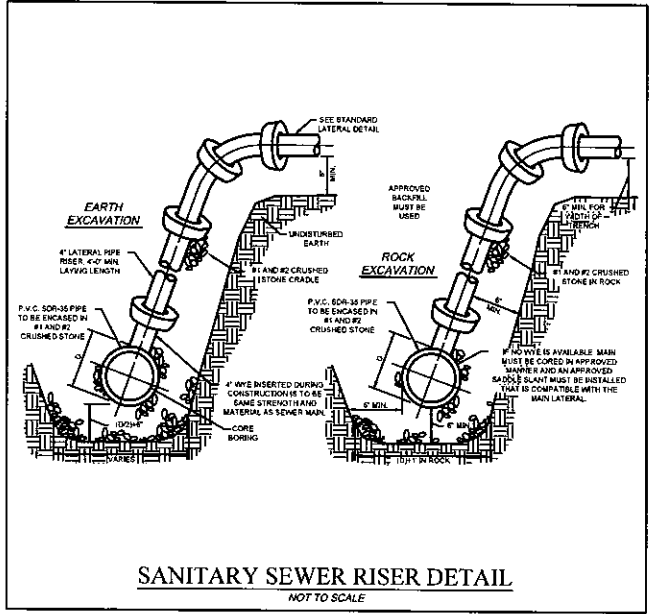
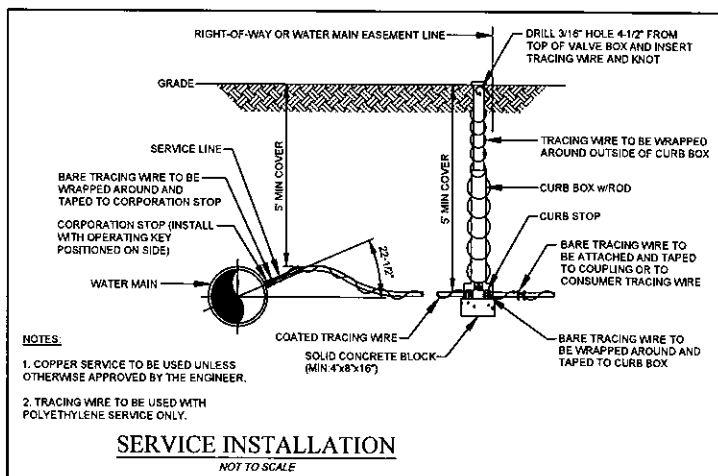
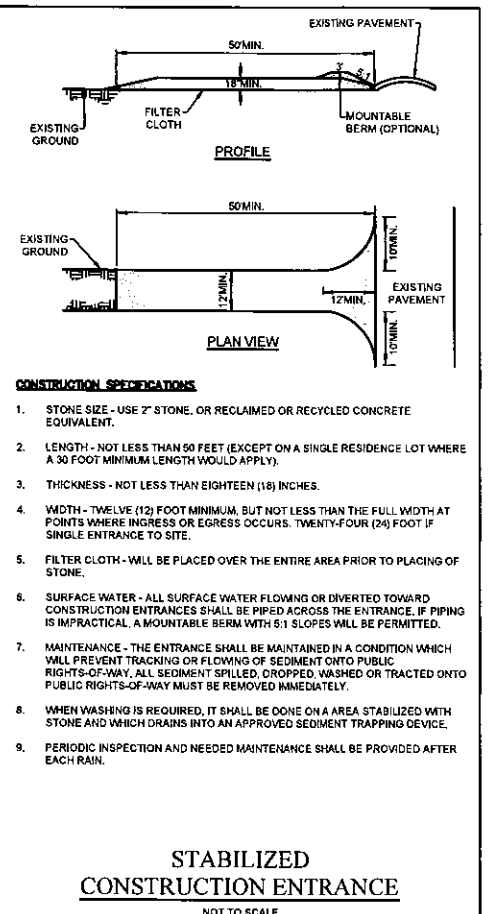
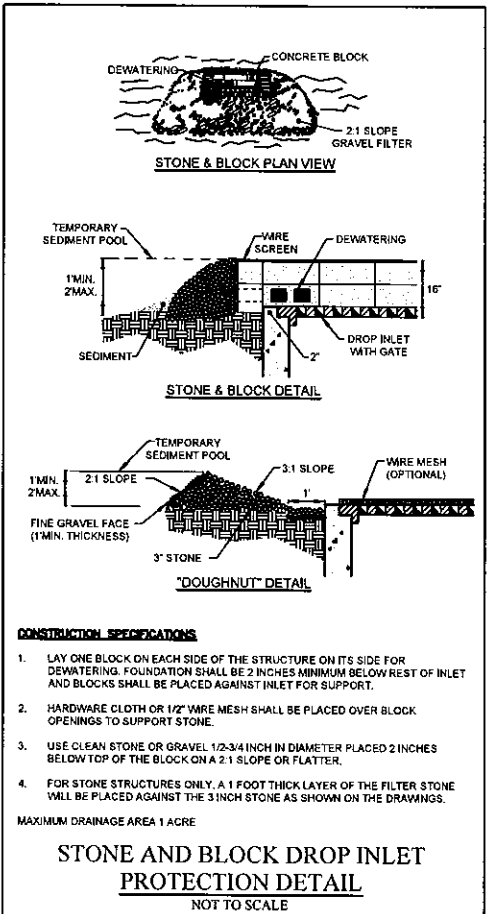
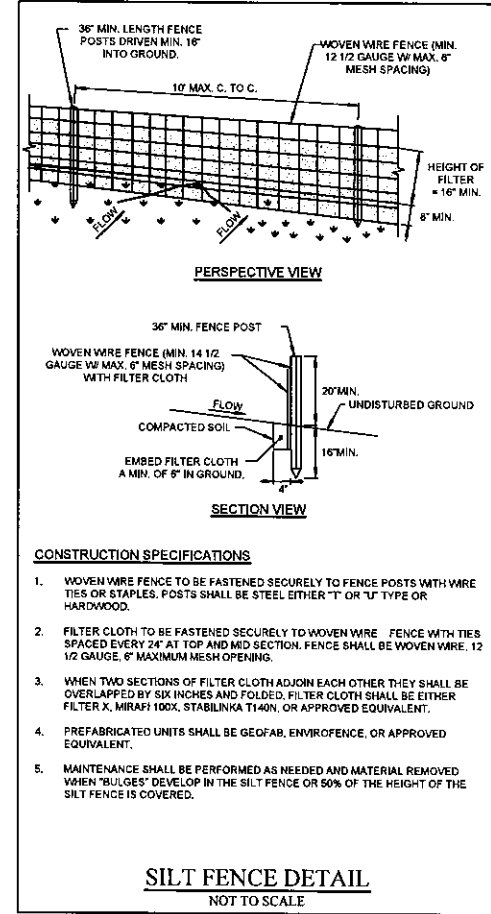
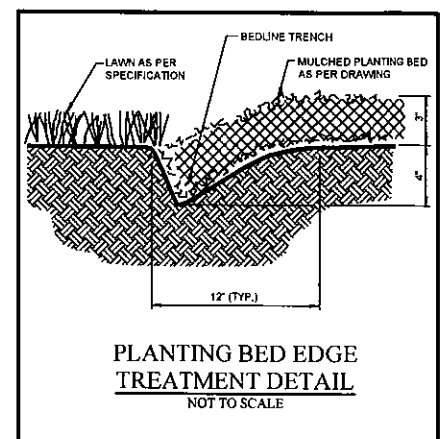
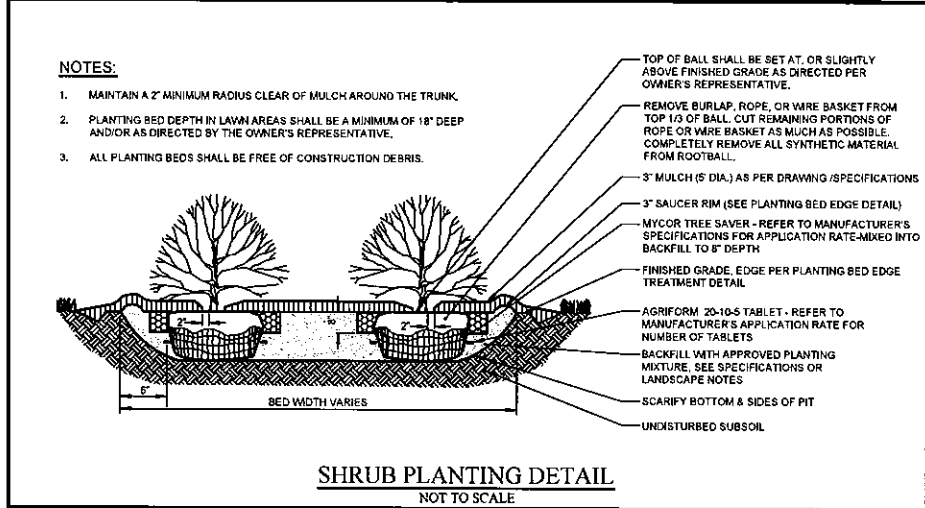
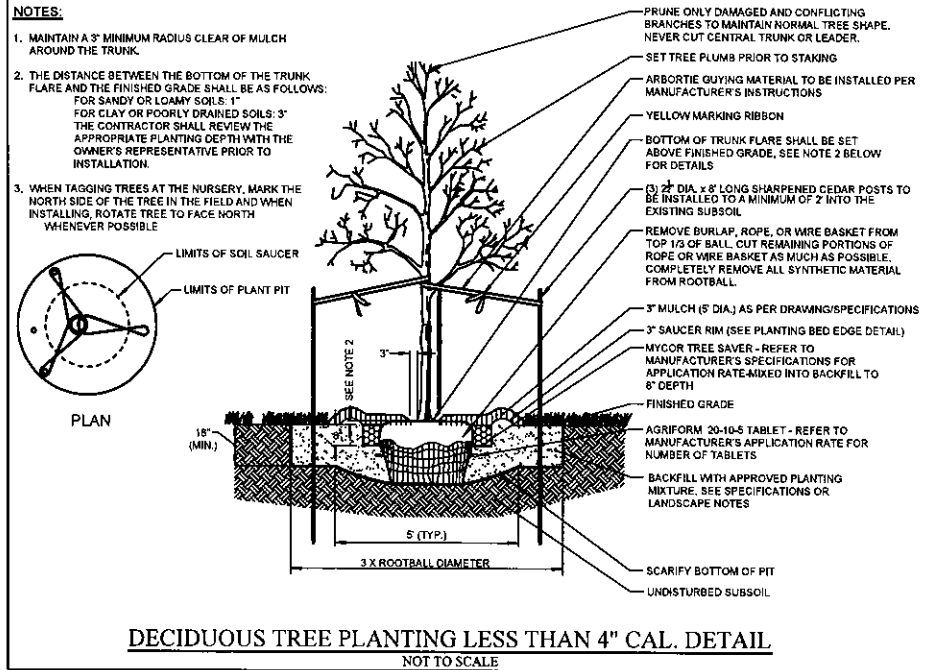
TITLE OF PROJECT
TAKE 5 OIL CHANGE
425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING
SITE DETAILS

LOCATION OF PROJECT
TAX PARCEL NO #1065-2-1-2
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
COUNTY OF GENESEE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD SUITE 140
OAKBROOK, ILLINOIS 60523

DWG # 9106
CA501
SHEET 8 OF 10



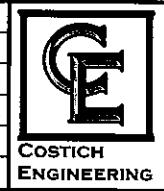
NO.	DATE	REVISION	BY	CHKD.	APVLD.

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PROJECT MANAGER
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DRAWN BY
W.T.A.
CHECKED BY OTHERS
BY OTHERS
TOPOGRAPHY BY OTHERS
DATE
06/30/2023
SCALE
N.T.S.



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE

217 LAKE AVENUE
ROCHESTER, NY 14618
585-458-3020

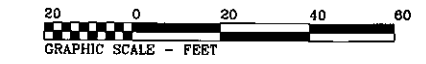
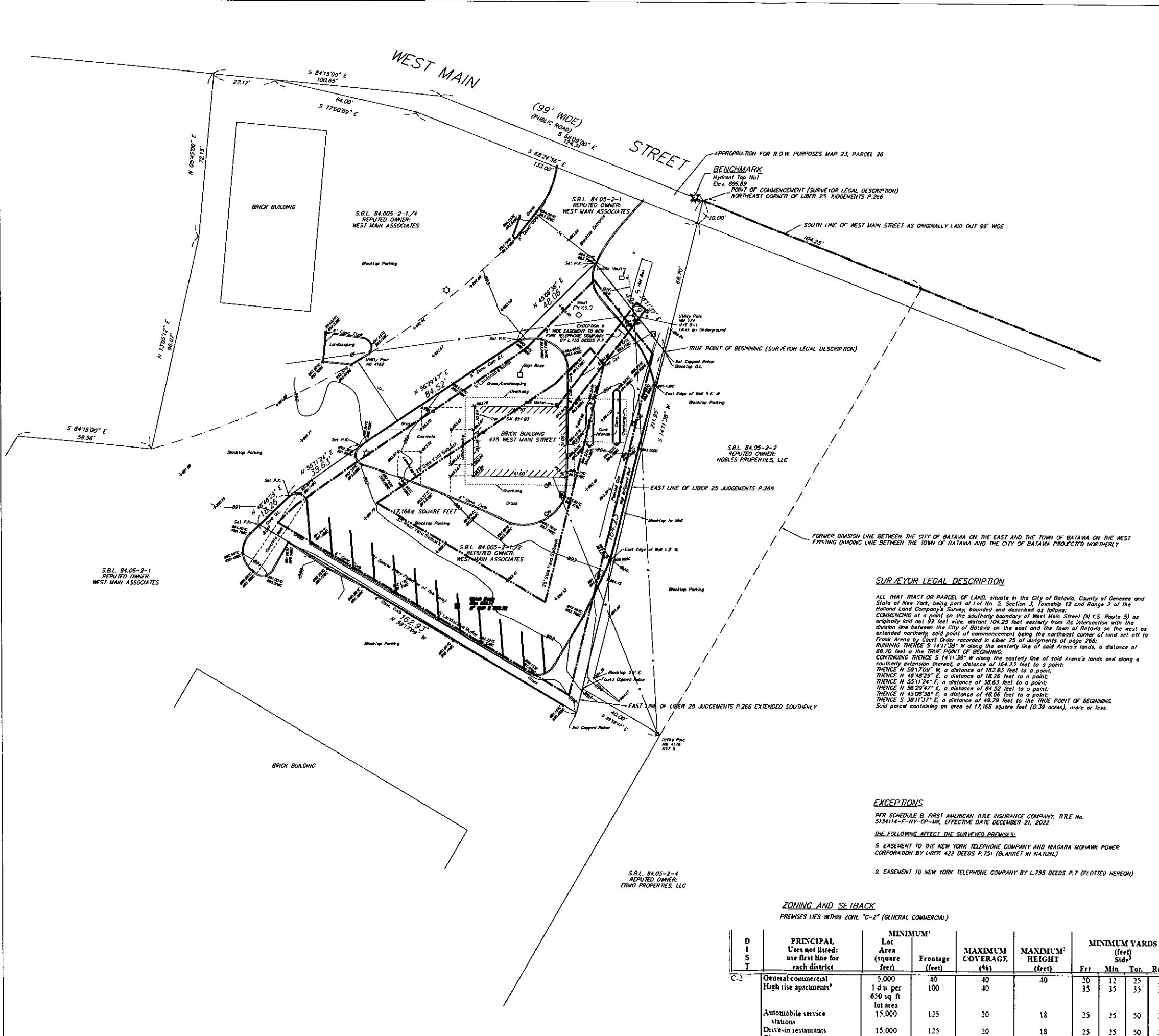
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TAKE 5 OIL CHANGE
425 W. MAIN STREET, BATAVIA, NY

TITLE OF DRAWING
SITE DETAILS

LOCATION OF PROJECT
TAX PARCEL NO. 84 005-2-1-2
TOWN LOT 5, TOWNSHIP 12, RANGE 2, SECTION 3,
COUNTY OF GENESSEE, STATE OF NEW YORK

CLIENT
QUATTRO DEVELOPMENT LLC
110 JORIE BLVD. SUITE 110
OAKBROOK, ILLINOIS 60453

DWG # 9106
CA502
SHEET 9 OF 10



- LEGEND**
- ⊗ UTILITY / SERVICE POLE
 - ⊠ WATER LINE VALVE
 - ⊕ FIRE HYDRANT
 - ⊞ D.I. (DROP INLET - STORM)
 - ⊙ MANHOLE (STORM)
 - ⊕ MANHOLE (ELECTRIC)
 - ⊙ MANHOLE (TRAFFIC)
 - ⊕ MANHOLE (SANITARY)
 - ⊙ MANHOLE (TELEPHONE)
 - ⊕ GAS LINE MARKER
 - ⊙ GAS LINE VALVE
 - ⊕ LIGHT STANDARD
 - ⊙ SIGN
 - H.C. HANDICAP
 - ⊙ CLEANOUT
 - ⊕ GAS METER
 - ⊕ ELECTRIC METER
 - ⊙ BOLLARD
 - R.O.W. RIGHT OF WAY
 - CONC. CONCRETE
 - INV. INVERT
 - M.H. MANHOLE
 - GAS LINE
 - WATER LINE
 - TELEPHONE LINE
 - ELECTRIC LINE
 - UTILITY LINES
 - CABLE LINES
 - D. DEED
 - M. MEASURED
 - L. LIBER
 - P. PAGE

NOTES:

FOR OVERALL BOUNDARY SURVEY, SEE JOB No. 20944_Outbounds, PERFORMED BY TRUE NORTH SURVEYING, PLLC DATED MARCH 10, 2023.

SURVEYED PREMISES LIES WITH FLOOD ZONE "C" (AREAS OF MINIMAL FLOODING), SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 360279 0001 B, EFFECTIVE DATE SEPTEMBER 16, 1992.

THERE EXISTS A TOTAL OF 11 PARKING SPACES (11 REGULAR, 0 HANDICAP)

AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AS OF THE DATE OF THIS SURVEY THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES.

AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THE PREMISES.

SURVEYED PREMISES HAS INDIRECT ACCESS TO WEST MAIN STREET, A DEDICATED PUBLIC RIGHT-OF-WAY, THROUGH PREMISES TO THE NORTHWEST.

ELEVATION DATUM

ELEVATIONS ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM: NAD83 (2011) EPOCH 2010.0 DATUM

SURVEYOR LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Batavia, County of Genesee and State of New York, being part of Lot No. 3, Section 3, Township 12 and Range 2 of the Holland Land Company's Survey bounded and described as follows: COMMENCING at a point on the southerly boundary of West Main Street (N.Y.S. Route 5) as originally laid out 59 feet wide, distant 104.25 feet westerly from its intersection with the division line between the City of Batavia on the east and the Town of Batavia on the west as extended northerly, said point of commencement being the northeast corner of land set off to Frank Arena by Court Order recorded in Liber 25 of Judgments at page 266; RUNNING THENCE S 14°11'38" W along the easterly line of said Arena's lands, a distance of 68.70 feet to the TRUE POINT OF BEGINNING; CONTINUING THENCE S 14°11'38" W along the westerly line of said Arena's lands and along a southerly extension thereof, a distance of 164.23 feet to a point; THENCE N 59°17'09" W a distance of 162.93 feet to a point; THENCE N 48°48'29" E a distance of 18.25 feet to a point; THENCE N 55°11'24" E a distance of 38.63 feet to a point; THENCE N 56°29'47" E a distance of 84.52 feet to a point; THENCE N 45°06'38" E a distance of 48.08 feet to a point; THENCE S 38°11'37" E a distance of 49.79 feet to the TRUE POINT OF BEGINNING. Said parcel containing an area of 17,166 square feet (0.39 acres), more or less.

EXCEPTIONS

PER SCHEDULE B, FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE No. 5134114-F-NY-CP-MK, EFFECTIVE DATE DECEMBER 21, 2022

THE FOLLOWING AFFECT THE SURVEYED PREMISES:

5. EASEMENT TO THE NEW YORK TELEPHONE COMPANY AND NIAGARA MOHAWK POWER CORPORATION BY LIBER 422 DEEDS P.751 (BLANKET IN NATURE)

9. EASEMENT TO NEW YORK TELEPHONE COMPANY BY L.755 DEEDS P.7 (PLOTTED HEREON)

SURVEYOR'S CERTIFICATION

To [to be determined] This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1,2,3,4,5,6(e),6(f),7(a),8,9,11(c),13,14,16,17 & 18 of Table A thereof. The field work was completed on 12-16-22.

Date of Plot or Map: 4-3-23

PRELIMINARY

Christopher J. Barr Registration No. 051068

ZONING AND SETBACK

PREMISES LIES WITHIN ZONE "C-2" (GENERAL COMMERCIAL)

D I S T	PRINCIPAL Uses not listed: use first line for each district	MINIMUM ¹		MAXIMUM COVERAGE (%)	MAXIMUM ¹ HEIGHT (feet)	MINIMUM YARDS (feet)			
		Lot Area (square feet)	Frontage (feet)			Front	Min	Tot.	Rear
C-2	General commercial High rise apartments ¹	5,000 1 d u per 650 sq ft lot area	40 100	40	40	20 35	12 35	25 35	35 35
	Automobile service stations	15,000	125	20	18	25	25	50	35
	Drive-in restaurants	15,000	125	20	18	25	25	50	35
	Cleaning establishments	5,000	40	40	40	20	12	25	35

REQUIREMENTS UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: PL L533 (2008) P.290

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.

NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY. NOTE: THIS SURVEY HAS BEEN PERFORMED UNDER SEVERE SNOW AND ICE CONDITIONS.

ALTA/NSPS LAND TITLE SURVEY

PART OF LOT 5 SECTION 3 TOWNSHIP 12 RANGE 2 OF THE
Holland Land Company's Survey - Genesee COUNTY, N.Y.

SURVEY OF: 425 West Main Street, City of Batavia

REGISTRATION NO. 051068

DATE: 12-16-22

SCALE: 1" = 20'

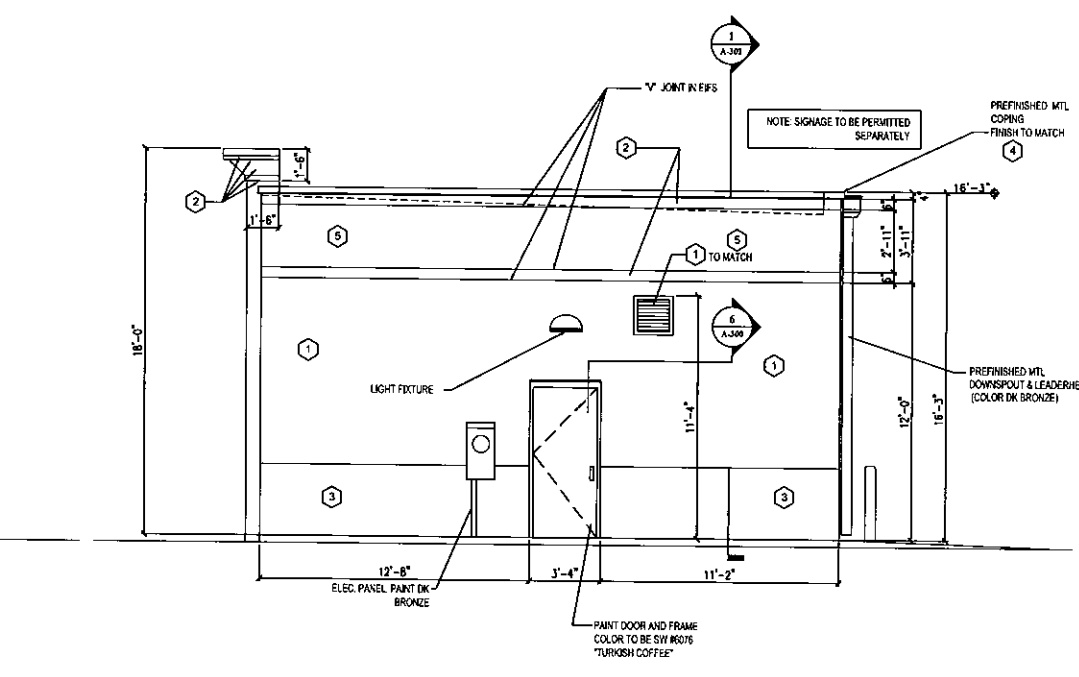
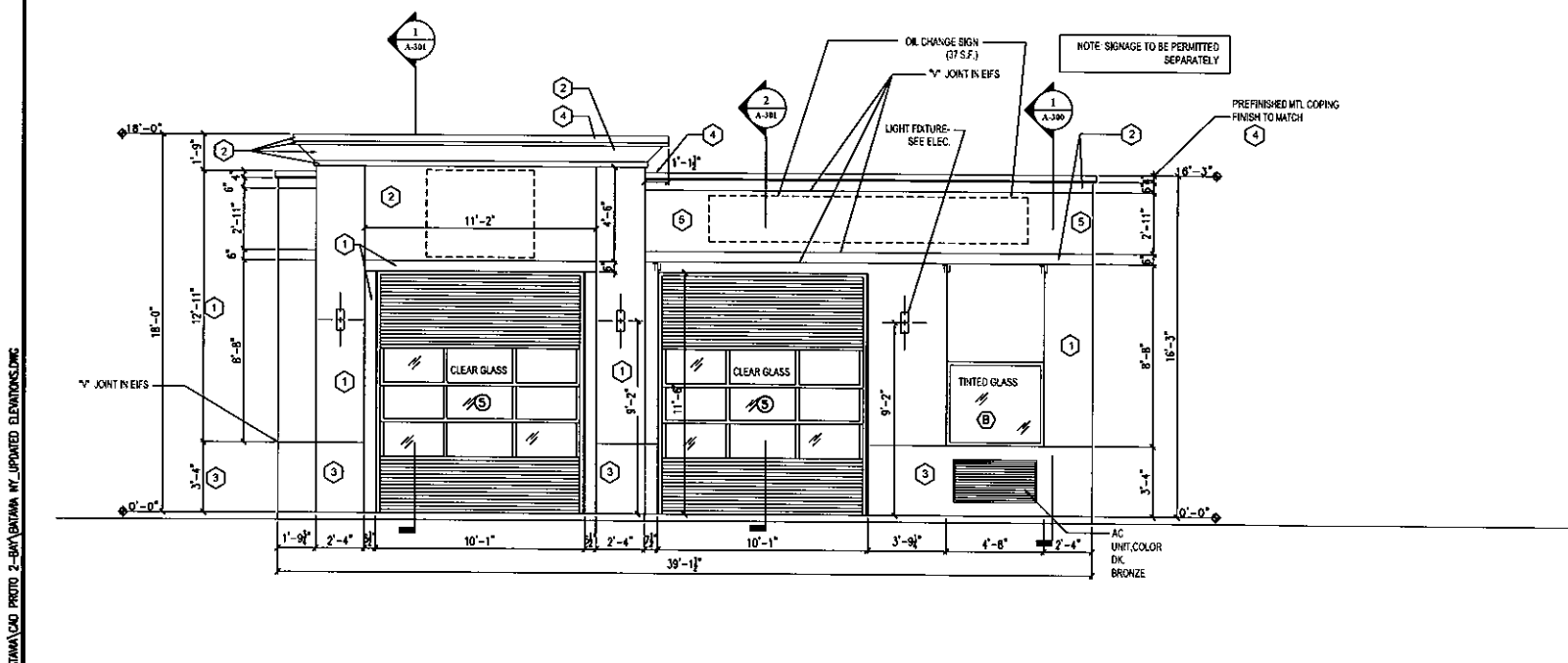
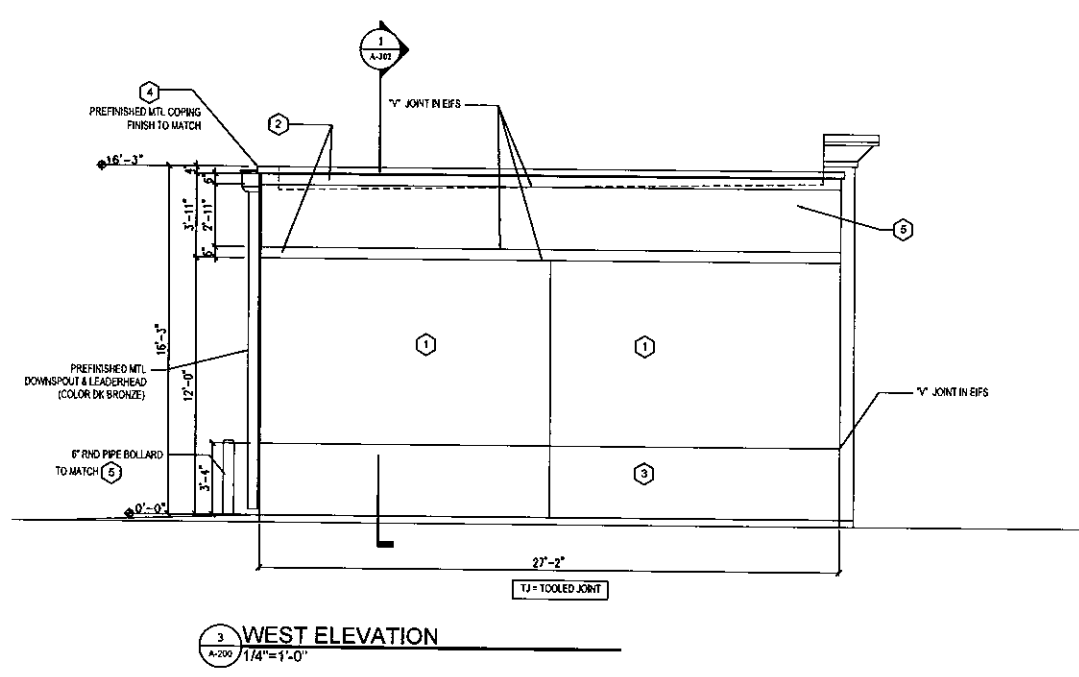
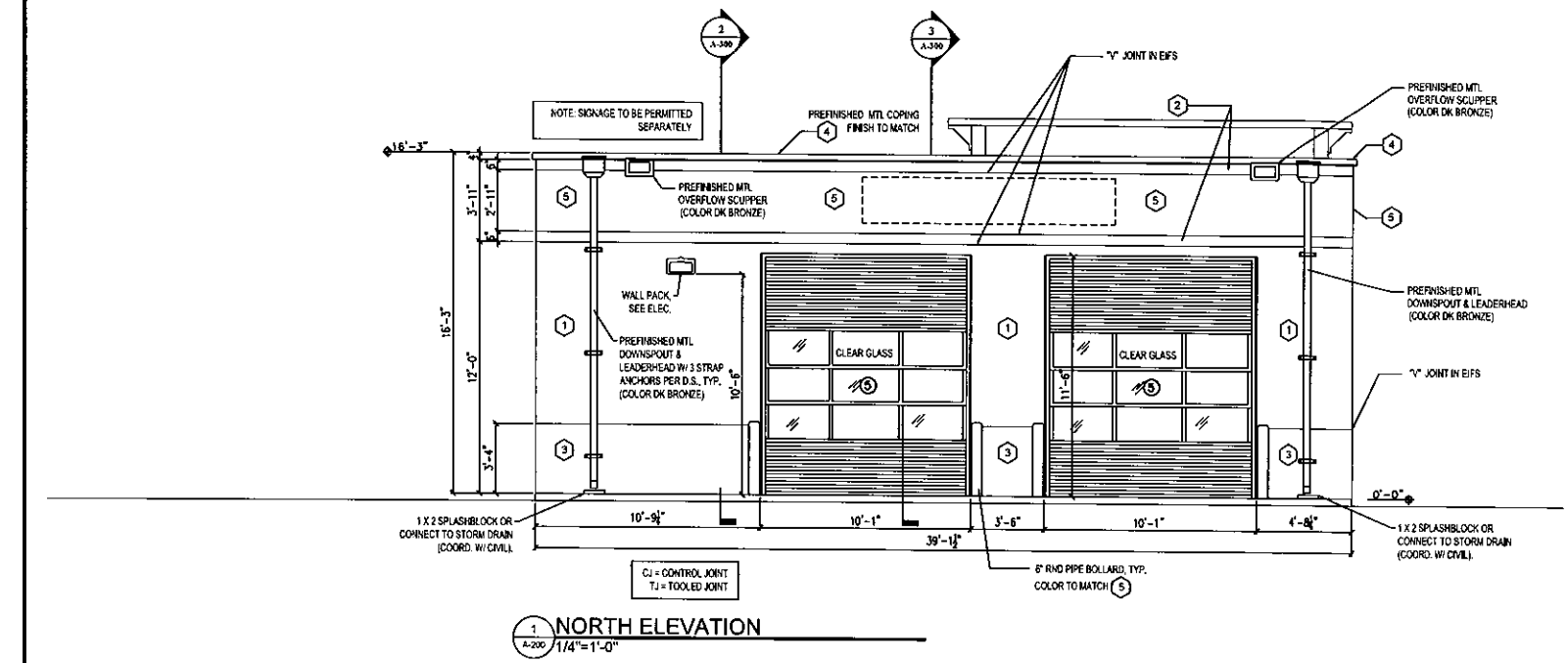
ALL RIGHTS RESERVED

REV.	DESCRIPTION

6-29-2023

ELEVATIONS

A-200

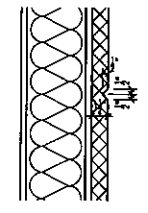


EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS OR STUCCO MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #7693, STONEBARR	FINISH TO MATCH STD "MEDIUM SAND" OR DRYVAT "SANDPEBBLE FINE"
2	EIFS OR STUCCO ACCENT BAND AND FACE EIFS OR STUCCO CORNICE	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #7678, COTTAGE CREAM	FINISH TO MATCH STD "FINE SAND" OR DRYVAT "SANDBLAST"
3	EIFS OR STUCCO WANSLOT	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #6097, STURDY BROWN	FINISH TO MATCH STD "MEDIUM SAND" OR DRYVAT "SANDPEBBLE"
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYMAR 500 PREFINISHED
5	EIFS OR STUCCO SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO MATCH STD "MEDIUM SAND" OR DRYVAT "SANDPEBBLE FINE"
6	TOWER PREFINISHED STANDING SEAM ROOF	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYMAR 500 PREFINISHED
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S REQUIREMENTS	MATCH SW COLOR #6871, POSITIVE RED	---

2 SOUTH ELEVATION
A-200 1/4"=1'-0"

4 EAST ELEVATION
A-200 1/4"=1'-0"

- EXTERIOR FINISH NOTES:**
- EIFS TO BE SIO THERM CI CLASSIC, DRYVAT OUTSULATION PLUS MD OR APPROVED EQUAL.
 - EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
 - EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF
 - EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
 - METAL ROOF TO BE ATAS DUTCH SEAM OR BERROCO MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
 - METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYMAR 500, 2.0 MILS THICK FLOURCARBON FINISH.
 - METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYMAR 500, 2.0 MILS THICK FLOURCARBON FINISH.



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