GENESEE COUNTY PLANNING BOARD REFERRALS
NOTICE OF FINAL ACTION

GCDP Referral ID	**C-02-BAT-06-24**
Review Date	**6/13/2024**
Municipality	**BATAVIA, C.**
Board Name	**CITY PLANNING AND DEVELOPMENT COMM.**
Applicant's Name	**Graham Corporation - Jeff Luker**
Referral Type	**Site Plan Review**
Variance(s)	**Area Variance(s)**
Description:	**Site Plan Review and Area Variance for a 30,000 sq. ft. (Approx. 250 x 116 ft.) new manufacturing building (i.e. Building 14) and associated site improvements at an existing industrial park complex.** **Building Height** **Maximum allowed: 40 ft.** **Existing: 55 ft.** **Proposed: 47 ft.**
Location	**20 Florence Ave., Batavia**
Zoning District	**Industrial (I-1) District**

PLANNING BOARD RECOMMENDS:

APPROVAL

EXPLANATION:

The proposed building should pose no significant county-wide or inter-community impacts. It is recommended that the City Planning & Development Committee forward the site plan to the City Fire Department for comments and to alert them of the presence of this building and its contents.

Felice A. Stilmar

Director

June 13, 2024

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department.

SEND OR DELIVER TO:
GENESEE COUNTY DEPARTMENT OF PLANNING
3837 West Main Street Road
Batavia, NY 14020-9404
Phone: (585) 815-7901

DEPARTMENT USE ONLY:
GCDP Referral # C-02-BAT-06-24

RECEIVED
Genesee County
Dept. of Planning
6/4/2024

* GENESEE COUNTY * PLANNING BOARD REFERRAL

Required According to:
GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N
(Please answer ALL questions as fully as possible)

1. REFERRING BOARD(S) INFORMATION

Board(s) PDC and ZBA
Address One Batavia City Centre
City, State, Zip Batavia, NY 14020
Phone (585) 345 - 6345 Ext.

2. APPLICANT INFORMATION

Name Jeff Luker
Address 20 Florence Ave
City, State, Zip Batavia, NY 14020
Phone (585) 343 - 2216 Ext. 4361 Email jluker@graham-mfg.com

MUNICIPALITY: ■ City ☐ Town ☐ Village of Batavia

3. TYPE OF REFERRAL: (Check all applicable items)

- ■ Area Variance
- ☐ Use Variance
- ☐ Special Use Permit
- ■ Site Plan Review
- ☐ Zoning Map Change
- ☐ Zoning Text Amendments
- ☐ Comprehensive Plan/Update
- ☐ Other:

Subdivision Proposal
- ☐ Preliminary
- ■ Final

4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:

A. Full Address 20 Florence Ave., Batavia, NY
B. Nearest intersecting road Harvester
C. Tax Map Parcel Number 84.016-1-15.1
D. Total area of the property 27.68 Acres Area of property to be disturbed 3.5 acres +/-
E. Present zoning district(s) I-1

5. REFERRAL CASE INFORMATION:

A. Has this referral been previously reviewed by the Genesee County Planning Board?

■ NO ☐ YES If yes, give date and action taken

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law
BMC 190-29 A and Schedule 1

C. Please describe the nature of this request Approval to construct a 30,000 sq.ft. manufacturing building on this industrial use complex property.

6. ENCLOSURES – Please enclose copy(s) of all appropriate items in regard to this referral

- ■ Local application
- ■ Site plan
- ☐ Subdivision plot plans
- ■ SEQR forms
- ☐ Zoning text/map amendments
- ■ Location map or tax maps
- ■ Elevation drawings
- ☐ Agricultural data statement
- ☐ New or updated comprehensive plan
- ■ Photos
- ■ Other: Cover letter

7. CONTACT INFORMATION of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345 - 6327 Ext.
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com

City of Batavia
Department of Public Works
Bureau of Inspections
One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning
Planning and Development Committee
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 6/3/24

Re: 20 Florence Ave. (Graham Corp.)
Tax Parcel No. 84.016-1-15.1

Zoning Use District: I-1

The applicant, Jeff Luker (Graham Corporation), has filed a Site Plan Review application, and area variance application. The project involves construction of a 30,000 sq.ft. manufacturing building in the southeast portion of this industrial use property.

Review and Approval Procedures:

County Planning Board- Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the right of way of a state road or highway.

City Planning and Development Committee- Pursuant to section 190-44 B (1) of the zoning ordinance, the Planning and Development Committee is authorized to conduct site plan reviews.

1) BMC 190-44 D (3) and (4) Site Plan Review criteria.

Zoning Board of Appeals- Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

1) BMC Sec. 190-29 A. and Schedule I

	Permitted	Proposed	Difference
Maximum height	**40'**	**47'**	**7'**

The Planning and Development Committee will be the lead agency to conduct SEQR.

CITY OF BATAVIA, NEW YORK **APPLICATION FOR A BUILDING PERMIT**

Application Date: 5-29-24

APPLICANT NAME JOSHUA HENDERSON **PHONE** 716-697-4259

APPLICANT MAILING ADDRESS 2760 KENMORE AVE, BUFFALO NY 14150

APPLICANT EMAIL JHENDERSON@MONTANTE.COM

Project Location and Information

Address of Project: 20 FLORENCE AVE, BATAVIA NY 14020

Owner: GRAHAM ENGINEERING Phone: 585-343-2216

Owners Mailing Address: 20 FLORENCE AVE BATAVIA NY 14020

Project Type/Describe Work **Estimated cost of work:** ~~$~~ $6,500,000 ~~6.5~~ MIL

Describe project: NEW BUILD 30,000 SQFT MANUFACTURING WAREHOUSE

Contractor Information – **Insurance certificates (liability & worker comp) required to be on file in our office before issuance of any permit.** _____ **Liability** _____**Workers Comp**

GENERAL

Name & Address: MONTANTE CONSTRUCTION 2760 KENMORE AVE BUFFALO NY 14150

Phone: 716-876-8899

PLUMBING **(City of Batavia Licensed Plumber Required)**

Name & Address: _____

Phone: _____

HEATING

Name & Address: MJ MECHANICAL 95 PIRSON PKWY, TONAWANDA NY 14150

Phone: 716-550-9493

ELECTRICAL **(Third Party Electrical Inspection Required)**

Name & Address: ~~E~~ TBD

Phone: _____

FOR OFFICE USE ONLY

Zoning District:_____ Flood Zone:_____ Corner Lot:_____ Historic District/Landmark:_____

Zoning Review:_____ Variance Required:_____ Site Plan Review:_____ Other:_____

National Grid Sign Off (Pools):_____ Lot Size:_____

Parcel ID No. 84.16-1-15.1, 84.16-1-23, and 84.16-1-25

City of Batavia
Bureau of Inspections

One Batavia City Centre
Batavia, NY 14020
585-345-6345

PAID
JUN - 3 2024
CITY OF BATAVIA
CLERK-TREASURER

Site Plan Review Application

Property Address 20 Florence Avenue, Batavia, NY 14020 **Application date** 5/30/2024

Owner: Graham Corporation - Jeff Luker JLuker@graham-mfg.com
Name E-mail address

20 Florence Avenue	Batavia	14020	(585) 343-2216 x4361
Mailing Address	City	Zip Code	Phone No.

Describe request:
We are proposing the construction of a new 29,000 SF industrial building (Building 14) within Graham Corporation's industrial property. This project will include demolition of an existing parking lot as well as new stormwater management facilities and associated utilities. Stormwater management facilities will be designed and constructed to manage and treat runoff from future additions to this structure (Buildings 15 and 16). There are no anticipated dates of construction for Buildings 15 and 16. These are being considered for planning purposes only.

Attachments must include the following:

- Completed building permit application
- Appropriate SEQRA documents
- 7- 11" x 17" copies of the site plan with a scale not to exceed 1 in. equals 50 ft. The site plan shall include the items listed in BMC190-44 D (2)(a-j)
- Color elevation renderings
- Site Plan Review Fee of $250.

The Planning and Development Committee (PDC) will review applications for compliance with Batavia Municipal Code 190-44.

The review process may involve a "Sketch Plan Review". This is an optional, preliminary meeting, that provides an opportunity for the applicant to receive direction and guidance from the PDC prior to final submission. This process is especially encouraged for larger projects.

Applicant (if not the owner): Graham Corporation – Jeff Luker JLuker@graham-mfg.com
Name E-mail address

20 Florence Avenue	Batavia	14020	(585) 343-2216 x4361
Mailing address	City	Zip Code	Phone No.

Signature: _____ Date: 28-May-2024

6/3/24

CITY OF BATAVIA
APPLICATION TO THE ZONING BOARD OF APPEALS

Application No.: _____
Hearing Date/Time: _____

APPLICANT: Graham Corporation - Jeff Luker — Jluker@graham-mfg.com
Name — E-Mail Address
20 Florence Avenue — (585) 343 - 2216
Street Address — Phone — Fax
Batavia — NY — 14020
City — State — Zip

STATUS: X Owner ___ Agent for Owner ___ Contractor

OWNER: Graham Corporation - Jeff Luker — Jluker@graham-mfg.com
Name — E-Mail Address
20 Florence Avenue — (585) 343 - 2216
Street Address — Phone — Fax
Batavia — NY — 14020
City — State — Zip

LOCATION OF PROPERTY: 20 Florence Avenue, Batavia, NY 14020

DETAILED DESCRIPTION OF REQUEST:
We are requesting a height variance of 55' for the proposed Building.

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Jeff Luker — 28 - May - 2024
Applicant's Signature — **Date**

_____ _____
Owner's Signature — **Date**

To be Filled out by Zoning Officer

TAX PARCEL: 84.016-1-15.1 **ZONING DISTRICT:** I-1 **FLOOD PLAIN:** C

TYPE OF APPEAL:
- ✓ Area Variance
- ___ Use Variance
- ___ Interpretation
- ___ Decision of Planning Committee

FEE:
- ___ $50 (One or Two Family Use)
- ✓ $100 (All other Uses)

Provision(s) of the Zoning Ordinance Appealed: BMC 190-29 A and Schedule I
The maximum height of Bldgs in the I-1 dist. may not exceed 40'.

Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain **how** the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.
The proposed building will be within an existing industrial property and will have a use consistent with surrounding buildings. The height of the proposed building will also be similar to surrounding structures. The elevation of the proposed building is lower relative to surrounding structures which will create screening of the proposed building by trees and other structures.
2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance.
The 55' building height is required to allow the proposed manufacturing processes to take place. A lower building height would prevent the proposed processes from taking place.
3. **Substantiality.** The requested area variance is not substantial.
The requested variance is not substantial, and will only surpass the height limit by 15', including rooftop equipment.
4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.
The proposed building requiring a variance will be consistent with the character of the surrounding area and buildings. The proposed use is consistent with the surrounding facilities.
5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.
Setting the building height above the maximum listed in the zoning code has been done to allow Graham Corporation to continue to serve their clients. This building will be used for the construction of equipment for the US government. The proposed manufacturing process would not be able to take place without the requested height variance.

Applicant's Signature

28-May-2024
Date

CPL
ARCHITECTURE
ENGINEERING
PLANNING
CPLteam.com

MEMORANDUM

TO: Douglas Randall – City of Batavia

FROM: Thomas Bock, P.E. - CPL

DATE: June 4, 2024

RE: Graham Corporation Building 14 – Parking Requirements

The existing number of parking spaces within Graham Corporation's facility meets the minimum number of parking spaces required by the City of Batavia's zoning code, including spaces required for the proposed Building 14. After the construction of Building 14, 309 parking spaces will remain on site. Based on the current uses, the parking calculation is subject to two parameters:

- Manufacturing = 1 space for every 2 employees, plus 1 space for each company vehicle.
- Office = 1 space for every 300 SF of office floor area.

After the construction of Building 14, the employee count, company vehicle count, office floor area and associated number of required parking spaces will include:

- 209 manufacturing employees @ 1 space for every 2 employees = **105 required parking spaces**
- 0 company vehicles @ 1 space for each company vehicle = **0 required parking spaces**
- 57,000 SF of office space @ 1 space for every 300 SF of office floor area = **190 required parking spaces**

Total required parking spaces = 295 spaces

Provided number of parking spaces = 309 spaces

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Graham Corporation Building 14		
Project Location (describe, and attach a general location map): 20 Florence Avenue, Batavia, NY 14020		
Brief Description of Proposed Action (include purpose or need): Graham Corporation proposes to construct a new building, building 14, which will be approximately 29,000 square feet and be located within their existing industrial property. The project will include the demolition of an existing parking lot where the building will be located, associated driveways, utilities, and stormwater management facilities.		
Name of Applicant/Sponsor: Graham Corporation	Telephone: (585) 343-2216 E-Mail: JLuker@graham-mfg.com	
Address: 20 Florence Avenue		
City/PO: Batavia	State: NY	Zip Code: 14020
Project Contact (if not same as sponsor; give name and title/role): Jeff Luker	Telephone: (585) 343-2216 x4361 E-Mail: JLuker@graham-mfg.com	
Address: 20 Florence Avenue		
City/PO: Batavia	State: NY	Zip Code: 14020
Property Owner (if not same as sponsor):	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees ☐Yes☑No		
b. City, Town or Village Planning Board or Commission ☑Yes☐No	City of Batavia Planning Board	May 2024
c. City, Town or Village Zoning Board of Appeals ☑Yes☐No	City of Batavia Zoning Board of Appeals	May 2024
d. Other local agencies ☐Yes☑No		
e. County agencies ☑Yes☐No	Genessee County Planning Board	May 2024
f. Regional agencies ☐Yes☑No		
g. State agencies ☑Yes☐No	NYSDEC-SWPPP	May 2024
h. Federal agencies ☐Yes☑No		

i. Coastal Resources.
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐Yes☑No

ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐Yes☑No
iii. Is the project site within a Coastal Erosion Hazard Area? ☐Yes☑No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes☑No

- **If Yes,** complete sections C, F and G.
- **If No,** proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☑Yes☐No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☑Yes☐No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes☑No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes☑No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☑ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Industrial

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☑ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☑ No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Batavia City School District

b. What police or other public protection forces serve the project site?
Batavia Police Department

c. Which fire protection and emergency medical services serve the project site?
Batavia Fire Department

d. What parks serve the project site?
DeWitt Recreation Area, Lions Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Industrial

b. a. Total acreage of the site of the proposed action? 27.68 acres
b. Total acreage to be physically disturbed? ±3.5 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 27.68 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☑ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☑ No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☑ No
i. If No, anticipated period of construction: 12 months
ii. If Yes:
- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? ☐Yes ☑No

If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase				
At completion of all phases				

g. Does the proposed action include new non-residential construction (including expansions)? ☑Yes ☐No

If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 47 height; 116 width; and 250 length

iii. Approximate extent of building space to be heated or cooled: 29,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☑Yes ☐No

If Yes,

i. Purpose of the impoundment: Stormwater Treatment and Storage

ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☑Other specify: Stormwater

iii. If other than water, identify the type of impounded/contained liquids and their source.
N/A

iv. Approximate size of the proposed impoundment. Volume: 0.7 million gallons; surface area: 0.57 acres

v. Dimensions of the proposed dam or impounding structure: 4 height; 250 length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):
Earth fill

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) ☐Yes ☑No

If Yes:

i. What is the purpose of the excavation or dredging?

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards):
- Over what duration of time?

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? ☐Yes ☐No
If yes, describe.

v. What is the total area to be dredged or excavated? acres

vi. What is the maximum area to be worked at any one time? acres

vii. What would be the maximum depth of excavation or dredging? feet

viii. Will the excavation require blasting? ☐Yes ☐No

ix. Summarize site reclamation goals and plan:

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐Yes ☑No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description):

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐Yes ☐No
If Yes, describe:

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐Yes ☐No
If Yes:

- acres of aquatic vegetation proposed to be removed:
- expected acreage of aquatic vegetation remaining after project completion:
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):
- proposed method of plant removal:
- if chemical/herbicide treatment will be used, specify product(s):

v. Describe any proposed reclamation/mitigation following disturbance:

c. Will the proposed action use, or create a new demand for water? ☑Yes ☐No
If Yes:

i. Total anticipated water usage/demand per day: 1,597 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☑Yes ☐No
If Yes:

- Name of district or service area: City of Batavia
- Does the existing public water supply have capacity to serve the proposal? ☑Yes ☐No
- Is the project site in the existing district? ☑Yes ☐No
- Is expansion of the district needed? ☐Yes ☑No
- Do existing lines serve the project site? ☑Yes ☐No

iii. Will line extension within an existing district be necessary to supply the project? ☐Yes ☑No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project:
- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☑No
If, Yes:

- Applicant/sponsor for new district:
- Date application submitted or anticipated:
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☑Yes ☐No
If Yes:

i. Total anticipated liquid waste generation per day: 1,597 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):
Sanitary Wastewater, Flush Tank, parts cleaner

iii. Will the proposed action use any existing public wastewater treatment facilities? ☑Yes ☐No
If Yes:

- Name of wastewater treatment plant to be used: Batavia Wastewater Treatment Plant
- Name of district: City of Batavia
- Does the existing wastewater treatment plant have capacity to serve the project? ☑Yes ☐No
- Is the project site in the existing district? ☑Yes ☐No
- Is expansion of the district needed? ☐Yes ☑No

- Do existing sewer lines serve the project site? ☑Yes ☐No
- Will a line extension within an existing district be necessary to serve the project? ☐Yes ☑No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐Yes ☑No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☑Yes ☐No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or 2.7 acres (impervious surface)

_____ Square feet or 27.68 acres (parcel size)

ii. Describe types of new point sources. Building and driveways

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On-site stormwater management facilities

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? ☐Yes ☑No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐Yes ☑No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☑Yes ☐No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

General construction equipment during construction operations

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐Yes ☑No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐Yes ☐No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____Tons/year (short tons) of Carbon Dioxide (CO_2)
- _____Tons/year (short tons) of Nitrous Oxide (N_2O)
- _____Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____Tons/year (short tons) of Sulfur Hexafluoride (SF_6)
- _____Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)
- _____Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐Yes ☑No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐Yes ☑No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐Yes ☑No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐Yes ☐No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐Yes ☐No

vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐Yes ☐No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐Yes ☐No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☑Yes ☐No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: 930,000 KWH

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): National Grid

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐Yes ☑No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: 6am - 5pm
- Saturday: N/A
- Sunday: N/A
- Holidays: N/A

ii. During Operations:

- Monday - Friday: 7am-3:30pm & 4pm-2:30am
- Saturday: N/A
- Sunday: N/A
- Holidays: N/A

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☑ Yes ☐ No

If yes:

i. Provide details including sources, time of day and duration:

General noise and disturbances from construction vehicles during construction operations; 7am-5pm

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☑ No

Describe: _____

n. Will the proposed action have outdoor lighting? ☑ Yes ☐ No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

Lighting on exterior of building

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☑ No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☑ Yes ☐ No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

General odors from construction vehicles during construction operations; 7am-5pm

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☑ No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☑ No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☑ No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☑ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	16.50	18.40	+1.9
• Forested	5.43	5.43	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: Grass Lawn	5.75	3.85	-1.9

c. Is the project site presently used by members of the community for public recreation? ☐Yes☑No

i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐Yes☑No

If Yes,

i. Identify Facilities:

_____

_____

e. Does the project site contain an existing dam? ☐Yes☑No

If Yes:

i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____

iii. Provide date and summarize results of last inspection:

_____

_____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐Yes☑No

If Yes:

i. Has the facility been formally closed? ☐Yes☐ No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

_____

_____

iii. Describe any development constraints due to the prior solid waste activities: _____

_____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐Yes☑No

If Yes:

i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

_____

_____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☑Yes☐ No

If Yes:

i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☑Yes☐No

☑ Yes – Spills Incidents database — Provide DEC ID number(s): 920530, 0001811, 0404276

☐ Yes – Environmental Site Remediation database — Provide DEC ID number(s): _____

☐ Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures: _____

_____

_____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☑Yes☐No

If yes, provide DEC ID number(s): 819008, V00677, C819022

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

920530, 0001811, & 0404276 - Listed as closed 819008 & V00677 - Listed as "N", No further action at this time

C819022 - Listed as "A", Active and is located on the North side of E Main Street (22-40 Clinton Street)

v. Is the project site subject to an institutional control limiting property uses? ☐Yes ☑No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐Yes ☐No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? >6.5 feet

b. Are there bedrock outcroppings on the project site? ☐Yes ☑No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: PhB - Palmyra Gravelly Loam 100 %
_____ %
_____ %

d. What is the average depth to the water table on the project site? Average: >6.5 feet

e. Drainage status of project site soils: ☑ Well Drained: 100 % of site
☐ Moderately Well Drained: _____ % of site
☐ Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: ☑ 0-10%: 100 % of site
☐ 10-15%: _____ % of site
☐ 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? ☐Yes ☑No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☐Yes ☑No

ii. Do any wetlands or other waterbodies adjoin the project site? ☐Yes ☑No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☐Yes ☑No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐Yes ☑No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐Yes ☑No

j. Is the project site in the 100-year Floodplain? ☐Yes ☑No

k. Is the project site in the 500-year Floodplain? ☐Yes ☑No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☑Yes ☐No
If Yes:

i. Name of aquifer: Principal Aquifer, Primary Aquifer

m. Identify the predominant wildlife species that occupy or use the project site:
Various Birds | Rodents, Squirrels, Other small animals

n. Does the project site contain a designated significant natural community? ☐Yes ☑No
If Yes:
i. Describe the habitat/community (composition, function, and basis for designation):
ii. Source(s) of description or evaluation:
iii. Extent of community/habitat:
- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐Yes ☑No
If Yes:
i. Species and listing (endangered or threatened):

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐Yes ☑No
If Yes:
i. Species and listing:

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐Yes ☑No
If yes, give a brief description of how the proposed action may affect that use:

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐Yes ☑No
If Yes, provide county plus district name/number:

b. Are agricultural lands consisting of highly productive soils present? ☐Yes ☑No
i. If Yes: acreage(s) on project site?
ii. Source(s) of soil rating(s):

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐Yes ☑No
If Yes:
i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent:

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐Yes ☑No
If Yes:
i. CEA name:
ii. Basis for designation:
iii. Designating agency and date:

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☑ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based:

_____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☑ Yes ☐ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☑ No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☑ No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☑ No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jeffrey D. Luker Date May 28, 2024

Signature _____ Title Manufacturing Facilities Engineering Manager

PRINT FORM

EAF Mapper Summary Report

Wednesday, April 17, 2024 9:35 AM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	819008, V00677, C819022
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Plotted By: Simon Luc
Date last plotted: 6/4/2024 9:00 AM
Date last accessed: 6/4/2024 9:00 AM

GRAHAM CORPORATION
BUILDING 14

SITE PLAN SUBMISSION

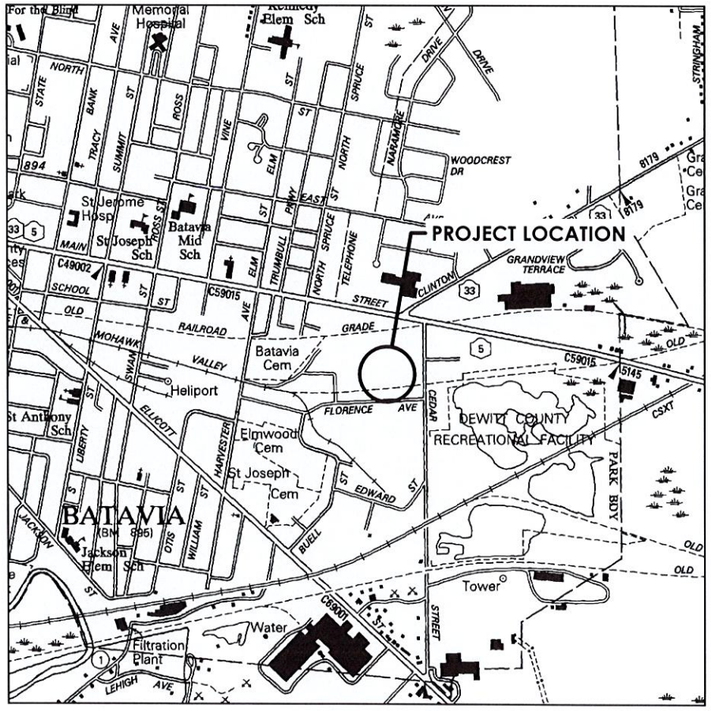
MAY 2024

CITY OF BATAVIA
GENESEE COUNTY, NEW YORK

CODE ENFORCEMENT OFFICER
DOUG RANDALL

PLANNING & DEVELOPMENT COMMITTEE
DUANE PRESTON
EDWARD FLYNN
JIM KRENCIK
JOHN OGNIBENE
DAVID BEATTY

ZONING BOARD OF APPEALS
PAUL McCARTHY
JIM RUSSELL
NICK HARRIS
LESLIE MOMA
JEFF GILLARD



LOCATION PLAN
SCALE: 1" = 2,000'

Sheet List Table

Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING SITE PLAN
C101	DEMOLITION PLAN
C200	PROPOSED SITE PLAN
C201	PROPOSED GRADING PLAN
C202	PROPOSED UTILITY PLAN
C203	EROSION AND SEDIMENT CONTROL PLAN
C300	GENERAL NOTES AND LEGEND
C301	EROSION CONTROL NOTES
C302	CONSTRUCTION DETAILS
C303	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L600	LANDSCAPE DETAILS
A201	COLOR EXTERIOR ELEVATIONS
A202	PERSPECTIVES

CPL | Architecture Engineering Planning
255 Woodcliff Drive, Suite 200
Fairport, NY 14450
CPLteam.com
NY ENGINEERING FIRM CERTIFICATE #018330

PROJECT INFORMATION

Project Number
R24.15917.00

Client Name
GRAHAM CORPORATION

Project Name
BUILDING 14

Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	AS NOTED
Drawn By	Checked By
MN	TRB

Drawing Title
COVER SHEET

Drawing Number
C
000

Sheet size: 11x17
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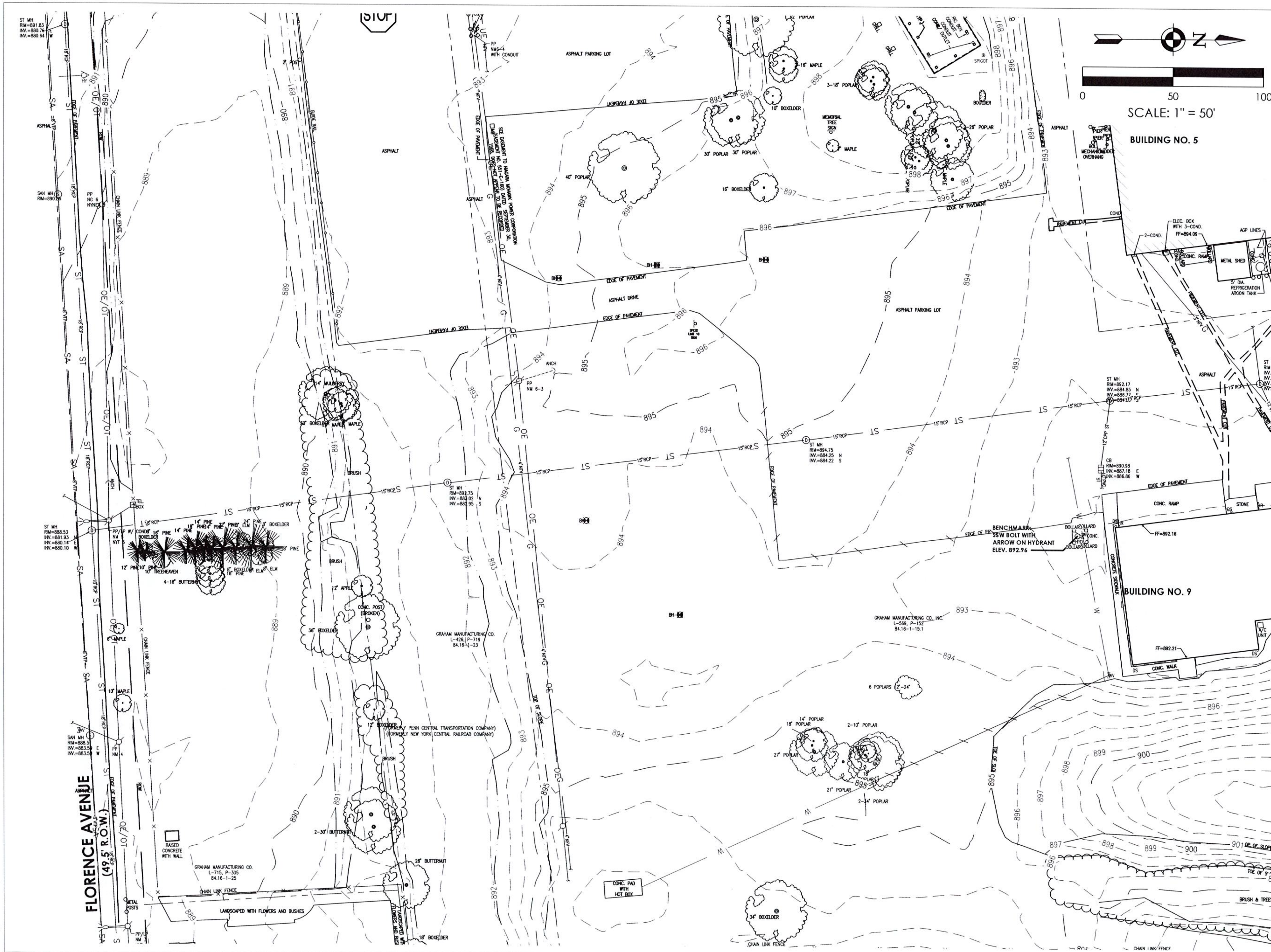

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PROJECT INFORMATION

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Client Name
GRAHAM CORPORATION

Project Name
BUILDING 14

Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	1" = 50'
Drawn By	Checked By
TRB	TRB

Drawing Title
EXISTING SITE PLAN

Drawing Number
C
100

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Drawing Name: S:\Projects\Graham Corp\Expansion Site Plan\D Design\ACAD\Civil\Site\11x17 Plans\GRCO_R24.15917.00_SU_v (11x17).dwg
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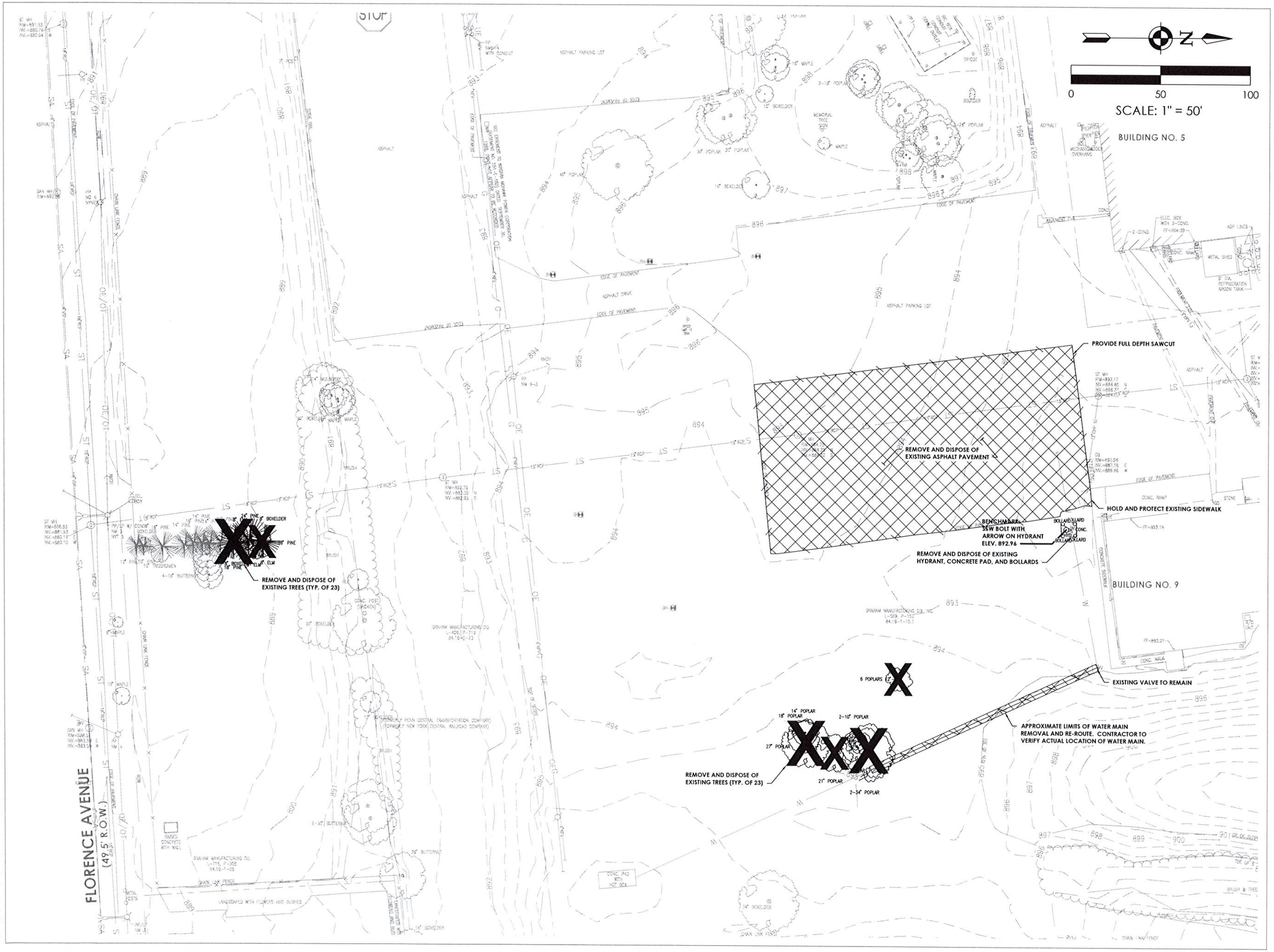
Date last plotted: 5/30/2024 7:29 AM
Plotted By: Simon Luc



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BUILDING 14

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20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	1" = 50'
Drawn By	Checked By
TRB	TRB

Drawing Title

DEMOLITION PLAN

Drawing Number

C
101

Plotted By: Simon Luc
Date last plotted: 5/30/2024 7:29 AM
Date last accessed: 5/29/2024 8:54 PM
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Drawing Name: S:\Projects\Graham Corp\Expansion Site Plan\D Design\ACAD\Civil\Site\11x17 Plans\GRCO_R24.15917.00_SU_v (11x17).dwg

BULK REGULATIONS TABLE		
ZONE: INDUSTRIAL (I-1)	REQUIRED	PROVIDED
MINIMUM LOT AREA (SF)	15,000	1,205,741
MINIMUM LOT FRONTAGE (SF)	125	263
MAXIMUM LOT COVERAGE (%)	80 (TOTAL) 40 (BUILDINGS) 40 (PARKING/DRIVEWAYS)	65.4 (TOTAL)
MAXIMUM BUILDING HEIGHT (FT)	40	55
FRONT SETBACK (FT)	50	328
SIDE SETBACK (FT)	15	48
REAR SETBACK (FT)	35	1,025
PARKING SPACES	296	309

PARKING CALCULATION

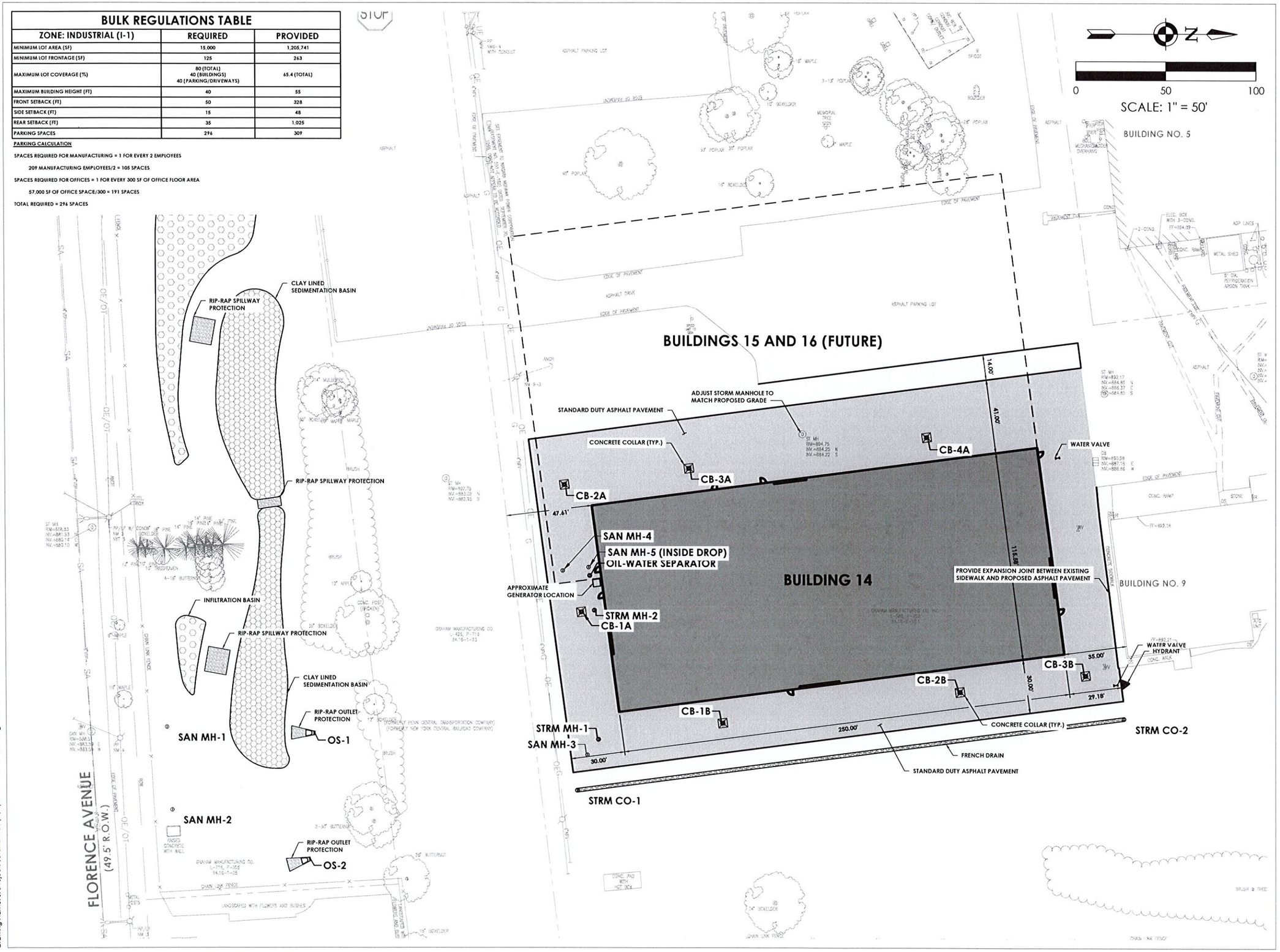
SPACES REQUIRED FOR MANUFACTURING = 1 FOR EVERY 2 EMPLOYEES

209 MANUFACTURING EMPLOYEES/2 = 105 SPACES

SPACES REQUIRED FOR OFFICES = 1 FOR EVERY 300 SF OF OFFICE FLOOR AREA

57,000 SF OF OFFICE SPACE/300 = 191 SPACES

TOTAL REQUIRED = 296 SPACES



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NY ENGINEERING FIRM CERTIFICATE #018330

PROJECT INFORMATION

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R24.15917.00

Client Name
GRAHAM CORPORATION

Project Name
BUILDING 14

Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	1" = 50'
Drawn By	Checked By
TRB	TRB

Drawing Title
PROPOSED SITE PLAN

Drawing Number
C
200

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Date last plotted: 5/30/2024 7:29 AM
Date last accessed: 5/29/2024 8:59 PM
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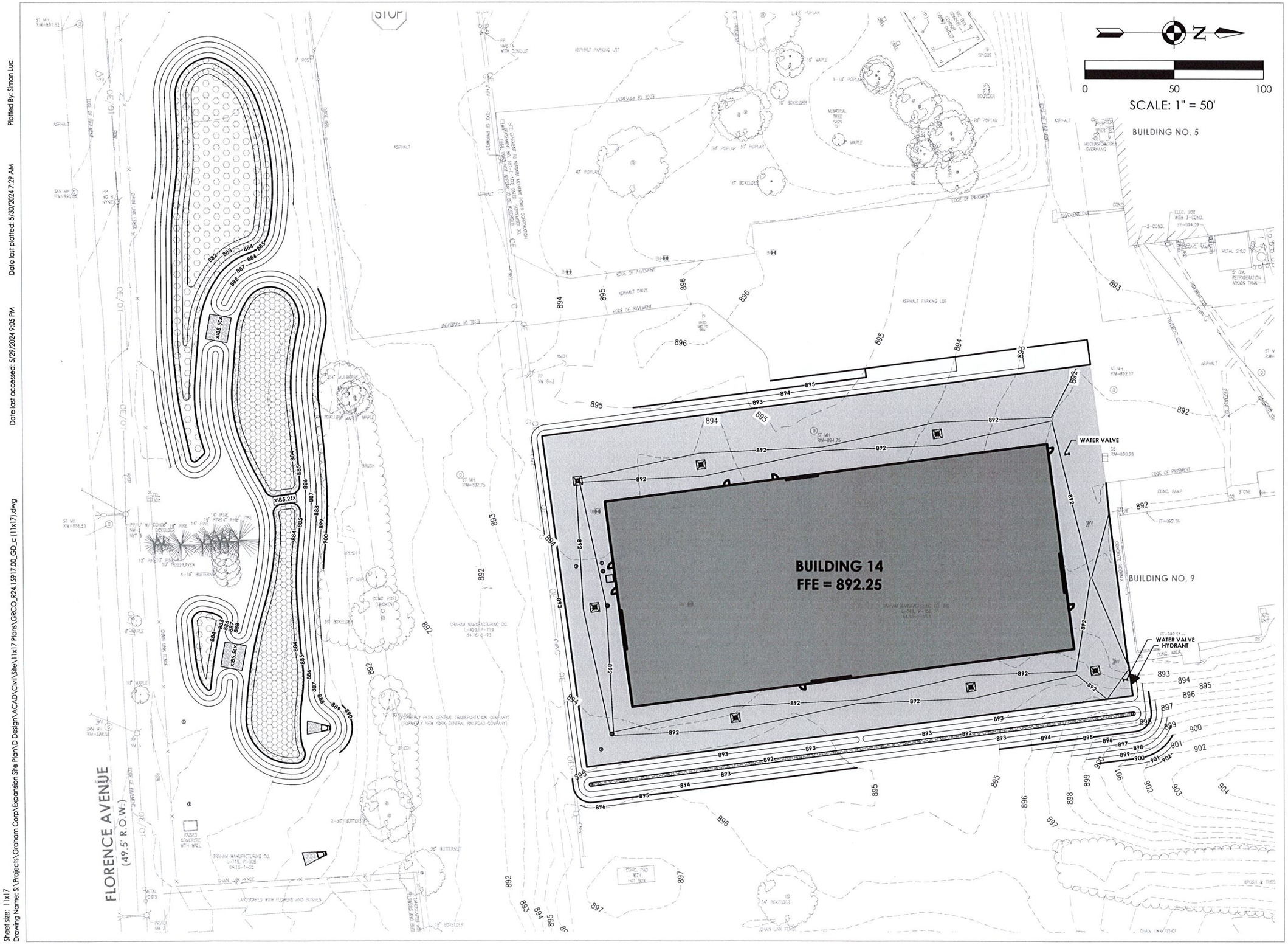

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Fairport, NY 14450
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NY ENGINEERING FIRM CERTIFICATE #018330

PROJECT INFORMATION

Project Number
R24.15917.00

Client Name
GRAHAM CORPORATION

Project Name
BUILDING 14

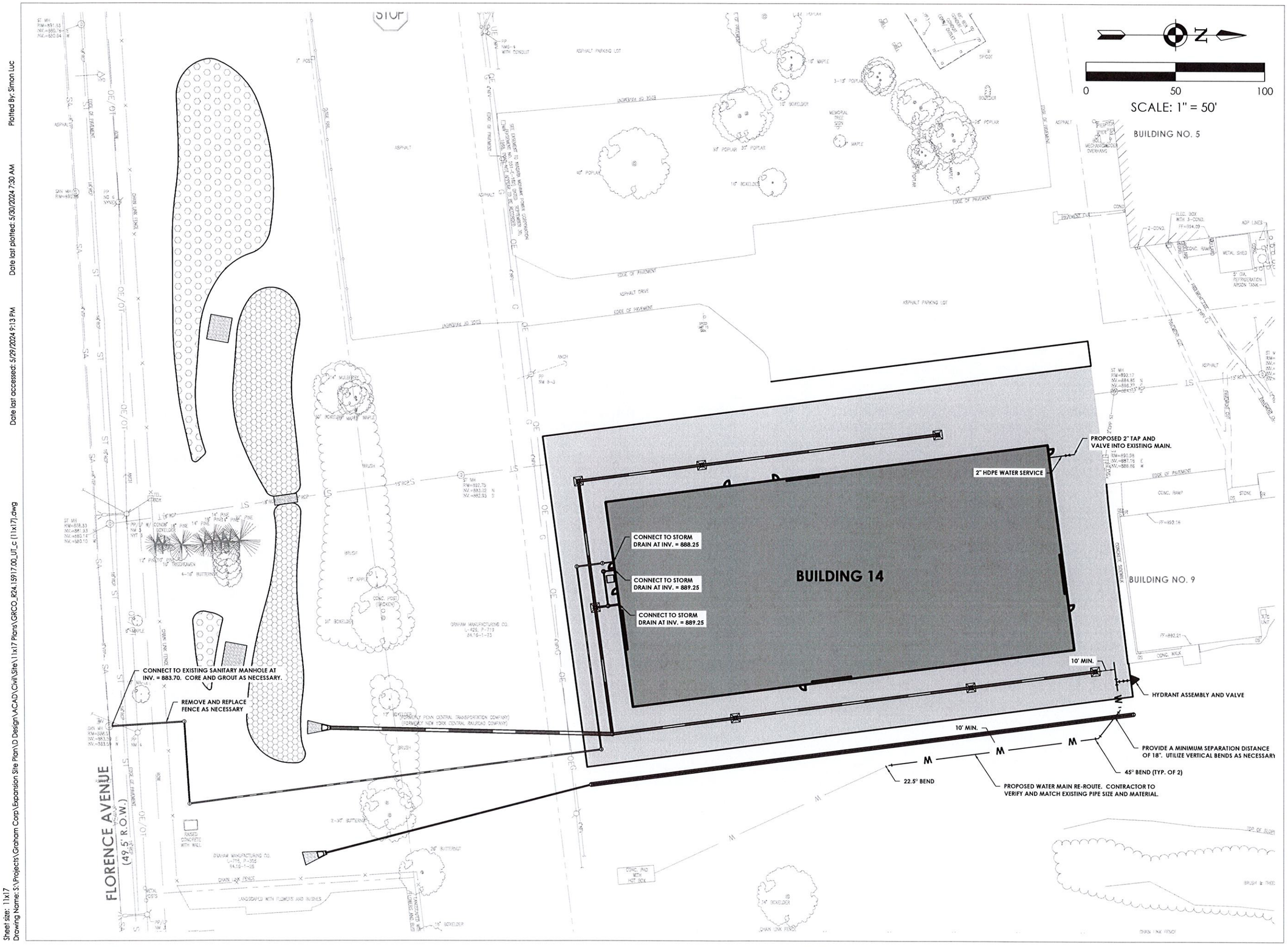
Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	1" = 50'
Drawn By	**Checked By**
TRB	TRB

Drawing Title
PROPOSED GRADING PLAN

Drawing Number
C
201



Plotted By: Simon Luc
Date last plotted: 5/30/2024 7:30 AM
Date last accessed: 5/29/2024 9:13 PM
Sheet size: 11x17
Drawing Name: S:\Projects\Graham Corp\Expansion Site Plan\D Design\ACAD\Civil\Site\11x17 Plans\GRCO_R24.15917.00_UT_c (11x17).dwg

CPL | Architecture Engineering Planning
255 Woodcliff Drive, Suite 200
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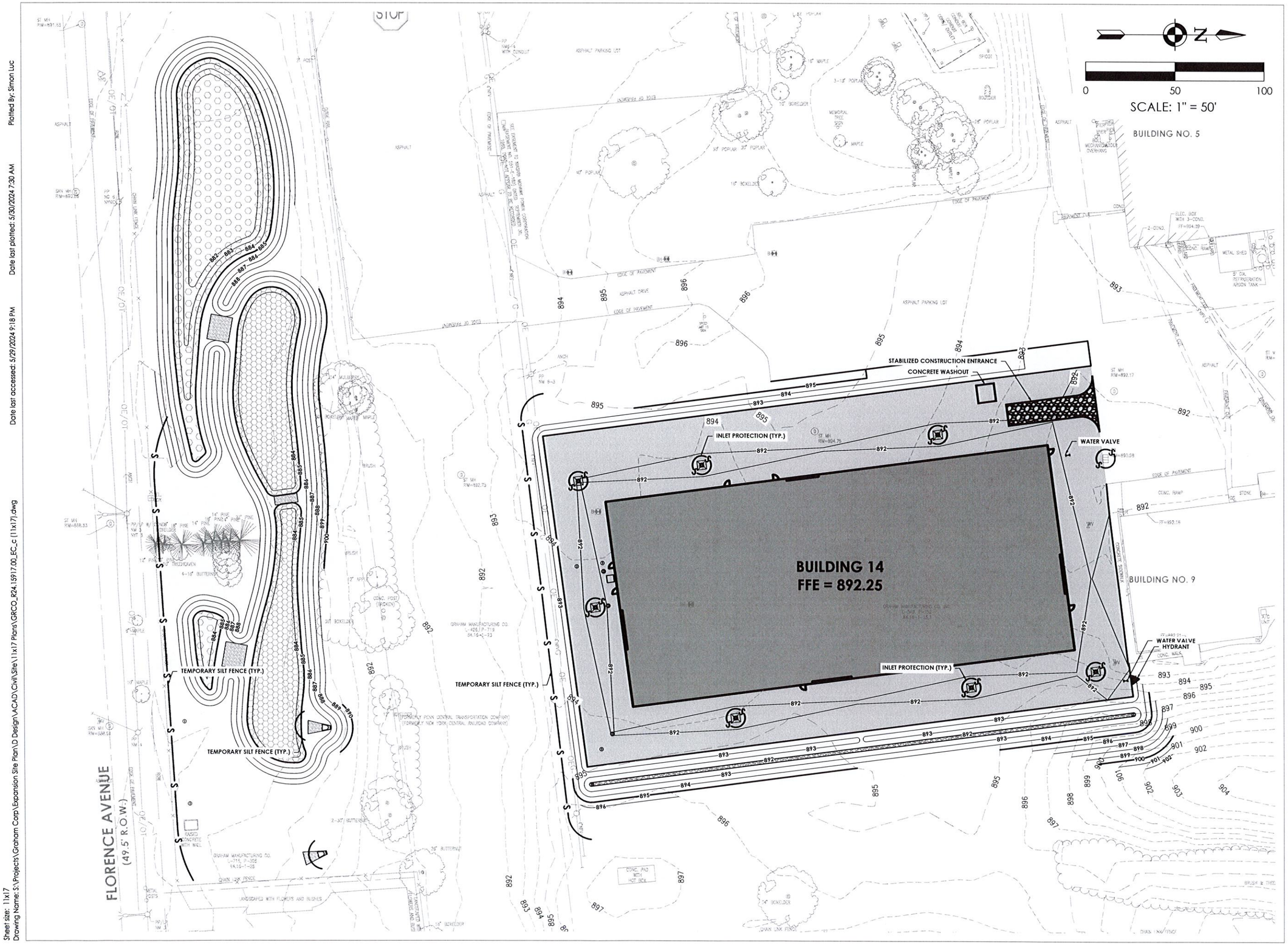
TRB	TRB

Drawing Title
PROPOSED UTILITY PLAN

Drawing Number
C
202



Plotted By: Simon Luc

Date last plotted: 5/30/2024 7:30 AM

Date last accessed: 5/29/2024 9:18 PM

Sheet size: 11x17

Drawing Name: S:\Projects\Graham Corp\Expansion Site Plan\D Design\ACAD\Civil\Site\11x17 Plans\GRCO_R24.15917.00_EC_c (11x17).dwg

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Drawing Title

EROSION AND SEDIMENT CONTROL PLAN

Drawing Number

C
203

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR SECURING THE PROJECT SITE AT THE END OF EACH WORK DAY. ALL MAN AND EQUIPMENT GATES TO REMAIN CLOSED DURING THE WORK DAY, TO PREVENT PATRONS AND STAFF FROM ENTERING THE CONSTRUCTION WORK AREAS. IF TEMPORARY CONSTRUCTION FENCING IS REMOVED TO ACCESS ACTIVE WORK AREAS, IT MUST BE IMMEDIATELY RESTORED UPON COMPLETION OF WORK, OR AT THE END OF THE WORK DAY.
2. THE LOCATIONS, SIZES AND ELEVATIONS OF EXISTING UTILITIES ARE BASED ON INFORMATION COMPILED BY THE ENGINEER FROM DRAWINGS OF RECORDS AND INFORMATION FURNISHED BY THE VARIOUS UTILITIES. WITH FIELD CHECKING WHERE NECESSARY AND POSSIBLE. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND MAY BE APPROXIMATE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE THIS INFORMATION VERIFIED AND LOCATED PRIOR TO CONSTRUCTION. NO CONSTRUCTION EXCAVATION, BORING, OR BLASTING SHALL BE DONE WITHOUT CERTIFICATION OF THE DEPTH AND LOCATION OF UTILITIES. CALL DIG SAFELY NEW YORK AT 1-800-962-7962 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES, SERVICES, SEWERS AND LATERALS AHEAD OF PIPE LAYING OR OTHER WORK OPERATIONS SO THAT IF MINOR ADJUSTMENTS MUST BE MADE IN ELEVATION AND/OR ALIGNMENT, DUE TO INTERFERENCE, THESE CHANGES CAN BE MADE IN ADVANCE OF THE WORK.
4. SAFE AND CONTINUOUS THROUGH TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT OWNER DRIVEWAYS, SERVICE ROADS AND PUBLIC STREETS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION.
5. THE OWNER WILL OBTAIN ALL EASEMENTS OR PERMITS OUTLINED IN THE PROJECT SPECIFICATIONS.
6. THE CONTRACTOR SHALL LOCATE, FLAG AND PRESERVE SURVEY MONUMENTS AND PROPERTY CORNER MARKERS.
7. THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR REESTABLISH ANY PROPERTY CORNERS OR SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL TREES, FENCES AND OTHER OBSTACLES WITHIN THE ROW AND EASEMENT.
9. UTILITY POLES SHALL BE SUPPORTED, WHERE NECESSARY, AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED TREE EXPERT TO REMOVE, WHERE NECESSARY, BRANCHES WHICH INTERFERE WITH THE CONSTRUCTION OPERATIONS, OR REPAIR TREES HAVING SUFFERED DAMAGE BY CONSTRUCTION ACTIVITIES. COST TO BE INCLUDED IN THE VARIOUS BID ITEMS OF THE CONTRACT.
11. CONTRACTOR TO PROTECT NEW OR EXISTING WORK, SHEETING OR SHORING (IF REQUIRED DURING CONSTRUCTION) AT NO EXTRA COST TO THE OWNER.
12. WHEREVER MAILBOXES, POSTS, FENCES, SHRUBBERY, ETC. ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THEY SHALL BE REMOVED AND RESET AS ORDERED BY THE ENGINEER. COST TO BE INCLUDED IN THE VARIOUS BID ITEMS OF THE CONTRACT.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF EXCAVATED MATERIAL FROM THE SITE.
14. THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF ANY APPLICABLE EASEMENTS OR PERMITS.
15. ALL MATERIALS AND EQUIPMENT MUST BE STORED WITHIN THE CONFINES OF THE CONSTRUCTION AREA. MATERIALS, EQUIPMENT, AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE RIGHT-OF-WAY.

DEMOLITION NOTES

1. AT THE COMMENCEMENT OF EXTERIOR DEMOLITION WORK OR ANY OTHER EXTERIOR WORK, THE CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FENCE. THE CONTRACTOR SHALL MAINTAIN AND ADJUST THE TEMPORARY FENCING THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES UNTIL ALL EXTERIOR ACTIVITIES ARE COMPLETED OR UNTIL DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE.
2. WHEN REMOVING PAVEMENT OR CURBS THAT ARE ADJACENT TO PAVEMENT, CURBING OR STRUCTURES THAT ARE TO REMAIN, FULL DEPTH SAW CUT THE PAVEMENT TO BE REMOVED UNLESS SEPARATED BY AN EXISTING ISOLATION JOINT.
3. PROTECT ALL UTILITIES, EXISTING DEVICES & ROAD SIGNS THAT ARE TO REMAIN.
4. STORE ON-SITE AND REUSE PARKING/BUILDING/STREET SIGNS WHEREVER POSSIBLE. REUSED SIGNS TO BE MOUNTED TO NEW SIGN POSTS. PROPERLY DISPOSE OF ALL REMAINING SIGNS AND POSTS THAT WERE NOT REUSED.
5. REMOVE & PROPERLY DISPOSE OF ALL TREES, BRUSH & DEBRIS WITHIN LIMITS OF DISTURBANCE AS DESIGNATED (CLEARING AND GRUBBING SHALL INCLUDE THE REMOVAL AND DISPOSAL OF ALL ORGANIC MATERIAL, INCLUDING STUMPS AND ROOT SYSTEMS UNDER PROPOSED PAVEMENT). ALL TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE.
6. REMOVE & STOCK PILE ON SITE ALL TOP SOIL WITHIN AREA OF DISTURBANCE FOR LATER USE. EXCESS TOPSOIL TO BE STOCKPILED AT DESIGNATED LOCATION. THE TOPSOIL PILE LOCATION SHALL BE SURROUNDED WITH SILT FENCE AND SEEDED WITH LAWN GRASS SEED MIXTURE.
7. COORDINATE WITH OWNER'S REPRESENTATIVE TO INSPECT GROUND DURING TOPSOIL REMOVAL & CLEARING AND GRUBBING PROCESS. POT HOLES RESULTING FROM TREE ROOT REMOVAL SHOULD BE BACKFILLED & COMPACTED WITH STRUCTURAL BACKFILL AS DIRECTED BY OWNER'S REPRESENTATIVE.
8. PROOF ROLL THE NEWLY EXPOSED SUBGRADE IN THE PRESENCE OF OWNER'S REPRESENTATIVE. UNDERCUT UNSUITABLE SUBGRADE AS DIRECTED BY OWNER'S REPRESENTATIVE.
9. PROTECT TREES, UTILITY POLES, GUY WIRES, POSTS, EDGE OF CONCRETE WALKS & CURB, AND ROOT SYSTEMS TO REMAIN AS NOTED, OR AS REQUIRED, FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR OR REPLACE AS NECESSARY ANY ITEM DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR TO TAKE PRECAUTIONS TO PROTECT EXISTING ROOTS DURING CONSTRUCTION. ROOTS SHALL BE CLEAN CUT AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
11. ALL UNDERGROUND UTILITIES AND THEIR LOCATION SHOWN HEREON ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING UTILITIES AND VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO EXISTING UTILITIES IF DAMAGED BY WORK.
12. CONTRACTOR TO COORDINATE ALL WORK DONE RELATED TO UTILITY POLES AND OVERHEAD LINES WITH UTILITY PROVIDERS.
13. CONTRACTOR SHALL REMOVE ALL EXISTING UNDERGROUND UTILITIES DESIGNATED, AND FILL EXCAVATION AREA WITH STRUCTURAL FILL AND COMPACTED IN 4" LIFTS.
14. UNLESS OTHERWISE NOTED ON DRAWINGS, ALL PIPES AN CONDUITS TO BE ABANDONED SHALL BE CUT AND SEALED ON BOTH ENDS. ALL PIPES AND CONDUITS 4" IN DIAMETER OR LARGER SHALL ALSO BE FULLY FILLED WITH SAND OR FLOWABLE FILL.
15. EXCAVATED WASTE MATERIAL INCLUDING EXCESS SOIL SHALL BE REMOVED FROM THE SITE AND PLACE IN A LOCATION ACCEPTABLE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

SEDIMENT AND EROSION CONTROL NOTES

1. SEDIMENT FROM THE SITE SHALL BE PREVENTED FROM DISCHARGING TO ANY SURFACE WATER OR STORMWATER PIPING SYSTEM BY THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
2. ALL SLOPES GREATER THAN 1:4 SHALL BE STABILIZED WITH JUTE MESH.
3. CONTRACTOR SHALL APPOINT A PERSON TO BE RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL MEASURES. THIS PERSON SHALL BE TRAINED IN ACCORDANCE WITH NYSDEC REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL ACTIVITIES.
4. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH DETAIL. COORDINATE LOCATION WITH OWNER PRIOR TO ANY ON-SITE ACTIVITIES.
5. PROVIDE AND MAINTAIN INLET PROTECTION ON ALL EXISTING AND NEW CATCH BASINS, MANHOLES AND INLETS UNTIL DRAINAGE AREAS ARE STABILIZED. USE COMPOST FILTER SOCK IN PLACE OF FILTER FABRIC IN PAVED AREAS.
6. PROVIDE AND MAINTAIN SILT FENCE AROUND PERIMETER OF ALL WORK AREAS, EXCAVATED SOIL STOCKPILES, AND BETWEEN DISTURBED AREAS AND DRAINAGE WAYS OR WATER BODIES. COORDINATE LOCATIONS WITH OWNER AS WORK PROGRESSES AND AREAS ARE STABILIZED. SILT FENCE TO BE INSTALLED AND ENTRENCHED (MIN 6" BELOW GROUND ELEVATION). SILT SOCK MAY USED ON PAVED OR GRAVEL AREAS.
7. ALL EXPOSED SUBGRADE AREAS INTENDED FOR PAVEMENT SHALL BE STABILIZED WITH SUBBASE STONE WITHIN THREE (3) DAYS OF EXCAVATION / PAVEMENT REMOVALS.
8. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBANCE ACTIVITIES, INCLUDING GRADING OR FILLING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
9. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED.
10. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION IS COMPLETED AND THE WORK AREAS ARE STABILIZED.
11. CONSTRUCT TEMPORARY SILT FENCING ALONG BOTTOM EDGE OF ALL SLOPES AND/OR AS SHOWN, AS DESIGNATED, OR AS DIRECTED BY OWNERS REPRESENTATIVE.
12. CONSTRUCT TEMPORARY STONE CHECK DAMS ALONG DITCH LINES AS SPECIFIED AND/OR AS SHOWN, AS DESIGNATED, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
13. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED WEEKLY. CONTRACTOR SHALL KEEP ON FILE A RECORD OF THE REQUIRED INSPECTION REPORTS.
14. ALL DISTURBED AREAS, EXPOSED SLOPES AND SWALES SHALL BE VEGETATED (TEMPORARY SEEDED) WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
15. JUTE MESH OR OTHER STABILIZATION FABRIC SHALL BE APPLIED TO ANY SLOPES GREATER THAN 1V:4H IMMEDIATELY UPON COMPLETION OF GRADING ACTIVITIES. MESH OR OTHER MEASURE SHALL BE ADEQUATELY SECURED.
16. TEMPORARY SEEDING SHALL BE SEEDED RYE GRASS AT A RATE OF FIVE (5) LBS PER 1,000 SQUARE FEET OF AREA. CONTINUALLY REAPPLY TEMPORARY SEEDING AT FIRST SIGN OF EROSION OR DETERIORATION OF THE SURFACE GRADE.
17. PERMANENT GROUND COVER SHALL BE INSTALLED ON ALL DISTURBED AREAS WITHIN 5 WORKING DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
18. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED COMPLETELY UPON FINAL STABILIZATION. COORDINATE TIMING OF REMOVAL WITH OWNER'S REPRESENTATIVE.
19. CONTRACTOR SHALL FLUSH CLEAN ALL EXISTING AND NEW STORM PIPING WITHIN PROJECT LIMITS AFTER FINAL STABILIZATION IS COMPLETE.
20. WALKWAYS TO BE KEPT FREE AND CLEAR OF DEBRIS, REFUSE AND SILT AT ALL TIMES.
21. DEBRIS, VEGETATION AND OTHER SPOILS REMOVED AS PART OF THE CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OF AT UPLAND LOCATIONS ABOVE THE REACH OF HIGH WATER AND IN ACCORDANCE WITH LOCAL LAWS AND REGULATIONS. SEDIMENT DISPOSAL IN WATER BODY, WETLAND, FLOODWAYS OR THE 100-YEAR FLOODPLAIN IS STRICTLY PROHIBITED.
22. DURING CONSTRUCTION, NO WET OR FRESH CONCRETE OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO ANY WETLANDS OR WATERS OF NEW YORK STATE, NOR SHALL WASHINGS FROM READY-MIX CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER ANY WETLAND OR WATERS. ONLY WATERTIGHT OR WATERPROOF FORMS SHALL BE USED. WET CONCRETE SHALL NOT BE POURED TO DISPLACE WATER WITHIN THE FORMS.
23. CONTRACTOR TO CONSTRUCT A TEMPORARY CONCRETE WASHOUT AREA ADJACENT TO EACH WORK AREA ENTRANCE.
24. THE CONTROL OF DUST ORIGINATING FROM THE CONSTRUCTION OPERATIONS IS CONSIDERED A CRITICAL RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER WILL BE THE FINAL JUDGE OF THE ADEQUACY OF THE CONTRACTOR'S DUST CONTROL EFFORTS. WORK MAY BE SUSPENDED BY THE ENGINEER UNTIL ADEQUATE DUST CONTROL IS ATTAINED.

ASPHALT PAVEMENT & STRIPING NOTES:

1. ALL TOP COURSE PAVEMENT AND FINAL STRIPING SHALL BE PLACED ONLY AFTER COMPLETION OF ALL SITE WORK UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING TEMPORARY PAVEMENT MARKINGS ON TOP OF BINDER COURSE. ALL STRUCTURES, RIMS, AND GRATES SHALL BE PROTECTED WITH TEMPORARY ASPHALT BINDER.
2. CONTRACTOR SHALL FIELD VERIFY IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, THE DEPTH AND SUITABILITY OF EXISTING GRANULAR MATERIAL FOR REUSE AS GRANULAR MATERIAL IN PROPOSED ASPHALT SECTIONS. OWNER'S REPRESENTATIVE DETERMINATION SHALL BE FINAL AND BINDING.
3. ALL ASPHALT PAVING SHALL MEET THE LINES AND GRADES AS SHOWN ON THE CONTRACT PLANS.

WATER MAIN TESTING AND DISINFECTION NOTES

1. WATER FOR TESTING AND FLUSHING SHALL BE OBTAINED FROM EXISTING WATER SYSTEM. ARRANGEMENTS SHALL BE MADE WITH THE WATER DEPARTMENT FOR PAYMENT OF WATER USED.
2. FLUSH MAINS AND SERVICES BEFORE TESTING. MINIMUM FLUSHING VELOCITY SHALL BE 2.5 FEET PER SECOND.
3. BEFORE TESTING, SECTIONS ADJACENT TO THE TEST SECTION SHALL BE FILLED WITH WATER. THE CONTRACTOR SHALL FURNISH ALL WATER, EQUIPMENT, CONNECTIONS, PIPING, METERS, MEASURING DEVICES, PUMPS, AND TEMPORARY ENCLOSURES NECESSARY TO PERFORM THE REQUIRED TESTS. TESTING SHALL BE MADE ON SECTIONS OF WATER MAIN NOT TO EXCEED 2000 FEET IN LENGTH.
4. TESTING SHALL MEET THE MINIMUM REQUIREMENTS OF AWWA C-600 SECTION 4, EXCEPT WHERE MORE RIGID REQUIREMENTS ARE ESTABLISHED BY THESE SPECIFICATIONS. ALL PRESSURE TESTS MUST BE WITNESSED BY A VILLAGE OF LIVONIA WATER DEPARTMENT REPRESENTATIVE. BEFORE APPLYING TEST PRESSURE, ALL AIR SHALL BE EXPELLED FROM THE PIPE. AFTER THE PIPE HAS BEEN FILLED, IT SHALL BE SUBJECTED TO HYDROSTATIC PRESSURE OF 50 PSI ABOVE NORMAL LINE PRESSURE OR A MINIMUM OF 150 PSI FOR A PERIOD OF TWO HOURS.
5. A PRELIMINARY TEST OF 50 PSI ABOVE NORMAL LINE PRESSURE OR A MINIMUM OF 150 PSI SHALL BE PERFORMED BY THE CONTRACTOR. AFTER THE PRELIMINARY TEST IS SATISFACTORY, THE WATER SYSTEM OPERATOR SHALL BE GIVEN 24 HOURS NOTICE, AND A FINAL TEST PERFORMED.
6. LEAKAGE SHALL BE DETERMINED AT 30 MINUTE INTERVALS BY MEANS OF VOLUMETRIC MEASUREMENT OF THE WATER ADDED DURING THE TEST.
7. LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER SUPPLIED TO THE SECTION OF THE PIPE UNDER TEST NECESSARY TO MAINTAIN THE REQUIRED PRESSURE, SHOULD ANY TEST DISCLOSE LEAKAGE GREATER THAN THE ALLOWABLE, THE DEFECT SHALL BE LOCATED AND REPAIRED BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOT INSTALL CORPORATION STOPS FOR THE SERVICES UNTIL THE WATER MAIN HAS PASSED THE PRESSURE TEST, HAS PASSED ALL HEALTH SAMPLE TESTING, ALL SAMPLE DISINFECTION CORPORATIONS HAVE BEEN REMOVED AND PLUGGED, THE WATER MAIN HAS BEEN PLACED IN SERVICE BY THE WATER DEPARTMENT AND THE CONTRACTOR HAS RECEIVED APPROVAL TO INSTALL THE SERVICES FROM THE OWNER/ENGINEER.
9. TEST PRESSURE SHALL BE BASED ON THE ELEVATION OF THE LOWEST POINT UNDER TEST. PRESSURE SHALL BE APPLIED BY A PUMP CONNECTED TO THE PIPE. THE PUMP, PIPE, CONNECTIONS, GAUGES, AND MEASURING DEVICES SHALL BE CALIBRATED TO THE SATISFACTION OF THE ENGINEER.
10. ALL WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651 DISINFECTING WATER MAINS, ITEM 5.1 DELETED, AND THE REQUIREMENTS OF NYS DEPARTMENT OF HEALTH, USING THE CONTINUOUS FEED METHOD. THE REQUIREMENTS OF NYS DEPARTMENT OF HEALTH SHALL GOVERN WHEN THERE IS A CONFLICT. USE 50 PPM INITIAL CHLORINE DOSE. DISINFECTANT SHALL REMAIN IN THE SYSTEM FOR A PERIOD OF 24 HOURS AFTER WHICH THE RESIDUAL SHALL BE AT LEAST 25 PPM. FOLLOWING DISINFECTION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE MAIN.
11. WATER USED FOR DISINFECTING THE WATER MAINS, IF DISCHARGED TO THE STREAMS, MUST HAVE A CHLORINE RESIDUAL NOT EXCEEDING 0.05 MG/L AT THE POINT OF DISCHARGE. THE CONTRACTOR IS RESPONSIBLE TO ATTAIN THIS CHLORINE RESIDUAL LEVEL BY WHATEVER MEANS NECESSARY AT NO COST TO THE OWNER.
12. THE INTERIORS OF ALL APPURTENANCES AND SECTIONS OF WATER MAIN THAT CANNOT NORMALLY BE DISINFECTED SHALL BE SWABBED BY THE CONTRACTOR, TO THE SATISFACTION OF THE ENGINEER, WITH A CONCENTRATED CHLORINE SOLUTION CONTAINING NO LESS THAN 200 PPM OF FREE CHLORINE. THE CONTRACTOR SHALL ALSO DISINFECT ALL EXISTING WATER LINES AND APPURTENANCES WHICH WERE BROKEN, DAMAGED, CONTAMINATED, OR SUSPECTED OF BEING CONTAMINATED AS A RESULT OF WORK DONE WITH THIS PROJECT.
13. WATER SAMPLES SHALL BE COLLECTED BY THE CONTRACTOR AND ANALYZED BY A NEW YORK STATE DEPARTMENT OF HEALTH APPROVED TESTING LABORATORY FOR BACTERIOLOGICAL CONTENT. A MINIMUM OF ONE SAMPLE PER 1000 FEET OF NEW WATER MAIN AND ONE FOR EACH SIDE STREET SHALL BE COLLECTED AND ANALYZED. LOCATION OF SAMPLING TAP AS APPROVED BY THE ENGINEER AND L.C.D.O.H. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING DEVICES. THE CONTRACTOR SHALL COORDINATE WITH THE LIVINGSTON COUNTY HEALTH DEPARTMENT TO OBTAIN THESE SAMPLES. THE WORK WILL NOT BE ACCEPTED UNTIL A REPORT IS SUBMITTED TO THE ENGINEER, SHOWING THAT A WATER SAMPLE IS SATISFACTORY, AND THE SYSTEM IS READY FOR USE. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE LIVINGSTON COUNTY HEALTH DEPARTMENT.
14. THE MUNICIPALITY'S DESIGN ENGINEER IS RESPONSIBLE FOR CERTIFYING TO THE WATER SYSTEM OPERATOR AND THE DEPARTMENT OF HEALTH THAT THE WATER MAIN WAS INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THAT THE FLUSHING, TESTING, AND DISINFECTION WAS PERFORMED IN ACCORDANCE WITH THESE REQUIREMENTS. THE DESIGN ENGINEER SHALL SUBMIT THIS CERTIFICATION ALONG WITH THE PRESSURE TEST AND BACTERIOLOGICAL TESTING RESULTS TO THE WATER SYSTEM OPERATOR AND THE GENESEE COUNTY HEALTH DEPARTMENT. THE WATER MAIN CANNOT BE PLACED IN SERVICE UNTIL AN APPROVAL OF COMPLETED WORKS IS RECEIVED FROM THE GENESEE COUNTY HEALTH DEPARTMENT.

SURVEY SYMBOL LEGEND

BASKETBALL HOOP, BOULDER, BASELINE STATION, BENCH MARK, BOLLARD, BOLLINE, CATCH BASIN SQUARE, CATCH BASIN ROUND, CLEANOUT, CURB STOP, DATA BOX, DROP INLET, DRILL HOLE, DRY HYDRANT, ELECTRIC BOX, ELECTRIC MANHOLE, FLARED END SECTION, FIBER OPTIC BOX, FILL CAP, FLAGPOLE, GAS METER, GAS LINE MARKER, GUY ANCHOR WIRE, GUY ANCHOR POLE, GAS VALVE, HAND HOLE, FIRE HYDRANT, INLET MANHOLE, IRON PIN, LIGHT POLE 1, LIGHT POLE 2, LAMP POST, MAIL BOX, MONUMENT, PULL BOX, PEDESTRIAN SIGNAL POLE, POST, UTILITY POLE, SANITARY MANHOLE, SANITARY VALVE, SATELLITE DISH, SIGN POST, DOUBLE SIGN POST, SIGN DOUBLE POST, DOUBLE SIGN AND POST, STREET SIGN (4-WAY), DECIDUOUS SHRUB, EVERGREEN SHRUB, SPIGOT, SPRINKLER HEAD, SPRINKLER (STRONG) MANHOLE, STUMP, TELEPHONE BOX, TELEPHONE MANHOLE, DECIDUOUS TREE, CONIFEROUS TREE, TEST PIT, UTILITY BOX, WELL, WETLAND FLAG, WATER METER, WATER MANHOLE, WOOD POST SQUARE, WOOD POST ROUND, WATER VALVE, YARD INLET SQUARE, YARD INLET ROUND, MANHOLE GENERIC, MONITOR WELL

SURVEY LINETYPE LEGEND

EXISTING DITCH, EASEMENTS, FENCE, STONE WALL, PARCEL LINE, PARCEL BOUNDARY LOTS, PARCEL SETBACK, RAILROAD TRACKS, ROADWAY CENTERLINE, ROADWAY GUIDERAIL, CONTOUR MAJOR, CONTOUR MINOR, WATERBODY EDGE, WETLAND, OVERHEAD CABLE TV, OVERHEAD ELECTRIC, OVERHEAD TELEPHONE, UNDERGROUND CABLE TV, UNDERGROUND ELECTRIC, UNDERGROUND FUEL SYSTEMS, UNDERGROUND NATURAL GAS, UNDERGROUND SANITARY SEWER, UNDERGROUND SANITARY FORCE MAIN, UNDERGROUND STEAM TRANSMISSION, UNDERGROUND STORM SEWER, UNDERGROUND TELEPHONE, UNDERGROUND WATER SUPPLY, ABANDONED UNDERGROUND CABLE TV, ABANDONED UNDERGROUND ELECTRIC, ABANDONED UNDERGROUND FUEL SYSTEMS, ABANDONED UNDERGROUND NATURAL GAS, ABANDONED UNDERGROUND SANITARY SEWER, ABANDONED UNDERGROUND SANITARY FORCE MAIN, ABANDONED UNDERGROUND STORM SEWER, ABANDONED UNDERGROUND TELEPHONE, ABANDONED UNDERGROUND WATER SUPPLY

DESIGN SYMBOL LEGEND

ANCHOR, BOLLARD, ELEC. BOX, ELEC. GUY ANCHOR, ELEC. GUY POLE, ELEC. LIGHT POLE, ELEC. MANHOLE, ELEC. POWER POLE, ELEC. SPORT LIGHT, GAS VALVE, FENCE GATE 1, FENCE GATE 2, GEO. BORE HOLE, GEO. TEST PIT, SAN. CLEANOUT, SAN. MANHOLE, SHRUB DECIDUOUS, SHRUB EVERGREEN, SIGN POST, DOUBLE SIGN POST, SIGN DOUBLE POST, DOUBLE SIGN & POST, STRM. CB REC., STRM. CB ROUND, STRM. CB SQUARE, STRM. CLEANOUT, STRM. END SECT., STRM. MANHOLE, STRP. ADA, STRP. BIKE, STRP. LEFT, STRP. LEFT-THRU, STRP. ONLY, STRP. RIGHT, STRP. RIGHT-THRU, STRP. SCHOOL, STRP. STOP, STRP. THRU, TREE CONIFEROUS, TREE DECIDUOUS, WATER HYDRANT, WATER SHUT OFF, WATER SAMPLE TAP, WATER WELL, WATER VALVE

DEMOLITION LEGEND

AREA DEMOLITION HATCH 1, AREA DEMOLITION HATCH 2, AREA DEMOLITION HATCH 3, OBJECT DEMOLITION "X", OBJECT DEMOLITION LINE

DESIGN LINETYPE LEGEND

PROPOSED PROJECT LIMIT LINE, PROPOSED ALIGNMENT CENTERLINE, PROPOSED DITCH, PROPOSED SILTFENCE, PROPOSED EASEMENTS, PROPOSED BARB WIRE FENCE, PROPOSED CHAIN LINK FENCE, PROPOSED STOCKADE FENCE, PROPOSED STONE WALL, PROPOSED PARCEL LINE, PROPOSED PARCEL SETBACK, PROPOSED RAILROAD TRACKS, PROPOSED ROADWAY GUIDERAIL, PROPOSED WATERBODY EDGE, PROPOSED WETLAND, PROPOSED OVERHEAD CABLE TV, PROPOSED OVERHEAD ELECTRIC, PROPOSED OVERHEAD TELEPHONE, PROPOSED UNDERGROUND CABLE TV, PROPOSED UNDERGROUND ELECTRIC, PROPOSED UNDERGROUND FUEL SYSTEMS, PROPOSED UNDERGROUND NATURAG GAS, PROPOSED UNDERGROUND SANITARY SEWER, PROPOSED UNDERGROUND SANITARY FORCE MAIN, PROPOSED UNDERGROUND STEAM TRANSMISSION, PROPOSED UNDERGROUND STORM SEWER, PROPOSED UNDERGROUND TELEPHONE, PROPOSED UNDERGROUND WATER SUPPLY

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BUILDING 14

Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	N.T.S.
Drawn By	Checked By
JTS	TRB

Drawing Title
GENERAL NOTES AND LEGEND

Drawing Number
C
300

Plotted By: Simon Luc
Date last plotted: 5/30/2024 7:30 AM
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Sheet size: 11x17
Drawing Name: S:\Projects\Graham Corp\Expansion Site Plan\D Design\ACAD\Civil\Site\11x17 Plans\GRCO_R24.15917.00_DT_c (11x17).dwg

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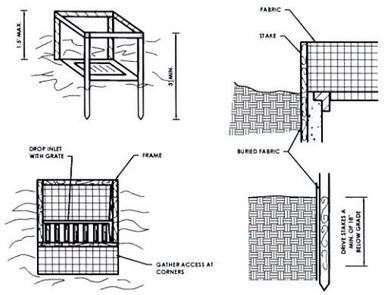
2"X4" WOOD FRAME



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

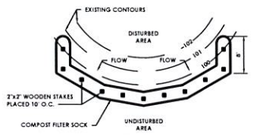
*MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION
N.T.S.

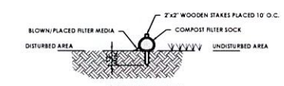
DIA. (IN.)	SLOPE %						
	2	5	10	20	25	33	50
8	225*	200	100	50	20	-	-
12	250	225	125	65	50	40	25
18	275	250	150	70	55	45	30
24	350	275	200	130	100	60	35
32	450	325	275	150	120	75	50

* LENGTH IN FEET

NOTE: 8" DIAMETER SOCKS ARE ONLY APPLICABLE FOR RESIDENTIAL LOTS TO CONTROL AREAS LESS THAN 0.25 ACRES.

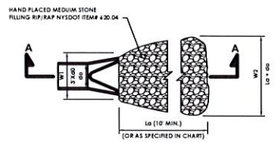


PLAN VIEW



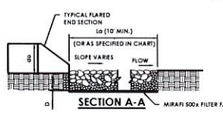
SECTION VIEW

COMPOST FILTER SOCK
N.T.S.

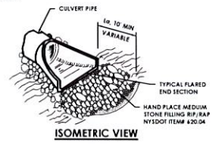


PLAN VIEW

do = PIPE DIA. (SEE PLANS)
La = APRON LENGTH
W = APRON WIDTH (CENTERED ON PIPE)
D = APRON DEPTH



SECTION A-A



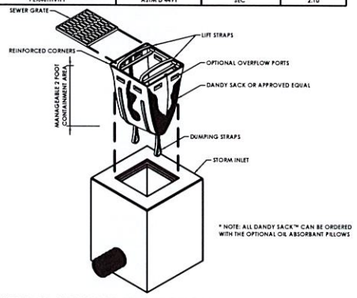
ISOMETRIC VIEW

RIP RAP SIZING CHART				
PIPE DIA.	W1 - MINIMUM	W2 - MINIMUM	La - MINIMUM	D - MINIMUM
12"	3'	11'	10'	13.5"
18"	4.5'	11.5'	10'	13.5"
24"	6'	12'	10'	13.5"
36"	9'	12.5	10'	13.5"

NOTES:
1. d = 1.5 TIMES THE MAXIMUM STONE BUT NO LESS THAN 6".
2. INSTALL FILTER MIRAFI 500x OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE.

RIP-RAP OUTLET PROTECTION DETAIL
N.T.S.

REGULAR FLOW DANDY SACK™ (BLACK)			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	LBS	400 X 315
GRAB TENSILE ELONGATION	ASTM D 4632	%	15 X 15
PUNCTURE STRENGTH	ASTM D 4833	LBS	150
MULLEN BURST STRENGTH	ASTM D 3786	PSI	500
TRAPEZOID TEAR STREGTH	ASTM D 4533	LBS	150 X 165
UV RESISTENCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	US STD SIEVE	40
FLOW RATE	ASTM D 4491	GAL/MIN/FT²	70
PERMITTIVITY	ASTM D 4491	SEC⁻¹	0.90
HI-FLOW DANDY SACK™ (SAFETY ORANGE)			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	LBS	365 X 300
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	LBS	90
MULLEN BURST STRENGTH	ASTM D 3786	PSI	450
TRAPEZOID TEAR STREGTH	ASTM D 4533	LBS	115 X 75
UV RESISTENCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	US STD SIEVE	40
FLOW RATE	ASTM D 4491	GAL/MIN/FT²	145
PERMITTIVITY	ASTM D 4491	SEC⁻¹	2.10



FILTER SACK INLET PROTECTION
N.T.S.

PERSPECTIVE VIEW

SECTION

CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIRES OR STAPLES. POSTS SHALL BE STEEL EITHER 'T' OR 'U' TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP OF MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE

SILT FENCE
N.T.S.

PROFILE

PLAN VIEW

CONSTRUCTION NOTES:

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWATD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE/DRIVEWAY
N.T.S.

STONE & BLOCK PLAN VIEW

'DOUGHNUT' DETAIL

CONSTRUCTION NOTES:

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2 - 3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

*MAXIMUM DRAINAGE AREA 1 ACRE

STONE & BLOCK DROP INLET PROTECTION
N.T.S.

NOTE:
THE VEHICLE WASH AREA SHALL BE LOCATED UPSTREAM FROM A PROPOSED CATCH BASIN THAT DRAINS TOWARDS THE TEMPORARY SEDIMENT BASIN. ANY EXCESS WASH FROM THIS AREA SHALL BE DIVERTED TO A TEMPORARY SEDIMENT TRAPPING DEVICE

VEHICLE WASH DETAIL
N.T.S.

TEMPORARY INLET PROTECTION DETAIL
N.T.S.

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NY ENGINEERING FIRM CERTIFICATE #018330

PROJECT INFORMATION

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R24.15917.00

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GRAHAM CORPORATION

Project Name
BUILDING 14

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Drawing Title
EROSION CONTROL NOTES

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C
301

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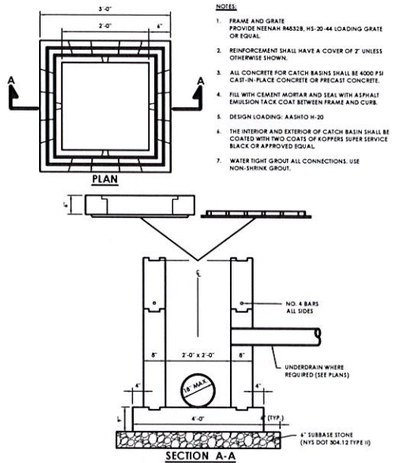
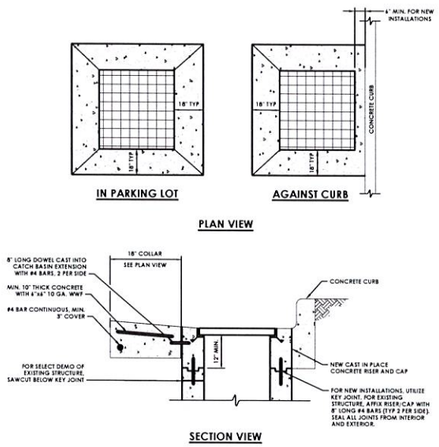


2'x2' CATCH BASIN
N.T.S.



CONCRETE COLLAR (CB)
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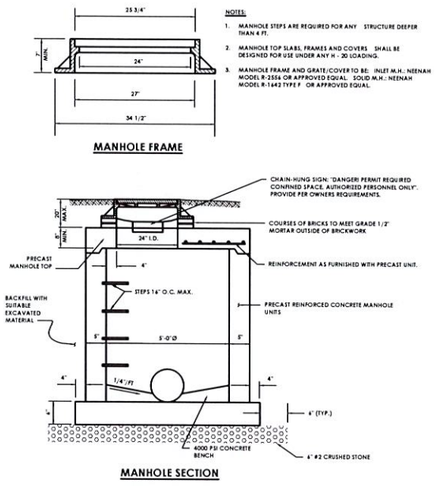
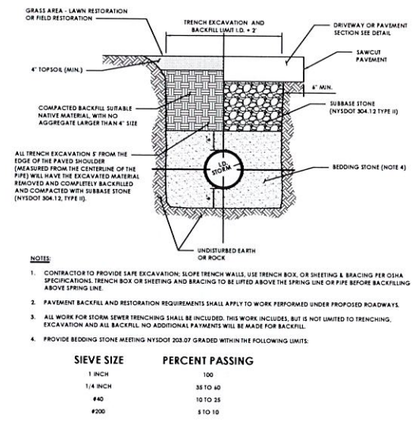
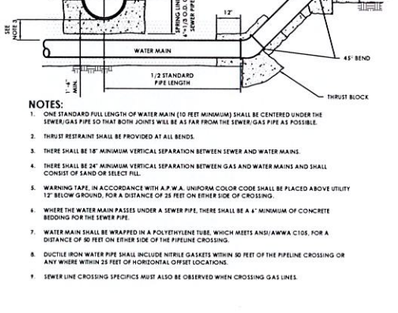


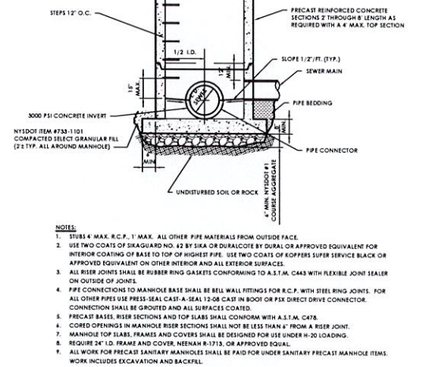
STORM SEWER MANHOLE
N.T.S.



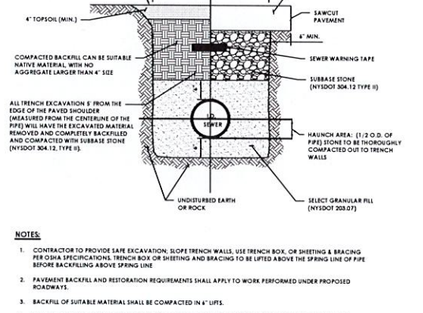
STORM SEWER TRENCH
N.T.S.



SEWER/GAS/WATER MAIN CROSSING & RELOCATION
N.T.S.



PRECAST SANITARY MANHOLE
N.T.S.



SANITARY SEWER AND LATERAL TRENCH
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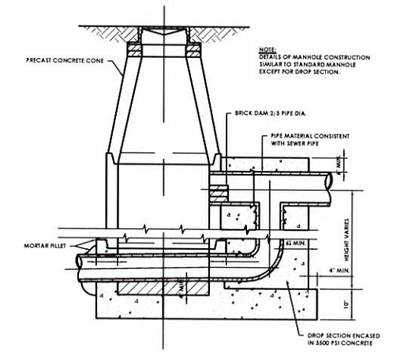
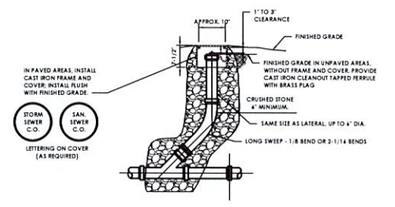
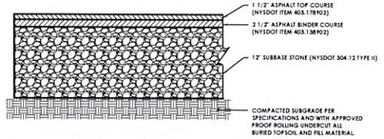


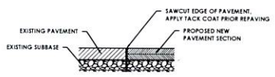
TYPICAL DROP SECTION
N.T.S.



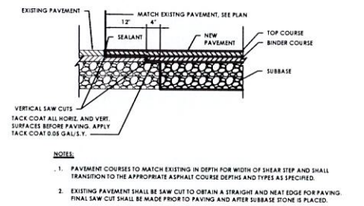
SEWER CLEAN-OUT
N.T.S.



STANDARD DUTY ASPHALT PAVEMENT SECTION
N.T.S.



SAWCUT JOINT DETAIL
N.T.S.



STANDARD DUTY PAVEMENT JOINT
N.T.S.

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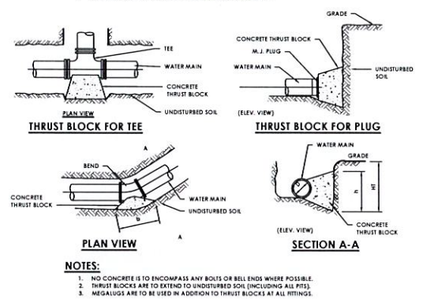
MINIMUM AREA OF BEARING FACE OF CONCRETE THRUST BLOCK (IN SQ. FT.) BLOCKS TO BE POURED AGAINST UNDISTURBED SOIL

PIPE SIZE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	TEE/TS&V	PLUG
4"	4	3	3	3	3	3
8"	10	4	3	3	6	8
12"	19	7	4	3	14	14
16"	34	13	7	3	19	19
18"	27	13	8	4	36	36
24"	38	15.7	8	4	47	47

NOTES: 1. BLOCK HEIGHT (h) SHOULD BE EQUAL TO OR LESS THAN ONE-HALF THE TOTAL DEPTH TO THE BOTTOM OF THE BLOCK. (HT), BUT NOT LESS THAN PIPE DIAMETER (D).
2. BLOCK HEIGHT (h) SHOULD BE TWO TIMES THE BLOCK WIDTH (b).

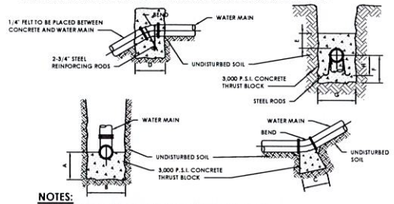


NOTES:
1. NO CONCRETE IS TO ENCOMPASS ANY BOLTS OR BELL ENDS WHERE POSSIBLE.
2. THRUST BLOCKS ARE TO EXTEND TO UNDISTURBED SOIL (INCLUDING ALL PITS).
3. MEGALUGS ARE TO BE USED IN ADDITION TO THRUST BLOCKS AT ALL FITTINGS.

HORIZONTAL THRUST BLOCK
N.T.S.

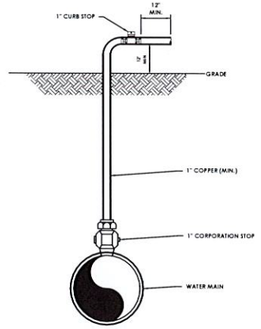
BEND	Min. Volume of Concrete For Block dimensions D,E,F,G	MINIMUM ALLOWABLE DIMENSION FOR VERTICAL THRUST BLOCKS (IN FEET)							
		A	B	C	D	E	F	G	ROD LENGTH H
4" 11 1/4°	.2 Cu. Yd.	1.0	2.5	1.0	2.0	0.5	1.0	2.0	0.5
22 1/2°	.4 Cu. Yd.	1.0	2.5	1.5	2.0	1.0	2.0	2.0	1.5
45°	.8 Cu. Yd.	1.5	2.5	1.5	2.5	1.5	2.0	2.5	1.5
90°	1.5 Cu. Yd.	1.5	2.5	2.0	4.0	1.5	2.0	3.0	1.5
8" 11 1/4°	.35 Cu. Yd.	1.0	2.5	1.5	2.0	1.0	1.5	3.0	1.0
22 1/2°	.7 Cu. Yd.	1.5	2.5	1.5	2.5	1.0	2.0	2.5	1.5
45°	1.4 Cu. Yd.	1.5	2.5	2.0	4.0	1.5	2.0	3.0	1.5
90°	2.6 Cu. Yd.	2.0	2.5	2.0	4.0	2.0	3.0	3.5	2.5
12" 11 1/4°	.8 Cu. Yd.	1.5	3.0	1.5	3.5	1.5	2.0	2.5	1.5
22 1/2°	1.6 Cu. Yd.	1.5	3.0	2.0	4.0	2.0	2.0	3.0	1.5
45°	3.2 Cu. Yd.	2.0	3.0	2.0	5.0	2.0	3.0	3.5	2.5
90°	6.0 Cu. Yd.	2.0	3.0	2.5	5.5	2.5	3.5	3.5	3.0
16" 11 1/4°	2.6 Cu. Yd.	2.0	3.5	4.5	4.1	1.0	2.5	2.0	3.0
22 1/2°	6.8 Cu. Yd.	2.5	3.5	4.5	5.7	1.0	3.5	2.5	4.0
45°	10.0 Cu. Yd.	3.5	3.5	4.0	7.8	1.5	3.5	3.0	4.0
90°	13.0 Cu. Yd.	3.0	3.5	4.0	8.0	3.0	3.5	3.5	4.0

NOTE: THE DEVELOPER MAY ELECT TO USE REINFORCING RODS AS OPPOSED TO CONCRETE THRUST BLOCKS FOR VERTICAL BENDS. ALL THRUST RESTRAINT BY ROD SHALL BE APPROVED BY THE WATER SYSTEM OPERATOR PRIOR TO INSTALLATION.



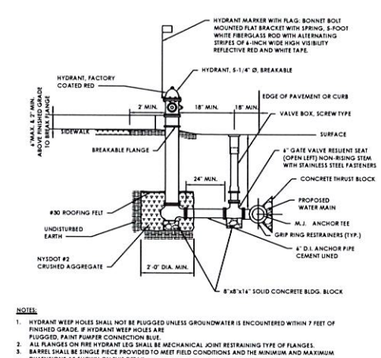
NOTES:
1. NO CONCRETE IS TO ENCOMPASS ANY BOLTS OR BELL ENDS WHERE POSSIBLE.
2. DIP FITTINGS SHALL BE WRAPPED WITH 2 MIL. THICK POLYETHYLENE, 2 FEET BEYOND FITTING ON PVC PIPE.
3. GRIP RING PIPE RESTRAINER SHALL BE USED AT ALL FITTING TO PVC PIPE CONNECTIONS.

VERTICAL THRUST BLOCK
N.T.S.



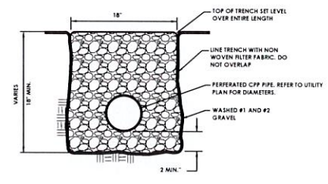
NOTES:
1. IMMEDIATELY PRIOR TO THE WATER DEPARTMENT PLACING THE WATER MAIN IN SERVICE, CONTRACTOR SHALL REMOVE ALL COMPONENTS ASSOCIATED WITH TEMPORARY FACILITIES (i.e. SAMPLING TAPS, ETC.). THE CORPORATION STOP SHALL BE PLACED IN THE CLOSED POSITION AND THE QUICK CONNECT COUPLING PLUGGED IF THE LOCATION IS NOT USED AS A WATER SERVICE.
2. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
3. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
4. ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINATION DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
5. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE DEPARTMENT OF HEALTH.

TEMPORARY DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.



NOTES:
1. HYDRANT WEEP HOLES SHALL NOT BE PLUGGED UNLESS GROUNDWATER IS ENCOUNTERED WITHIN 7 FEET OF FINISHED GRADE. IF HYDRANT WEEP HOLES ARE PLUGGED, PAINT PUMPER CONNECTION BLUE.
2. ALL FLANGES ON FIRE HYDRANT LEG SHALL BE MECHANICAL JOINT RESTRAINING TYPE OF FLANGES.
3. BARREL SHALL BE SINGLE PIECE PROVIDED TO MEET FIELD CONDITIONS AND THE MINIMUM AND MAXIMUM DIMENSIONS AS SHOWN ON THIS DETAIL.
4. HYDRANTS DESIGNATED AS BLOW OFF HYDRANTS SHALL HAVE THE TEE ROTATED 45 DEGREES DOWN FROM THE HORIZONTAL AXIS WITH APPROPRIATE FITTINGS AND APPURTENANCES PROVIDED.
5. ORIENTATION AND EXACT LOCATION TO BE DETERMINED BY ENGINEER.
6. EXISTING GRADE AT HYDRANT LOCATION SHALL BE MODIFIED AS NECESSARY TO MAINTAIN A MINIMUM ELEVATION DIFFERENCE FROM BREAKAWAY FLANGE TO EDGE OF PAVEMENT ELEVATION OF 12 FEET. THIS INCLUDES CUTTING OR FILLING AS NECESSARY.
7. DIP FITTINGS AND VALVES SHALL BE WRAPPED WITH 2 MIL. THICK POLYETHYLENE, 2 FEET BEYOND END OF FITTING ON PVC PIPE, TO INCLUDE HYDRANT BURY.
8. ALL BOLTS AND NUTS SHALL BE FLUOROCARBON COATED.

PERPENDICULAR FIRE HYDRANT ASSEMBLY
N.T.S.



FRENCH DRAIN
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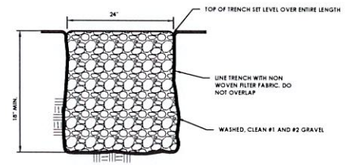

STONE DIAPHRAGM
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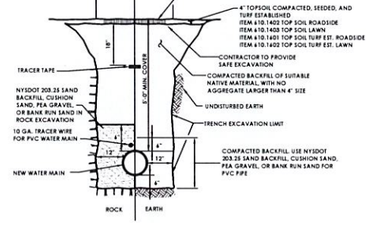
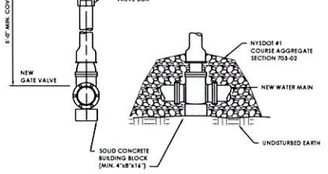


NOTES:
1. WATER MAIN PLACED 4 FEET OR LESS FROM CENTERLINE OF WATER MAIN TO EDGE OF ASPHALT PAVEMENT (EITHER ROAD OR SHOULDER) SHALL MEET THE BACKFILL REQUIREMENTS OF ROAD, SHOULDER AND DRIVEWAY REPLACEMENT DETAILS.
2. RESTORATION WITHIN NYSDOT RIGHT-OF-WAY:
   A. BACKFILL OF SUITABLE MATERIAL SHALL BE COMPACTED IN MAXIMUM 6" LIFTS.
   B. ALL DISTURBED AREAS SHALL BE MULCHED OR HAVE TURF ESTABLISHED WITHIN 10 DAYS.
   C. ALL WORK SHALL CONFORM TO NYSDOT SPECIFICATIONS.

FIELD/LAWN AREA TYPICAL TRENCH
N.T.S.



NOTES:
1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED FILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
4. ALL VALVES SHALL BE OPEN LEFT.
5. FOR HDPE PIPE INSTALLATIONS SEE DETAIL "PIPE TRANSITION DETAIL WITH MECHANICAL JOINT ADAPTOR CONNECTION".
6. POLY WRAP PIPES.

WATER MAIN GATE VALVE
N.T.S.

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PROJECT INFORMATION

Project Number
R24.15917.00

Client Name
GRAHAM CORPORATION

Project Name
BUILDING 14

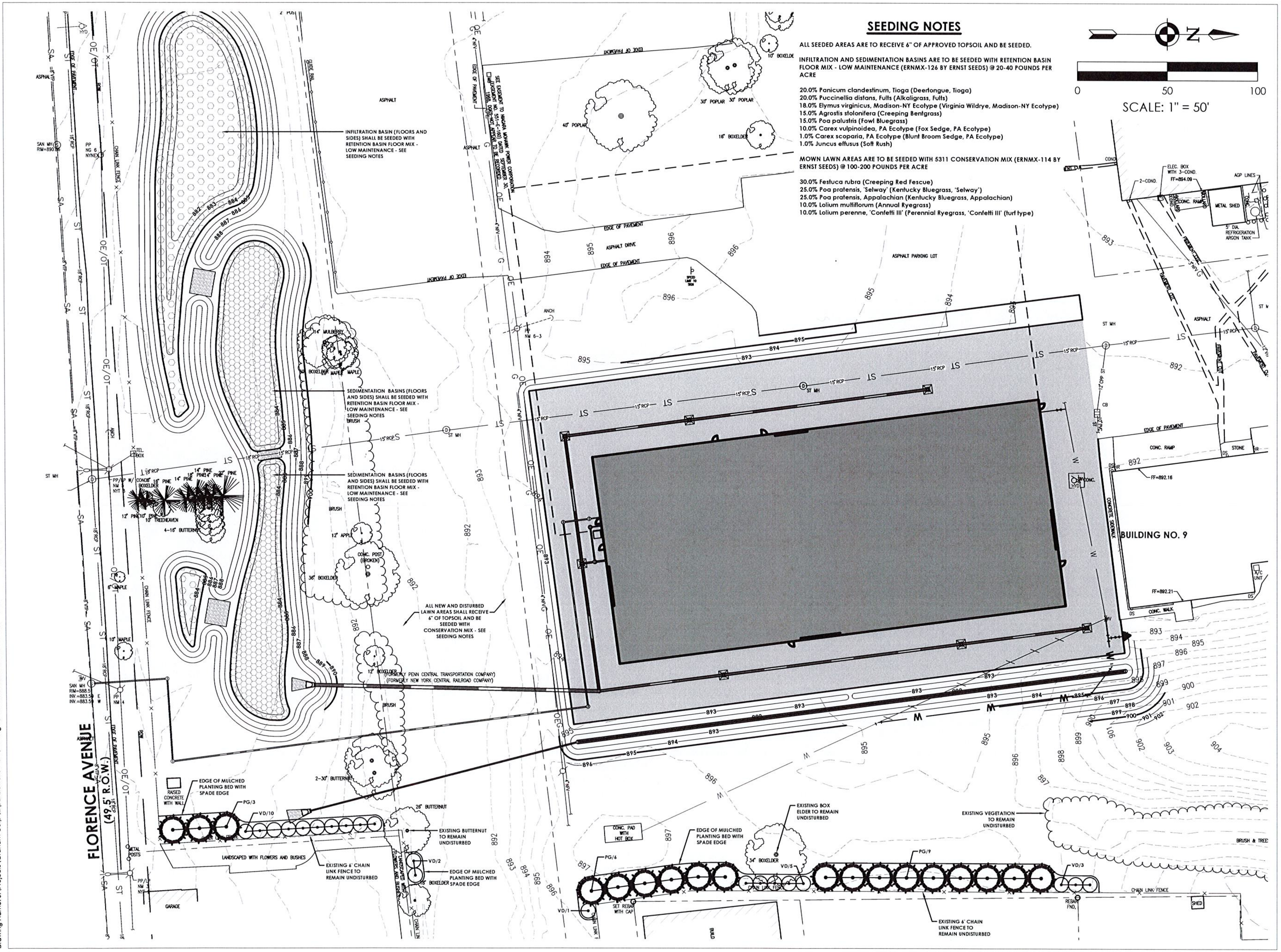
Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	N.T.S.
Drawn By	Checked By
JTS	TRB

Drawing Title
CONSTRUCTION DETAILS

Drawing Number
C
303



SEEDING NOTES

ALL SEEDED AREAS ARE TO RECEIVE 6" OF APPROVED TOPSOIL AND BE SEEDED.

INFILTRATION AND SEDIMENTATION BASINS ARE TO BE SEEDED WITH RETENTION BASIN FLOOR MIX - LOW MAINTENANCE (ERNMX-126 BY ERNST SEEDS) @ 20-40 POUNDS PER ACRE

20.0% Panicum clandestinum, Tioga (Deertongue, Tioga)
20.0% Puccinellia distans, Fults (Alkaligrass, Fults)
18.0% Elymus virginicus, Madison-NY Ecotype (Virginia Wildrye, Madison-NY Ecotype)
15.0% Agrostis stolonifera (Creeping Bentgrass)
15.0% Poa palustris (Fowl Bluegrass)
10.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype)
1.0% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
1.0% Juncus effusus (Soft Rush)

MOWN LAWN AREAS ARE TO BE SEEDED WITH 5311 CONSERVATION MIX (ERNMX-114 BY ERNST SEEDS) @ 100-200 POUNDS PER ACRE

30.0% Festuca rubra (Creeping Red Fescue)
25.0% Poa pratensis, 'Selway' (Kentucky Bluegrass, 'Selway')
25.0% Poa pratensis, Appalachian (Kentucky Bluegrass, Appalachian)
10.0% Lolium multiflorum (Annual Ryegrass)
10.0% Lolium perenne, 'Confetti III' (Perennial Ryegrass, 'Confetti III' (turf type)

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20 FLORENCE AVENUE,
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SHEET INFORMATION

Issued	Scale
05/30/2024	1" = 50'
Drawn By	Checked By
RHW	TRB

Drawing Title
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Drawing Number
L
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Date last accessed: 6/4/2024 8:53 AM
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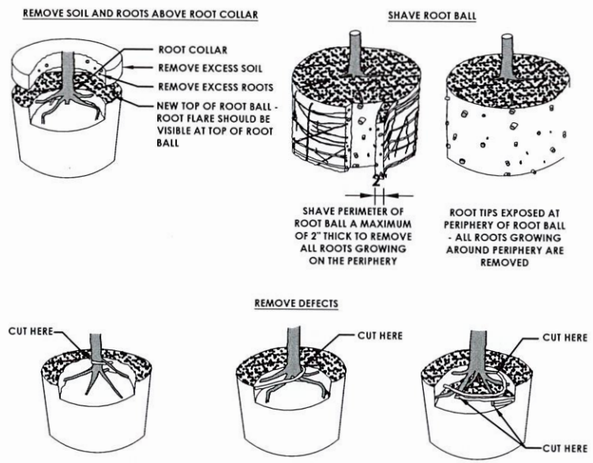


NOTES:

1. ALL PLANTS ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.

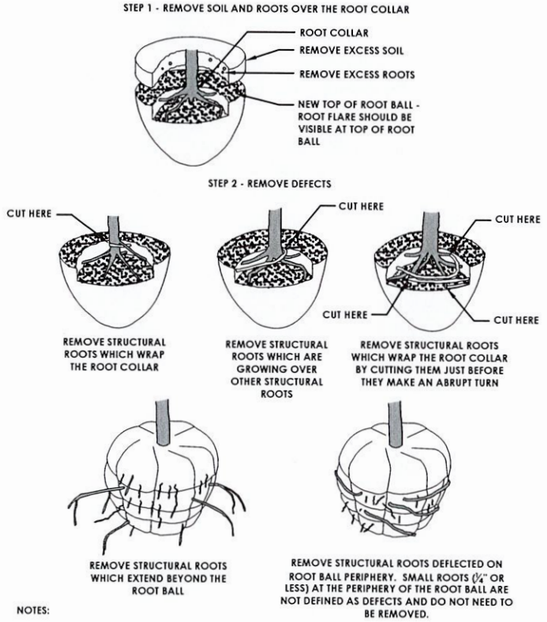
2. SMALL ROOTS (¼" OR LESS) ON THE PERIPHERY OF THE ROOT BALL ARE COMMON WITH CONTAINER PLANT PRODUCTION. THESE SMALL ROOTS ARE NOT DEFINED AS DEFECTS BUT SHOULD BE ADDRESSED AT THE TIME OF INSTALLATION.

3. SHAVING TO BE DONE USING A SHARP BLADE OR HAND SAW ELIMINATING NO MORE THAN NEEDED TO REMOVE ALL ROOTS ON THE PERIPHERY OF THE ROOT BALL.

4. SHAVING CAN BE PERFORMED JUST PRIOR TO PLANTING OR AFTER PLACING THE ROOT BALL IN THE HOLE.

ROOT CORRECTION FOR CONTAINER PLANTS

N.T.S



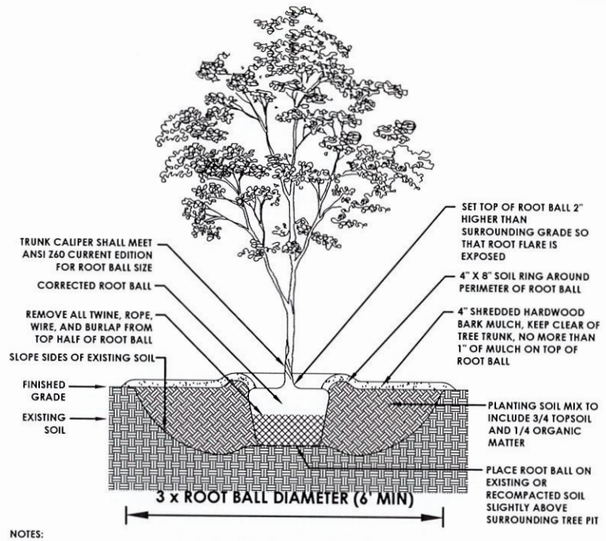
NOTES:

1. ALL TREES ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.

2. ADJUST HOLE DEPTH TO ACCOUNT FOR THE REMOVAL OF EXCESS SOIL AND ROOTS OVER THE COLLAR AND ACHIEVE APPROPRIATE ELEVATION OF ROOT FLARE.

ROOT CORRECTION FOR BALLED AND BURLAPPED PLANTS

N.T.S



NOTES:

1. DO NOT HEAVILY PRUNE TREES AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.

3. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

4. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

5. MARK THE NORTH SIDE OF THE TREE AT THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.

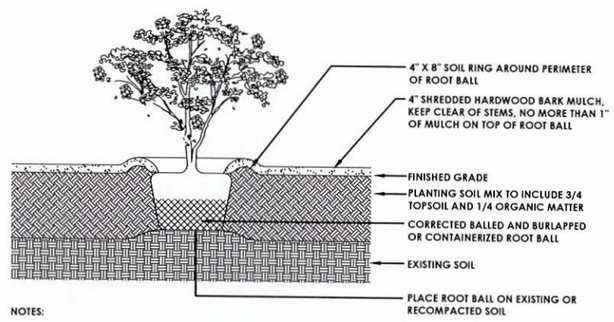
6. ROOT BALLS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

7. WHERE TREES ARE TO BE INSTALLED IN AREAS OF FORMER PAVEMENT, A 20' X 20' AREA (AT EACH TREE) IS TO BE PREPARED PER THE DETAIL "SURFACE PREPARATION FOR TREES AND SHRUBS IN PAVED AREAS" PRIOR TO INSTALLING THE TREE PIT PER THIS DETAIL.

8. WHERE TREES ARE TO BE INSTALLED IN AREAS THAT WERE NEVER PAVED, THE TREE IS TO BE INSTALLED PER THIS DETAIL WITH NO ADDITIONAL SURFACE PREPARATION REQUIRED.

TREE PIT

N.T.S



NOTES:

1. DO NOT HEAVILY PRUNE SHRUBS AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT MASS TO SETTLE THE SOIL.

3. ROOT BALLS OF BOTH CONTAINERIZED AND BALLED AND BURLAPPED PLANTS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

SHRUB

N.T.S

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NY ENGINEERING FIRM CERTIFICATE #018330

PROJECT INFORMATION

Project Number
R24.15917.00

Client Name
GRAHAM CORPORATION

Project Name
BUILDING 14

Project Address
20 FLORENCE AVENUE,
BATAVIA, NY 14020

SHEET INFORMATION

Issued	Scale
05/30/2024	AS NOTED
Drawn By	Checked By
RHW	TRB

Drawing Title
LANDSCAPE DETAILS

Drawing Number
L
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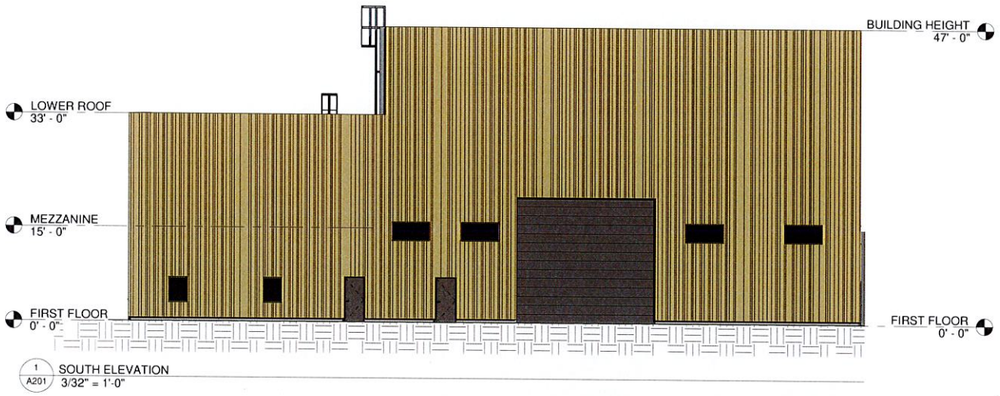
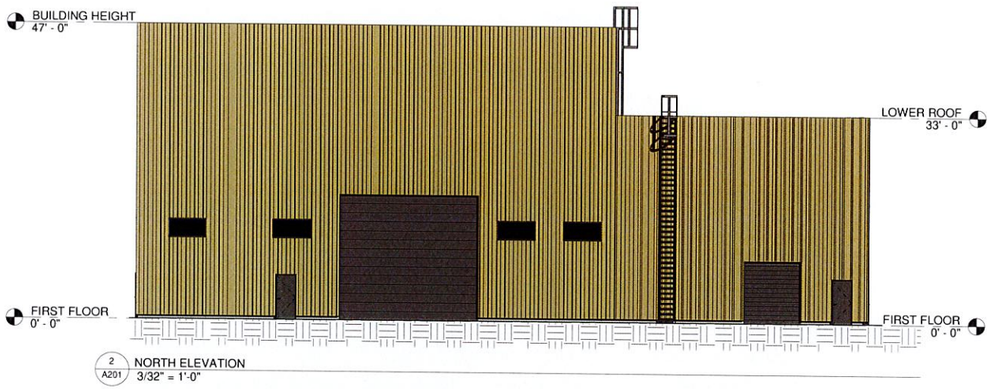
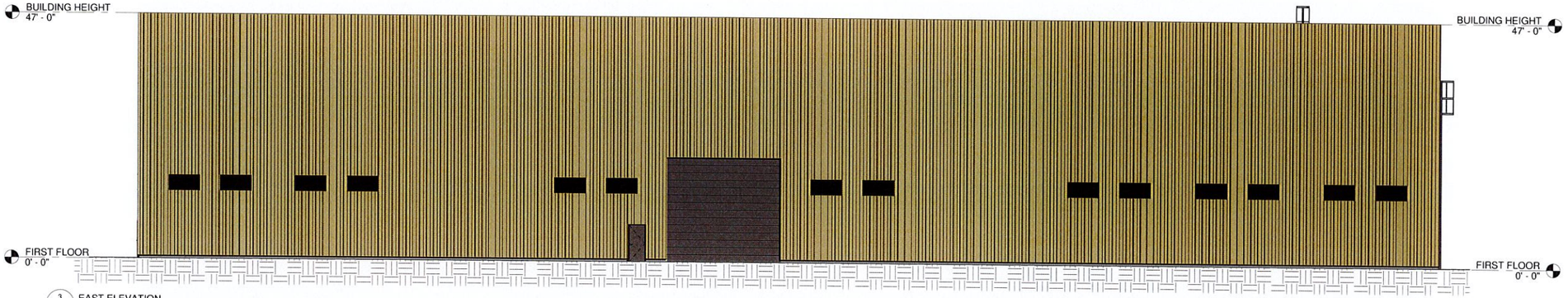


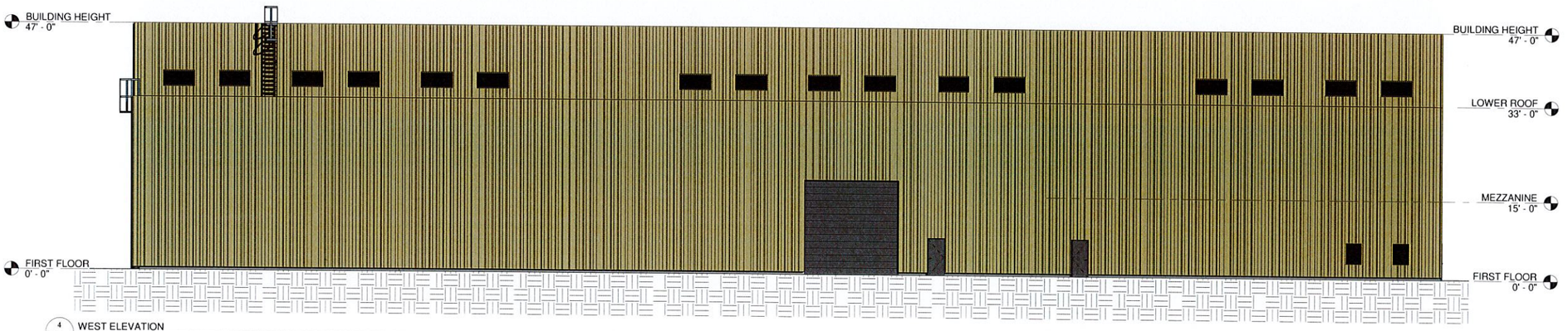
1 A201 SOUTH ELEVATION
3/32" = 1'-0"



2 A201 NORTH ELEVATION
3/32" = 1'-0"



3 A201 EAST ELEVATION
3/32" = 1'-0"



4 A201 WEST ELEVATION
3/32" = 1'-0"

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BATAVIA, NY 14020

PROJECT:
COLUMBIA ACCELERATION BUILDING 14

LOCATION:
20 FLORENCE AVENUE
BATAVIA, NY 14020

DATE:	4/29/2024 6:43:37 PM
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DRAWING BY:	JH
JOB NUMBER:	23-103
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DRAWING:
COLOR EXTERIOR ELEVATIONS

SHEET NUMBER:
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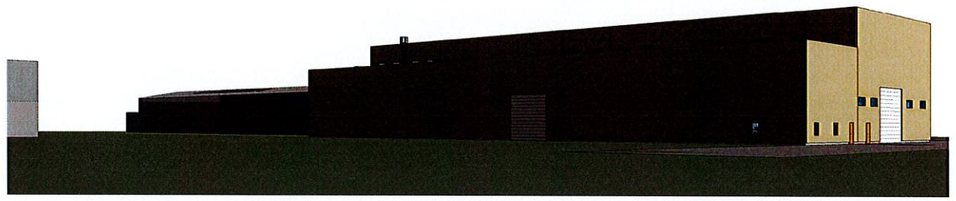

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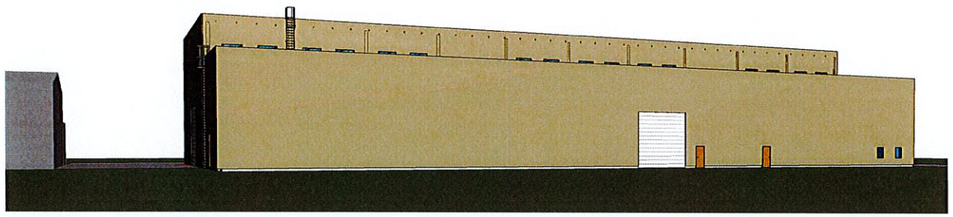
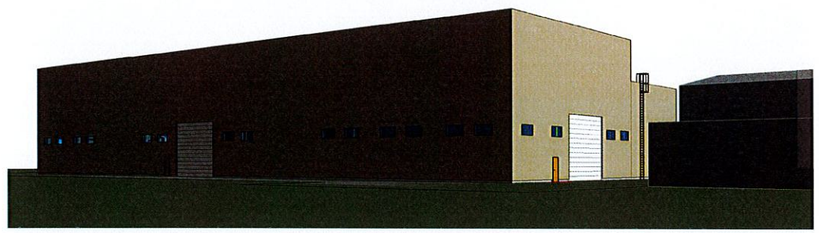
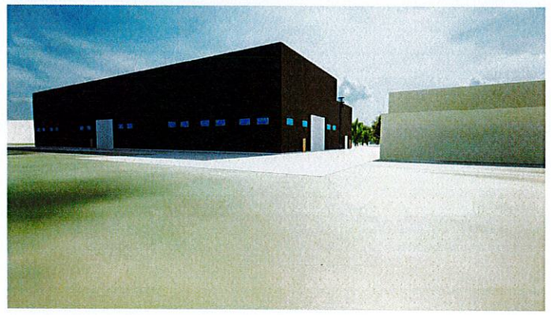


2 3D View 2



3 3D View 3



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SEAL

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20 FLORENCE AVENUE
BATAVIA, NY 14020

PROJECT:

COLUMBIA ACCELERATION BUILDING 14

LOCATION:

20 FLORENCE AVENUE
BATAVIA, NY 14020

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ARCHITECT:	RHW
DRAWING BY:	Author
JOB NUMBER:	23-103

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DRAWING:

PERSPECTIVES

SHEET NUMBER:

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04/02/2023